

## Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 <sup>st</sup> floor conditioned area	970.00	669.00	1,639.00
b) 2 <sup>nd</sup> floor conditioned area	0.00	0.00	0.00
c) 3 <sup>rd</sup> floor conditioned area	0.00	0.00	0.00
d) Basement	0.00	0.00	0.00
e) Attached Covered Parking (garage or carport)			0.00
f) Detached Covered Parking (garage or carport)			0.00
g) Covered Wood Decks (counted at 100%)			0.00
h) Covered Patio			0.00
i) Covered Porch			0.00
j) Balcony			0.00
k) Other – Specify:			0.00
<b>Total Building Area (TBA)</b> (add: a through k)	970.00	669.00	1,639.00
<b>Total Building Coverage (TBC)</b> (from TBA subtract, if applicable: b, c, d, and j)	(A) 970.00	669.00	(B) 1,639.00
l) Driveway			0.00
m) Sidewalks			0.00
n) Uncovered Patio			0.00
o) Uncovered Wood Decks (counted at 50%)	0.00	0.00	0.00
p) AC pads and other concrete flatwork			0.00
q) Other (Pool Coping, Retaining Walls)			0.00
<b>Total Site Impervious Coverage</b> (add: TBC and l through q)	(C) 970.00	669.00	(D) 1,639.00
r) Pool	0.00	0.00	0.00
s) Spa	0.00	0.00	0.00

### Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

**Lot Area** (sq. ft.): 6,495.00

**Existing Building Coverage** (see above **A**, sq. ft.): 970.00

Existing Coverage % of lot (**A** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

**Final Building Coverage** (see above **B**, sq. ft.): 1,639.00

Final Coverage % of lot (**B** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

### Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces including all building coverage, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

**Existing Impervious Coverage** (see above **C**, sq. ft.): 970.00

Existing coverage % of lot (**C** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %

**Final Impervious Coverage** (see above **D**, sq. ft.): 1,639.00

Final coverage % of lot (**D** ÷ **Lot Area**) x 100 : \_\_\_\_\_ %



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EAST 42ND STREET

502 E 42ND STREET  
AUSTIN, TX 78751



01/18/2021

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REVISION SCHEDULE

NUM	DESCRIPTION	DATE
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01/18/2021

COVER SHEET

A0.0

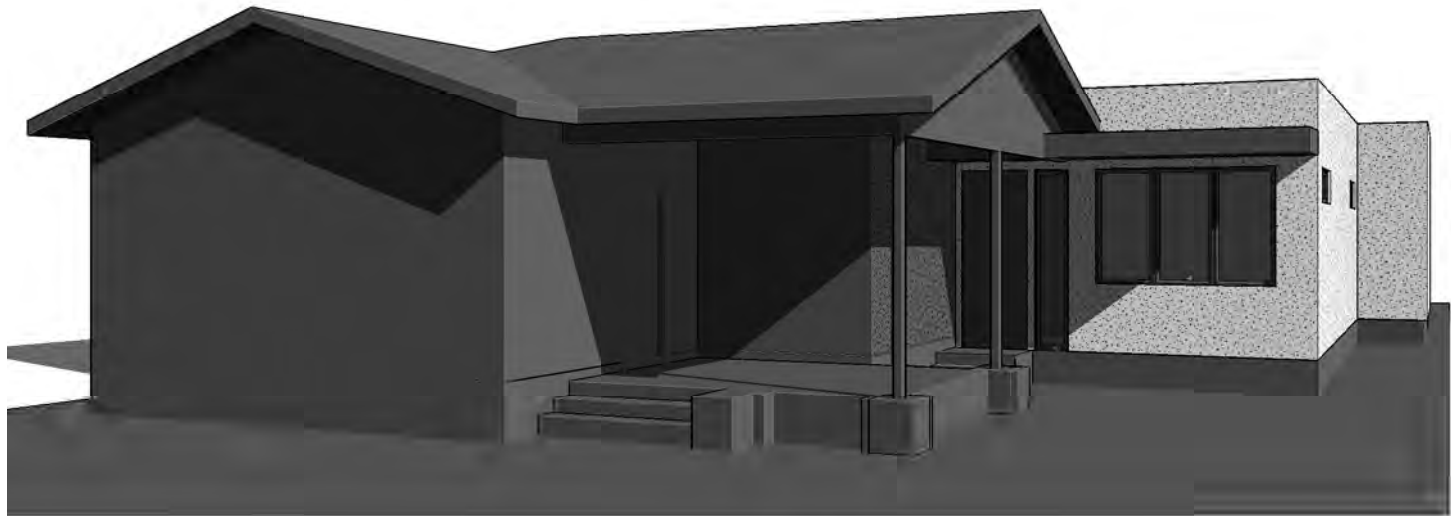
ALL DRAWING SCALES ARE HALF OF NOTED SCALE WHEN PRINTED ON 11"x17" SHEET, U.N.O.

GENERAL PROJECT NOTES

1. CONSTRUCTION DOCUMENTS MAKE NO WARRENT AS TO EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONSTRUCTION AND FRAMING PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NEW CONSTRUCTION WITH EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
4. ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50
5. THE DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS AND ACTUAL PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL & MEP DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE AND ACCESSIBLE TO BUILDING OCCUPANTS. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
8. REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK. COORDINATE THE WORK WITH THE HVAC, PLUMBING AND ELECTRICAL DEMOLITION DRAWINGS.
9. REMOVAL OF THE BUILDING PARTS SHALL BE PERFORMED IN A SAFE, ORDERLY AND CAREFUL MANNER, WITH THE CONSIDERATION AT ALL TIMES FOR THE SAFETY AND WELFARE OF THE OWNER, BLDG. OCCUPANTS, & PERSONNEL OF THE CONTRACTOR AND/OR SUBCONTRACTOR.
10. MAINTAIN THE UTILITIES TO OCCUPIED SPACES AT ALL TIMES. COORDINATE ANY UTILITY DOWNTIMES W/ OWNER. PROVIDE 72 HOUR ADVANCE NOTICE TO THE OWNER OF INTENDED UTILITY SHUT DOWN AND/OR DISRUPTION.
11. ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL ITEMS OTHER THAN FINISH MATERIALS TO BE REMOVED AS PART OF THIS CONTRACT ARE INDICATED WITH DASHED LINES ON DEMOLITION SHEETS. DISPOSE OF THESE MATERIALS AND ITEMS AFTER CHECKING WITH OWNER FOR ITEMS TO BE SALVAGED. SALVAGE ANY ITEMS REQUIRED TO COMPLETE NEW WORK.

GENERAL PROJECT NOTES

12. REMOVE ALL MISCELLANEOUS DEVICES AS REQUIRED TO INSTALL NEW FINISHES, INCLUDING BUT NOT LIMITED TO: PLUMBING FIXTURES, SIGNAGE, SWITCH PLATES, TELEVISION BRACKETS, WALL OUTLET COVERS, TOILET ACCESSORIES, CORNER GUARDS, ETC. SAVE FOR REINSTALLATION AFTER COMPLETION OF FINISH WORK.
13. PROTECT ALL EXISTING FINISHES, DOOR FRAMES, EQUIPMENT AND MATERIALS THAT ARE TO REMAIN IN PLACE. DAMAGE TO EXISTING COMPONENTS BY CONTRACTOR SHALL BE REPLACED WITH NEW MATERIAL OF LIKE KIND AND QUALITY THAT MATCH THE EXISTING STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING EXISTING SURFACES TO RECEIVE NEW FINISHES SCHEDULED.
14. PROTECT EXISTING VEGETATION, INCLUDING EXISTING TREES DURING CONSTRUCTION. REVEGETATE DAMAGED AREAS ADJACENT TO NEW CONSTRUCTION; CONTRACTOR SHALL MAINTAIN VEGETATED AREAS FOR 3 WEEKS AFTER INITIAL PLANTING
15. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER WORK.
16. ELECTRICAL AND MECHANICAL INSTALLATIONS MAY REQUIRE WORK ABOVE EXISTING CEILINGS BOTH IN THE AREA OF WORK AND IN ADJACENT AREAS (POSSIBLY ON OTHER FLOORS). REMOVE AND REINSTALL (OR REPLACE) CEILING TILES AND GRID AS REQUIRED. REMOVE GYPSUM BOARD AT WALLS AND CEILINGS AND REPLACE AS REQUIRED.
17. UNLESS NOTED OTHERWISE, ALL EXISTING ELECTRICAL OUTLETS & FIXTURES IN REMODELED AREAS ARE TO BE REMOVED & RETURNED TO OWNER. SEE ELECTRICAL SHEETS FOR DEVICES & CIRCUITS TO BE REUSED.
18. ALL ITEMS AND ASSOCIATED CONNECTIONS ARE TO BE REMOVED AND TERMINATED AT DESIGNATED POINTS. SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, GAPPED OR PLUGGED IN CONFORMITY WITH LOCAL LAWS AND ORDINANCES, REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH MANNER AS NOT TO INTERFERE WITH THE USE OF THE OCCUPIED SPACES IN THE BUILDING.
19. IF A CONDUIT OR UTILITY LINE IS CUT WHILE SLEEVEING OR CUTTING THE SLAB OR REMOVING A PARTITION, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING IT IMMEDIATELY.
20. ANY EXISTING TO REMAIN FIREPROOFING OR FIRE ASSEMBLIES DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
21. IMMEDIATELY SEAL ALL PENETRATIONS IN EXISTING STRUCTURE OPENED DURING DEMOLITION WITH FIRESTOPPING MATERIAL AND/OR WATERPROOFING.
22. SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILINGS AT RATED FIRE WALLS IN AREAS OF WORK.



FRONT ENTRY

ABV ABOVE  
ACOUS ACOUSTICAL  
ADJ ADJUSTABLE  
AFF ABOVE FINISH FLOOR  
ALUM ALUMINUM  
ALT ALTERNATE  
ANOD ANODIZED  
APPROX APPROXIMATELY  
AWP ACOUSTICAL WALL PANEL

BD BOARD  
BLDG BUILDING  
BOT BOTTOM  
BW BOTH WAYS  
BM BENCH MARK

C CHANNEL  
CC CUBICAL CURTAIN  
CK CORK  
CAB CABINET  
CB CHALK BOARD  
CFCI CONTRACTOR FURNISH CONTRACTOR INSTALL  
CFOI CONTRACTOR FURNISH OWNER INSTALL  
CFT CUBIC FOOT  
CG CORNER GUARD  
CL CENTER LINE  
CLG CEILING  
CI CAST IRON  
CLO CLOSET  
CLR CLEAR  
CMP CROWN MOLDING PAINTED  
CMS CROWN MOLDING STAINED  
CMT CERAMIC MOSAIC TILE  
CMTB CERAMIC MOSAIC TILE BASE  
CMTW CERAMIC MOSAIC TILE WALL  
CMU CONCRETE MASONRY UNIT  
CO CASED OPENING  
COL COLUMN  
CONC CONCRETE  
CONST CONSTRUCTION  
CR CHAIR RAIL  
CORR CORRIDOR  
CPT CARPET  
CPTB CARPET BASE  
CT CERAMIC TILE  
CTB CERAMIC TILE BASE  
CTW CERAMIC TILE WALL  
CTSK COUNTERSINK  
CYD CUBIC YARD

D DRAIN  
DBL DOUBLE  
DEMO DEMOLISH, DEMOLITION  
DEPT DEPARTMENT  
DF DRINKING FOUNTAIN  
DIA or Ø DIAMETER  
DIM DIMENSION  
DIV DIVISION  
DL DEAD LOAD  
DN DOWN  
DS DOWN SPOUT  
DSP DRY STAND PIPE  
DTL DETAIL  
DWG DRAWING

E EAST  
EA EACH  
EF EPOXY FLOOR  
EFB EPOXY FLOOR BASE  
EJ EXPANSION JOINT  
EG END GUARD  
EL ELEVATION  
ET EPOXY TERRAZZO FLOOR  
ETB EPOXY TERRAZZO BASE  
ELECT ELECTRICAL  
EM ENTRANCE MAT  
EMER EMERGENCY  
ENCL ENCLOSURE  
EP EPOXY PAINT  
EQ EQUAL  
EQUIP EQUIPMENT  
EWC ELECTRIC WATER COOLER  
EXP EXPANSION  
EXIST EXISTING  
EXT EXTERIOR

FA FIRE ALARM  
FBO FURNISHED BY OTHERS  
FD FLOOR DRAIN  
FE FIRE EXTINGUISHER  
FEC FIRE EXTINGUISHER CABINET  
FFE FINISH FLOOR ELEVATION  
FHC FIRE HOSE CABINET  
FHVFC FIRE HOSE VALVE CABINET  
FE FINISHED END  
FLR FLOOR  
FOC FACE OF CONCRETE  
FOF FACE OF FINISH  
FOM FACE OF MASONRY  
FOS FACE OF STUDS  
FFRF FIREPROOFING

FRT FIRE RESISTANT TREATED  
FT FOOT  
FURR FURRING  
FV FIELD VERIFY  
FWC FABRIC WALL COVERING

GA GAUGE  
GALV GALVANIZED  
GB GRAB BAR  
GC GENERAL CONTRACTOR  
GCLU GLAZED CMU  
GI GALVANIZED IRON  
GL GLASS  
GLB GLASS BLOCK  
GMT GLASS MOSAIC TILE  
GMTW GLASS MOSAIC TILE WALL  
GR GRADE  
GYP GYPSUM  
GYP BD GYPSUM BOARD

HC HOLLOW CORE  
HDR HEADER  
HDW HARDWARE  
HDWD HARDWOOD  
HGT HEIGHT  
HM HOLLOW METAL  
HORIZ HORIZONTAL  
HP HIGH POINT  
HR HANDRAIL  
HVAC HEATING VENTILATION AIR CONDITIONING

ID INSIDE DIAMETER  
INCL INCLUDING  
INSUL INSULATION  
INT INTERIOR  
IPS IRON PIPE SIZE

J JOIST  
JAN JANITOR  
JT JOINT

KIT KITCHEN  
KO KNOCKOUT

L LENGTH/LONG  
LAB LABORATORY  
LAM LAMINATE  
LH LEFT HAND  
LI LINOLEUM  
LIB LINOLEUM COVED BASE  
LIT LINOLEUM TILE  
LL LIVE LOAD

M METER  
MAS MASONRY  
MAX MAXIMUM  
MDF MEDIUM DENSITY FIBER BOARD  
MED MEDIUM  
MEMB MEMBRANE  
MTL METAL  
MFGR MANUFACTURER  
MH MANHOLE  
MIN MINIMUM  
MISC MISCELLANEOUS  
MM MILLIMETER  
MO MASONRY OPENING  
MOD MODULAR  
MTD MOUNT(ED) (ING)  
MUL MULLION

N NORTH  
NAT NATURAL  
NIC NOT IN CONTRACT  
NO or # NUMBER  
NOM NOMINAL  
NRC NOISE REDUCTION COEFFICIENT  
NTS NOT TO SCALE

OC ON CENTER  
OD OUTSIDE DIAMETER  
OFD OVERFLOW ROOF DRAIN  
OFF OFFICE  
OFOI OWNER FURNISH OWNER INSTALL  
OFCI OWNER FURNISH CONTRACTOR INSTALL  
OVH OVERHEAD  
OH OPPOSITE HAND  
OPNG OPENING  
OPP OPPOSITE

P PAINT(ED)  
PARA PARALLEL  
PBD PARTICLE BOARD  
PCF POUNDS PER CUBIC FOOT  
PERF PERFORATED  
PERI PERIMETER  
PFL POUNDS PER LINEAR FOOT  
PL PLATE  
PLAM PLASTIC LAMINATE  
PLAS PLASTER  
PLYWD PLYWOOD  
PP PORCELAIN PAVER  
PPB PORCELAIN PAVER BASE  
PPW PORCELAIN PAVER WALL  
PR PAIR

PSF POUNDS PER SQUARE FOOT  
PSI POUNDS PER SQUARE INCH  
PT PRESSURE TREATED  
QT QUARRY TILE  
QTB QUARRY TILE BASE  
RI RISER  
R RADIUS  
RB RUBBER BASE  
RCP REFLECTED CEILING PLAN  
RD ROOF DRAIN  
REF REFERENCE  
REFR REFRIGERATOR  
REINF REINFORCING  
REQ REQUIRE(D) (ING)  
REV REVISION  
RH RIGHT HAND  
RM ROOM(S)  
ROW RIGHT OF WAY  
RVWC RIGID VINYL WALL COVERING

S SOUTH  
SB SPLASH BLOCK  
SC SOLID CORE  
SCHD SCHEDULE  
SECT SECTION  
SHR SHOWER  
SIM SIMILAR  
SPECS SPECIFICATION(S)  
SPK SPEAKER  
SQ SQUARE  
SS STAINLESS STEEL  
ST STONE  
STC STONE COUNTERTOP  
STW STONE WALL  
STB STONE BASE  
STC STAINED CONCRETE  
STD STANDARD  
STL STEEL  
STO STORAGE  
STRUCT STRUCTURAL  
SV SHEET VINYL  
SVB SHEET VINYL COVED BASE  
SYM SYMMETRICAL  
SYS SYSTEM

TB TACK BOARD  
TOC TOP OF CURB  
TOSC TOP OF STRUCTURAL STEEL  
TEL TELEPHONE  
THK THICK  
TOB TOP OF BEAM  
TOP TOP OF PAVEMENT  
TOM TOP OF MASONRY  
TOS TOP OF STEEL (BOTTOM OF ROOF DECK)  
TP TOILET PARTITION  
TV TELEVISION  
TYP TYPICAL  
TZ TERRAZZO  
TZB TERRAZZO BASE

UC UNDERCUT  
UNO UNLESS OTHERWISE NOTED  
USC UNDER SEPARATE CONTRACT

VAR VARNISH  
VB VAPOR BARRIER  
VB VINYL BASE  
VCT VINYL COMPOSITION TILE  
VERT VERTICAL  
VEST VESTIBULE  
VT VINYL TILE  
VTR VENT THROUGH ROOF  
VWC VINYL WALL COVERING

W WEST  
W/ WITH  
WBP WOOD BASE PAINTED  
WBS WOOD BASE STAINED  
WC WATER CLOSET  
WD WOOD  
WDS WOOD STAINED  
WIN WINDOW  
W/O WITHOUT  
WP WOOD PANELING PREFINISHED  
WPP WOOD PANELING PAINTED  
WPS WOOD PANELING STAINED  
WS WATER STOP  
WSCT WAINSCOT  
WT WEIGHT  
WWF WELDED WIRE FABRIC





01/18/2021

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REVISION SCHEDULE

NUM	DESCRIPTION	DATE
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01/18/2021

SURVEY AND  
SCHEDULES

A0.1

DOOR SCHEDULE							
Mark	TYPE MARK	COUNT	DOOR		DESCRIPTION	MANUFACTURER	FINISH
			WIDTH	HEIGHT			
D01	22	1	3' - 0"	8' - 0"	WOOD EXTERIOR DOOR	GENERIC	
D02	24	1	2' - 8"	8' - 0"	WOOD INTERIOR DOOR	GENERIC	
D03	22	1	3' - 0"	8' - 0"	WOOD EXTERIOR DOOR	GENERIC	
D04	3	1	2' - 8"	6' - 8"	SINGLE FLUSH DOOR	GENERIC	
D05	3	1	2' - 8"	6' - 8"	SINGLE FLUSH DOOR	GENERIC	
D06	10	1	5' - 0"	8' - 0"	BIFOLD DOOR	GENERIC	
D59	6	1	3' - 0"	6' - 8"	SINGLE FLUSH DOOR	GENERIC	
D60	3	1	2' - 8"	6' - 8"	SINGLE FLUSH DOOR	GENERIC	
D61	3	1	2' - 8"	6' - 8"	SINGLE FLUSH DOOR	GENERIC	
Grand total: 9							

WINDOW SCHEDULE							
MARK	TYPE MARK	WIDTH	HEIGHT	SILL HEIGHT	GLAZING TYPE	OPERATION	
W01	01	1' - 6"	8' - 0"	0' - 0"		FIXED PICTURE WINDOW	
W02	02	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG	
W03	02	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG	
W04	03	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG, EGRESS WINDOW	
W05	05	5' - 0"	1' - 6"	6' - 6"		FIXED PICTURE WINDOW	
W06	05	5' - 0"	1' - 6"	6' - 6"		FIXED PICTURE WINDOW	
W07	03	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG, EGRESS WINDOW	
W08	02	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG	
W09	02	2' - 6"	5' - 0"	3' - 0"		SINGLE-HUNG	
W10	06	4' - 1 1/2"	0' - 3 81/128"			FIXED SKYLIGHT	
W11	06	4' - 1 1/2"	0' - 3 81/128"			FIXED SKYLIGHT	
W12	07	2' - 1 1/2"	0' - 3 81/128"			FIXED SKYLIGHT	
W13	06	4' - 1 1/2"	0' - 3 81/128"			FIXED SKYLIGHT	
W14	31	2' - 8"	8' - 0"	0' - 0"	SAFETY	FIXED PICTURE WINDOW	
W15	31	2' - 8"	8' - 0"	0' - 0"	SAFETY	FIXED PICTURE WINDOW	
W16	31	2' - 8"	8' - 0"	0' - 0"	SAFETY	FIXED PICTURE WINDOW	
W17	31	2' - 8"	8' - 0"	0' - 0"	SAFETY	FIXED PICTURE WINDOW	

SHEET LIST	
A0.0	COVER SHEET
A0.1	SURVEY AND SCHEDULES
A0.2	DEMO PLAN
A0.3	TREE PROTECTION
A1.0	SITE PLAN
A1.1	FLOOR PLAN
A2.0	ELEVATIONS

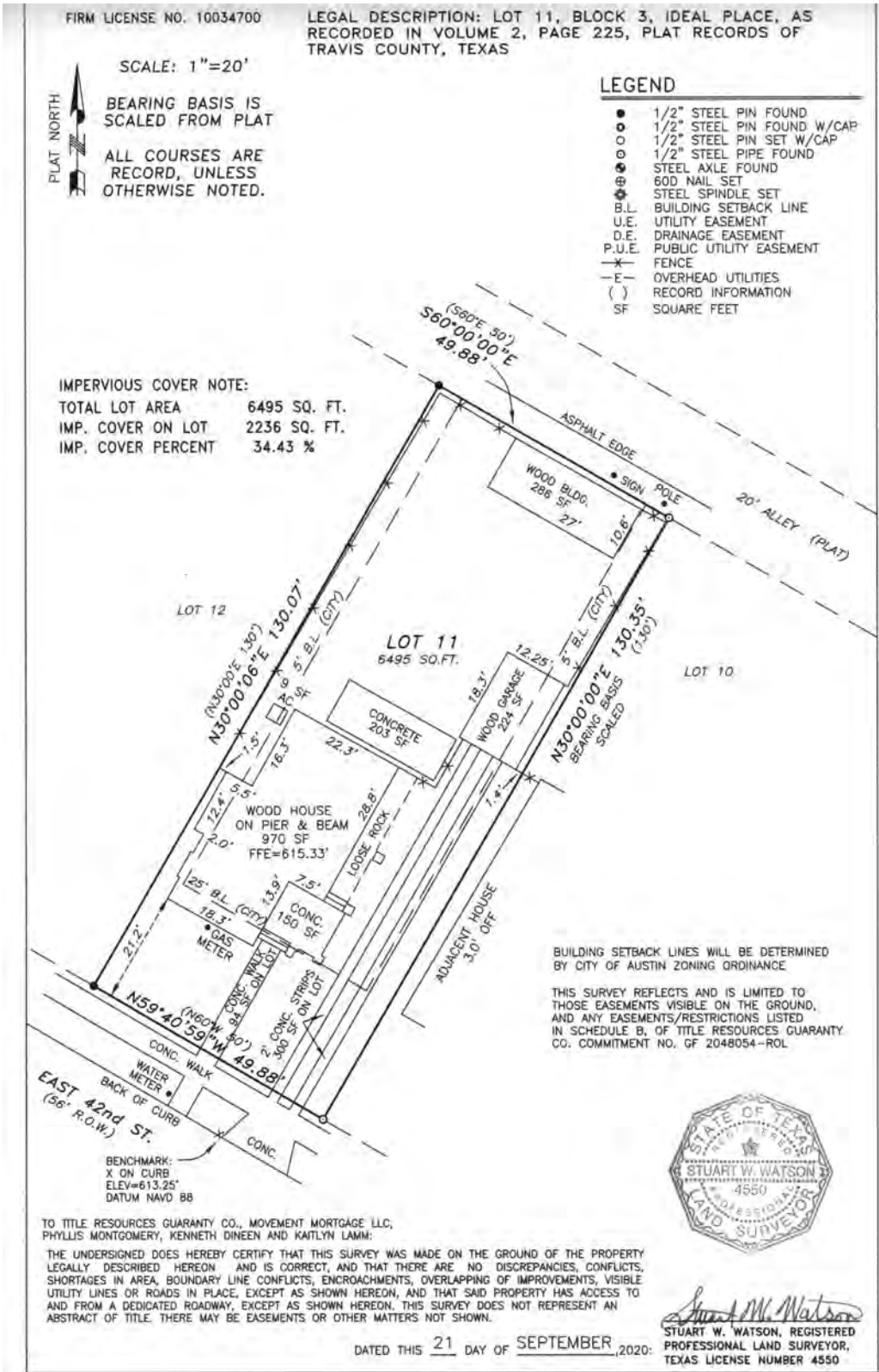
GENERAL NOTES	
1.	ALL CEILINGS TO BE MINIMUM 8'-0" AFF, UNO
2.	ALL CEILINGS TO BE 5/8" GYPSUM, UNO
3.	NEW SMOKE DETECTORS (S) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R314
4.	NEW CARBON MONOXIDE DETECTORS (C) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R315
5.	LOCAL EXHAUST SYSTEMS (E) INDICATED ON PLAN IN BATHROOMS, TO BE VENTED DIRECTLY TO THE OUTDOORS PER IRC R303.3
6.	LIGHT FIXTURES IN CLOSETS TO COMPLY WITH 4003.12
7.	LIGHT SWITCHES & ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL
8.	STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2012 IRC REQUIREMENTS.
9.	ALL DOORS TO BE INSTALLED 4" FROM ADJACENT PERPENDICULAR DOOR, UNO

GENERAL WINDOW NOTES	
1.	WINDOWS MUST HAVE GUARDS OR SAFETY GLAZING IF THEY MEET THE FOLLOWING FOUR (4) CONDITIONS: AREA OF GLAZING IS 9 SF OR LARGER, SILL HEIGHT IS LESS THAN 18" AFF, HEAD HEIGHT IS MORE THAN 36" AFF AND GLAZING IS WITHIN 36" OF A WALKWAY PER IRC R312.2
2.	WINDOWS WITHIN 24" INCHES OF ALL DOORS AND WITH A SILL LESS THAN 60" TO BE SAFETY GLAZING PER IRC R308.4.2
3.	ALL OTHER WINDOWS TO HAVE SAFETY GLAZING AS NOTED
4.	EGRESS WINDOWS TO BE A MINIMUM SIZE OF 20" X 24" / 5.7 SQ.FT, PER IRC R310

GENERAL DEMOLITION NOTES	
1.	THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS
2.	THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
3.	THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK
4.	SERVICE CONNECTIONS SHALL BE SAFELY REMOVED, CAPPED OR PLUGGED IN COMFORMITY WITH LOCAL LAWS AND ORDINANCES, REQUIREMENTS OF LOCAL UTILITY COMPANIES, AND THE NATIONAL BOARD OF FIRE UNDERWRITERS, AND IN SUCH MANNER AS TO NOT TO INTERFERE WITH USE OF THE OCCUPIED SPACES IN THE BUILDING
5.	REMOVE ALL MISCELLANEOUS DEVICES AS REQUIRED TO INSTALL NEW FINISHES, INCLUDED BUT NOT LIMITED TO PLUMBING FIXTURES, SIGNAGE, SWITCH PLATES, TELEVISION BRACKETS, WALL OUTLET COVERS, ETC. SAVE FOR REINSTALLATION AFTER COMPLETION OF FINISH WORK
6.	CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE FOR INFECTIOUS CONTROL MEASURES DURING CONSTRUCTION
7.	DASHED WALLS INDICATE WALLS, DOORS, FIXTURES, CASEWORK, ETC. TO BE REMOVED IN THEIR ENTIRETY
8.	ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE ANSWERED BY THE OWNER, OR THE OWNERS'S REPRESENTATIVE
9.	INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION
10.	IMMEDIATELY SEAL ALL PENETRATIONS IN EXISTING SLAB OPEN DURING DEMOLITION WITH FIRESTOPPING MATERIAL AND WATERPROOFING
11.	SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILING AT FIRE RATED AND SMOKE PARTITIONS IN AREAS OF WORK AS REQUIRED TO MAINTAIN RATING

GENERAL STAIR NOTES	
1.	STAIRS TO COMPLY WITH IRC 2012
2.	STAIRWAY WIDTH TO BE A MINIMUM OF 36" - HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" INTO CLEAR WIDTH
3.	MINIMUM HEADROOM TO BE 6' - 8"
4.	STAIRWAY VERTICAL RISE NOT TO EXCEED 12'-0"
5.	MAXIMUM RISER HEIGHT TO BE 7 3/4" MEASURED VERTICALLY BETWEEN LEADING EDGES
6.	MINIMUM TREAD DEPTH TO BE 10" MEASURED VERTICALLY BETWEEN VERTICAL SURFACES
7.	LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY - MINIMUM WIDTH AND DEPTH SHALL NOT BE LESS THAN THE MINIMUM WIDTH OF THE STAIR SERVED
8.	HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS STAIR RUN
9.	HANDRAILS ADJACENT TO WALLS WILL HAVE A MINIMUM OF 1 1/2" CLEAR SPACE BETWEEN WALL
10.	TYPE 1 HANDRAIL: CIRCULAR GRIP SIZE TO HAVE AN OUTSIDE DIAMETER OF 1 1/2" TO 2" - IF NOT CIRCULAR, GRIP TO HAVE A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4" WITH A PERIMETER BETWEEN 4" AND 6 1/4"
11.	WHERE GUARDRAILS ARE USED AS HANDRAILS AT STAIRS - GUARDRAILS SHALL NOT BE LESS THAN 34" AND NO MORE THAN 36" IN HEIGHT
12.	AT ALL OTHER LOCATIONS WHERE GUARDRAILS ARE LOCATED THEY WILL BE A MINIMUM OF 36" IN HEIGHT
13.	GUARDRAILS SHALL BE DESIGNED SO A 4" SPHERE SHALL NOT BE ABLE TO PASS

VISITABILITY NOTES.	
1.	PER ORDINANCE NO. 20140130-21, IN REFERENCE TO LEVEL 1 BATHROOM.
2.	MINIMUM CLEAR OPENING OF 30" IS REQUIRED FOR BATHROOMS PER R320.3
3.	LATERAL 2" X 6" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
4.	THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL LOCATED DIRECTLY BEHIND THE LAVATORY
5.	ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50.
6.	LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48 INCHES ABOVE THE INTERIOR FLOOR LEVEL
7.	OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES
8.	VISITABILITY ROUTES MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING OF 32 INCHES BEGINNING AT THE VISITABLE ENTRANCE





GARAGE EXISTING - NORTH



GARAGE EXISTING - WEST



GARAGE EXISTING - SOUTH



RESIDENCE EXISTING - EAST



RESIDENCE EXISTING - NORTH



**EAST 42ND STREET**  
502 E 42ND STREET  
AUSTIN, TX 78751



01/18/2021

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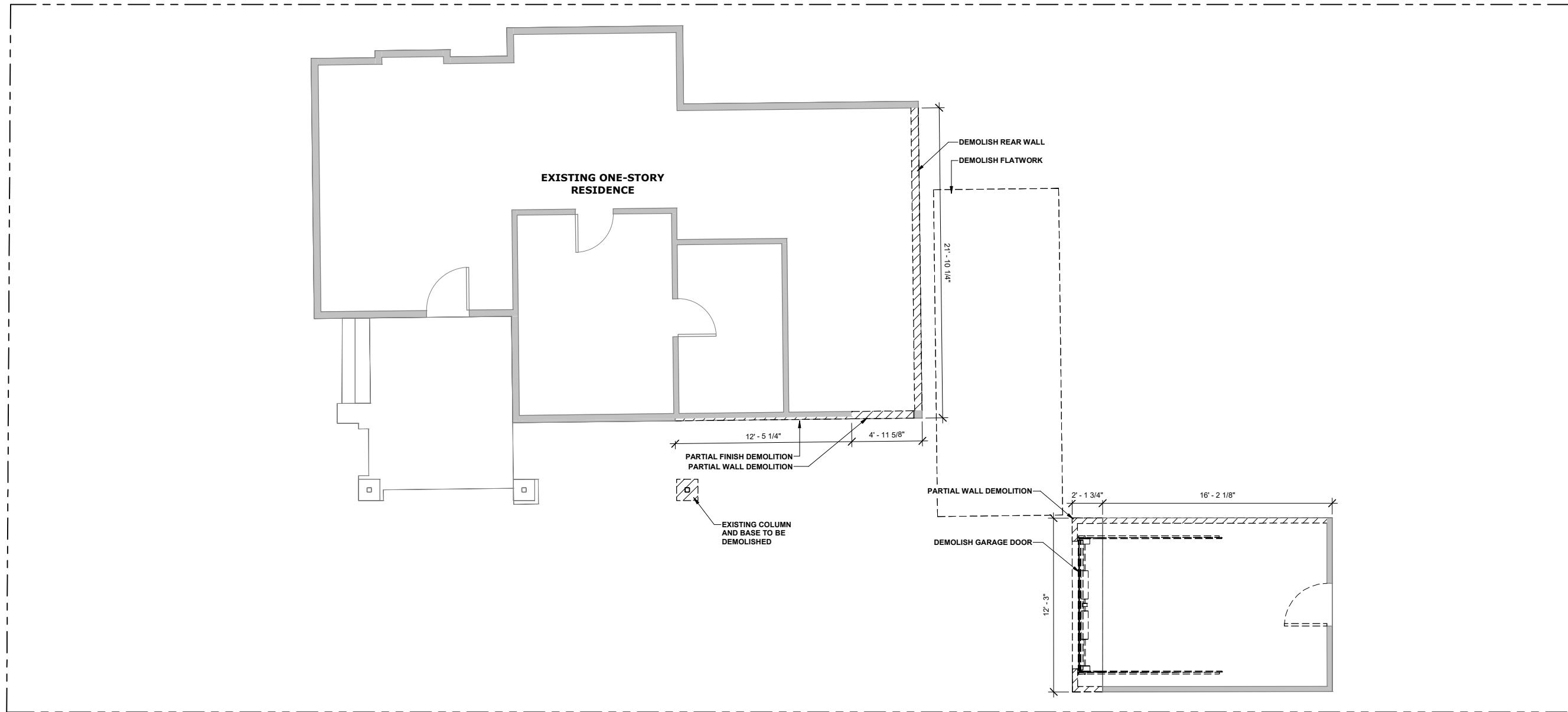
**REVISION SCHEDULE**

NUM	DESCRIPTION	DATE
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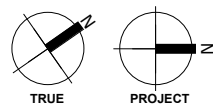
01/18/2021

DEMO PLAN

**A0.2**

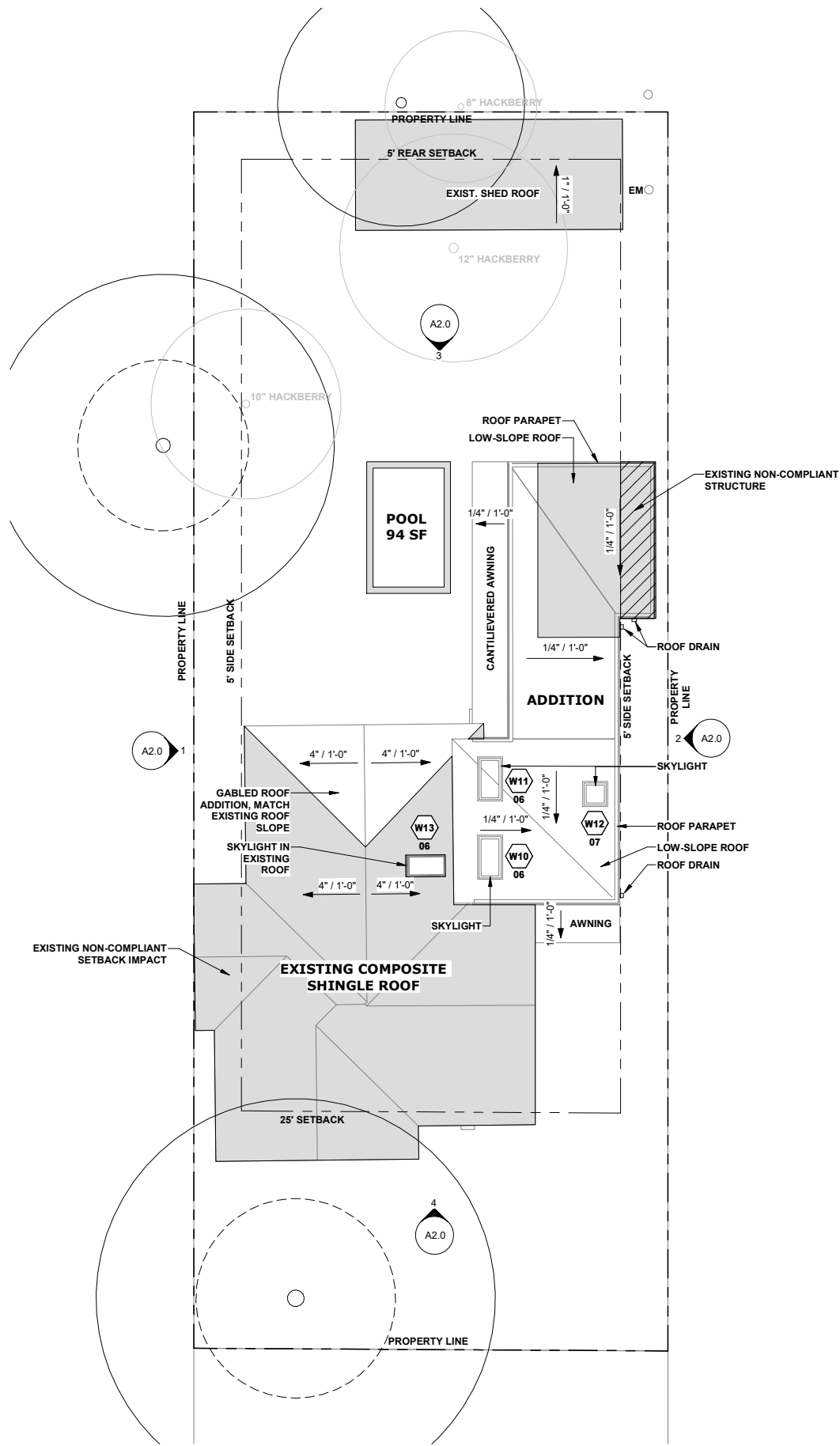


① **DEMO PLAN**  
1/4" = 1'-0"

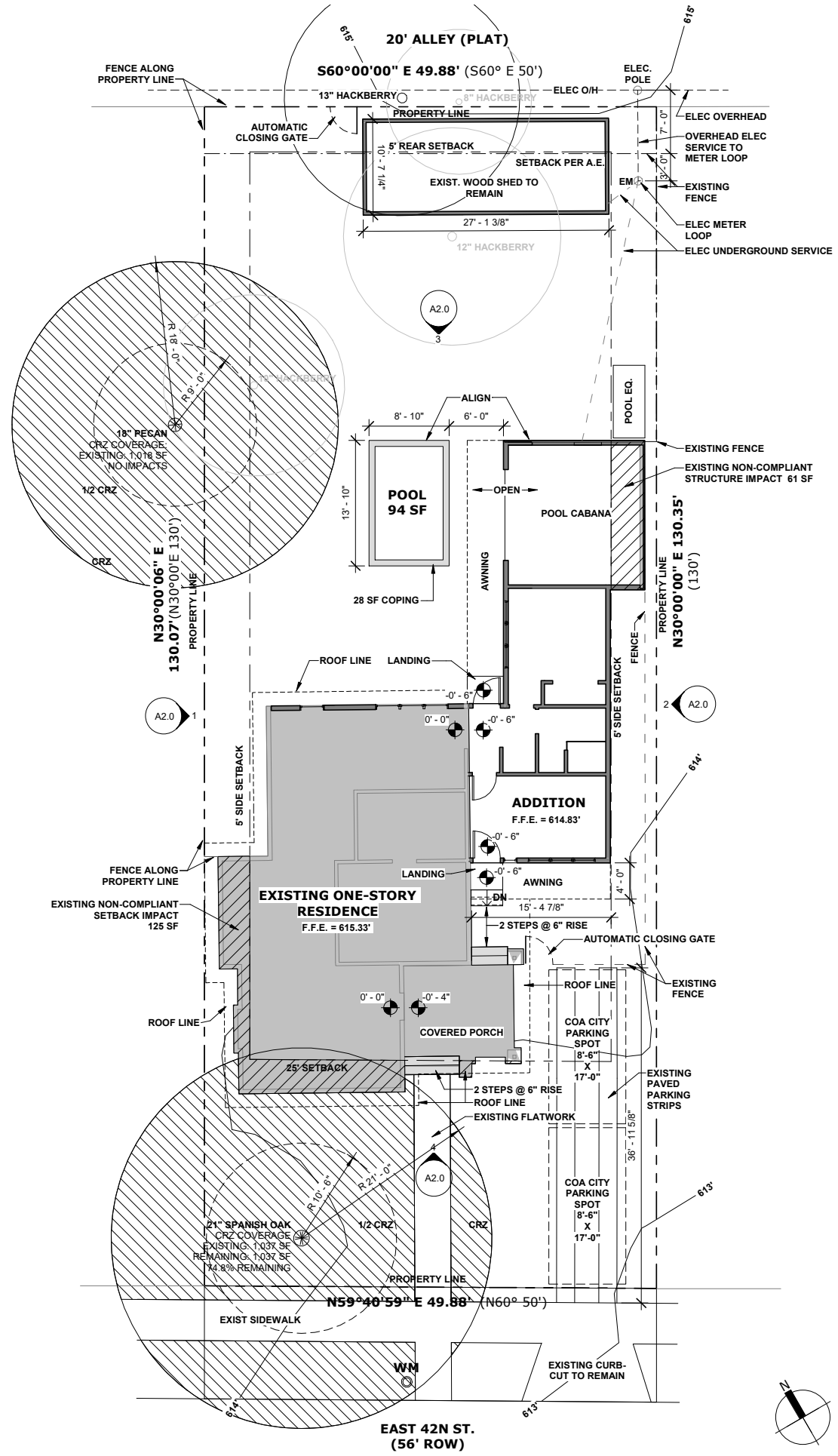


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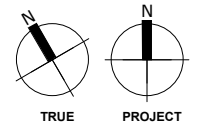




2 ROOF PLAN  
1/8" = 1'-0"



1 SITE PLAN  
1/8" = 1'-0"



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NUM	DESCRIPTION	DATE

01/18/2021  
SITE PLAN

**A1.0**



01/18/2021

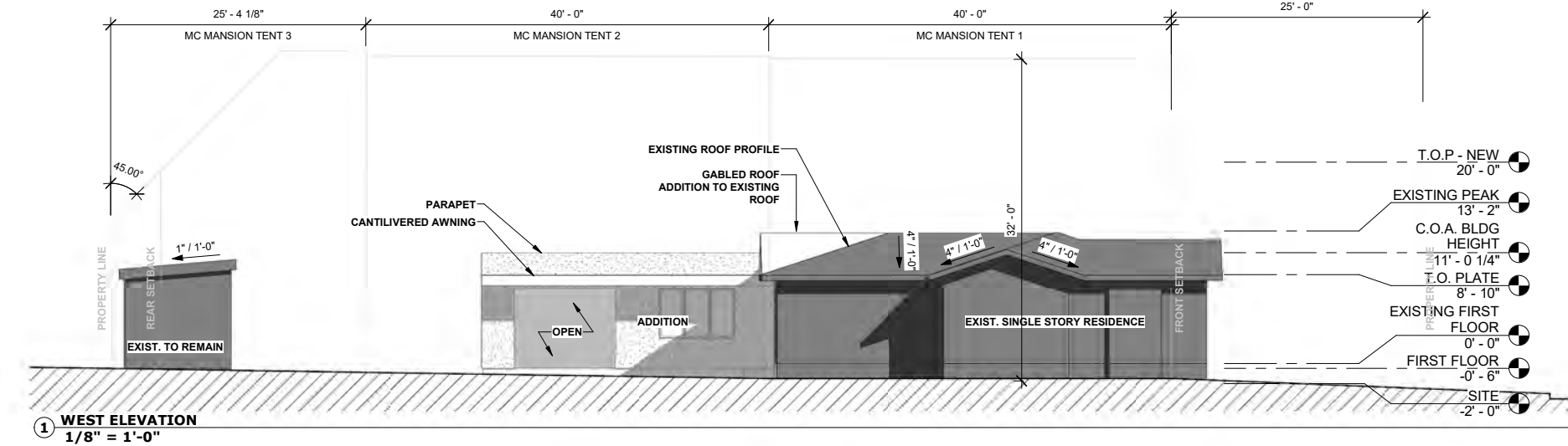
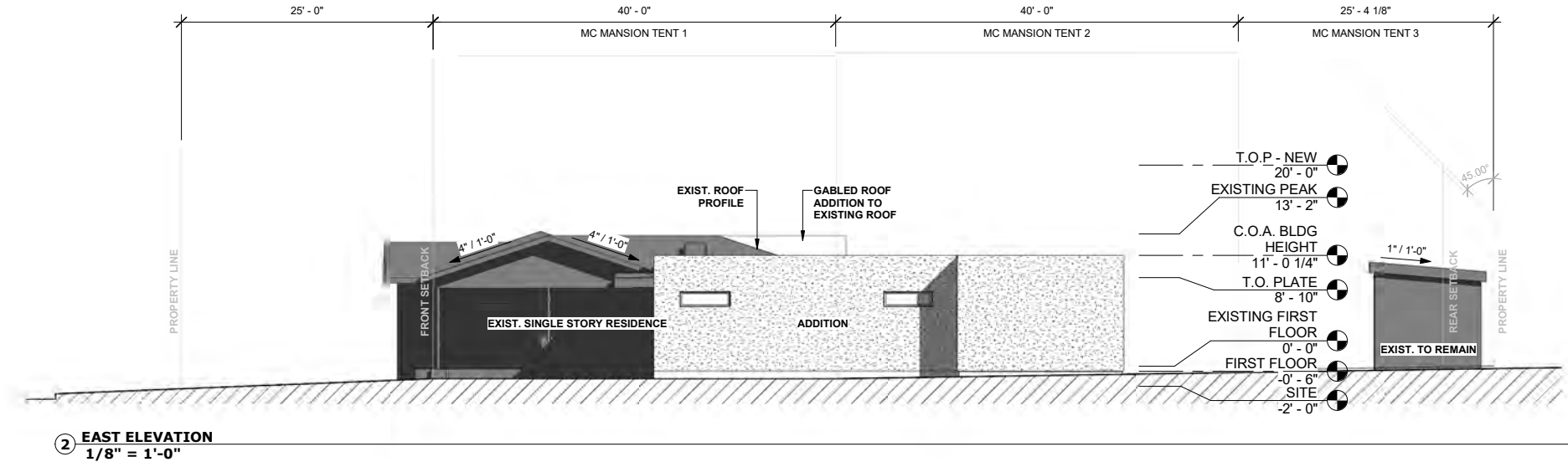
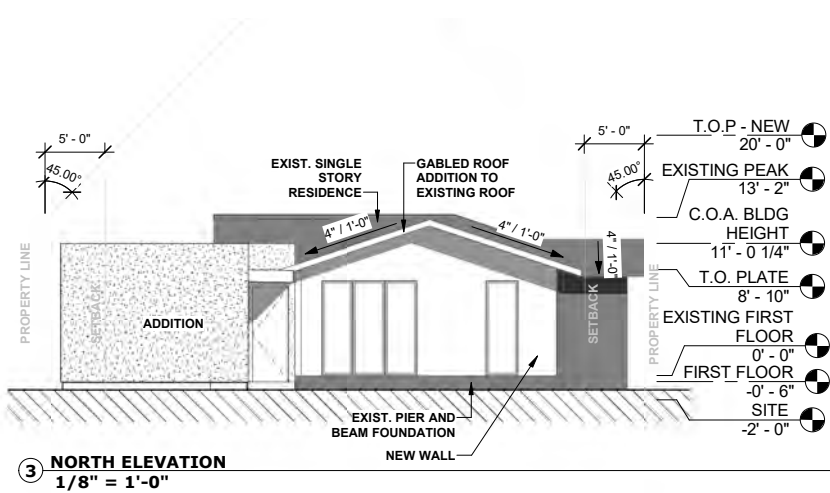
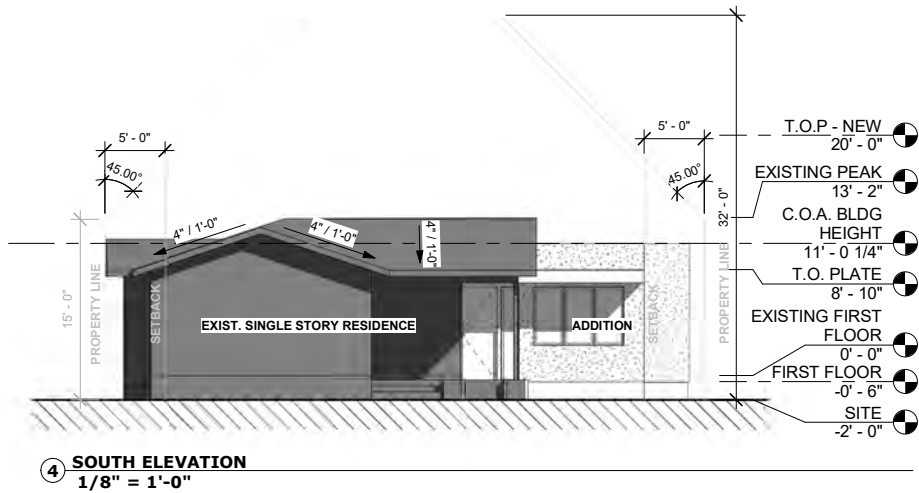
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REVISION SCHEDULE		
NUM	DESCRIPTION	DATE

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ELEVATIONS

A2.0



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