

HISTORIC LANDMARK COMMISSION
CERTIFICATE OF APPROPRIATENESS
MAY 24, 2021
HR-2021-044151
1304 BOB HARRISON STREET
POSEY HOUSE

PROPOSAL

Partially demolish a ca. 1924 house; construct a rear addition. The house was recommended as a contributing resource to a potential historic district by the East Austin Historic Resource Survey (2016). The Historic Landmark Commission initiated historic zoning on April 26, 2021 and will consider recommending historic zoning on May 24, 2021.

PROJECT SPECIFICATIONS

The proposed project involves ten parts:

- 1) Repair of the front porch. If elements must be replaced due to damage or deterioration, they will be replaced in-kind, with matching materials and profiles.
- 2) Replacement of all vinyl-sash windows with 2-over-2 double-hung clad-wood windows in existing window openings.
- 3) Replacement of the existing door with a period-appropriate wood door.
- 4) Replacement of the asphalt shingle roof with a metal roof.
- 5) Addition of skylights on secondary (east and west) roof slopes.
- 6) Repair existing wood siding, trim, and rafter tails.
- 7) Demolition of side and rear additions.
- 8) Demolition of a rear deck.
- 9) Construction of a rear addition with a footprint of 600 square feet. The addition consists of 2-story and 1-story portions clad in vertical metal siding and capped by flat roofs. Windows are casement and fixed aluminum-sash. It is set back behind the historic portion of the existing building, nearly 30' from the front wall.
- 10) Construction of a concrete deck behind the addition.

ARCHITECTURE

One-story house clad in board and batten wood siding and capped with a pyramidal roof with exposed rafter tails. Features include vinyl-sash windows, a flush wood replacement door, and two pipe chimneys. A partial-width entry porch has a shed roof covered in corrugated metal and supported by square columns.

STANDARDS FOR REVIEW

The City of Austin's Historic Design Standards are based on the Secretary of the Interior's Standards for Rehabilitation and are used to evaluate projects on historic landmarks. The following standards would apply to the proposed project if the property were designated as a landmark:

Repair and Alterations

General Standards

1.1 Do not remove intact historic material from the exterior of a building.

1.2 Always attempt repair first. Replacement should only be undertaken when absolutely necessary, and for the smallest area possible.

1.3 When historic material must be replaced due to damage or deterioration, replacement material should look the same, perform reliably within the existing construction, and, in most cases, be made of the same material.

The proposed project repairs and retains historic wood siding and trim, but it also proposes the replacement of historic porch material with new material of a different design. The project partly meets these standards.

1.5 When demolishing additions or features that were built after the building's period of significance, minimize damage to the building.

The proposed project replaces a rear addition with a new addition. The project meets this standard.

Roofs

3.1 When replacing roof material, use a material that is appropriate to the building's history and character.

3.5 Owners of landmark properties must replace roofs with material that approximates the appearance of the historic or existing roof material.

d. Standing seam metal roofs, despite their historic look, are generally not acceptable for historic landmarks unless the owner can document that the building historically had a standing seam roof.

The proposed project replaces an asphalt shingle roof with a metal roof. This is in keeping with the character of modestly scaled vernacular houses nearby. Additional research into contemporary vernacular houses in the area would be useful to ensure the roof material is appropriate.

3.2 When replacing roof material, retain the configuration; pitch; soffit detailing; character-defining features such as chimney, gutters, and ventilation systems; and design, configuration, and detailing of eaves.

The proposed project retains the roof form and character-defining features, including a pipe chimney. A second pipe may be removed if determined to be a non-original plumbing vent; otherwise, it will be retained. It adds skylights to two secondary (east and west) roof slopes. The project meets this standard.

3.3 Retain and repair historic decorative roof elements.

The proposed project retains the exposed rafter tails and meets this standard.

3.4 Do not add decorative roof elements that were not historically present.

The proposed project retains the simple design of the roof and does not add decorative roof elements. The project meets this standard.

Exterior Walls and Trim

4.1 Repair, rather than replace, historic material, unless it is deteriorated beyond the point of stabilization or restoration.

The proposed project repairs existing wood siding and meets this standard.

4.7 Obtain historic approval before changing exterior paint colors or painting unpainted masonry.

No paint color change is currently proposed.

4.8 Do not remove or replace exterior cladding and trim for additional insulation.

Exterior cladding and trim are proposed to remain in place. The project meets this standard.

Windows, Doors, and Screens

5.1 Repair, rather than replace, historic windows, doors, and screens; and their trim, surrounds, sidelights, transoms, and shutters, unless they are deteriorated beyond the point of stabilization or restoration. Retain windows if 50% or more of the wood or metal sash members are intact.

The existing windows and doors are replacements. Existing trim will be retained and repaired. The project meets this standard.

5.7 If replacing a non-original door, identify the historic style of the door through research, or look to nearby similar properties to guide the choice of a replacement.

The non-original flush wood door is proposed to be replaced with a period-appropriate wood door. The project meets this standard.

5.8 If a historic window or door is missing, replace it with a new unit based on documentation of the historic feature. If no documentation exists, use a new design compatible with the historic opening and the historic character of the building.

The proposed project replaces vinyl-sash windows with 2-over-2 double-hung clad-wood windows in the existing window openings. No known documentation exists, but the design is compatible with the historic openings and historic character of the building. See standard 5.7 for discussion of the door. The project meets this standard.

5.13 Do not enlarge, move, or enclose historic window or door openings unless required by an addition. If an opening is being used to connect to an addition, retain the size and configuration of the opening to the greatest extent possible.

5.14 New door or window openings must be limited, appropriate for the building, and compatible with the architectural character.

The proposed project retains historic window and door openings and meets this standard.

Porches

6.1 Repair, rather than replace, historic porch decking, piers, columns, railings, skirting, and trim, unless they are too deteriorated.

6.2 If it is necessary to replace historic elements, use compatible material with matching dimensions and details. Compatible

materials include wood, rot-resistant material, or matching masonry and concrete.

6.3 Maintain porch dimensions and height.

The proposed project will repair the porch decking, columns, and railings, replacing elements in-kind if extensive deterioration prevents repair. The project meets this standard.

6.4 Maintain the open nature of front porches.

The proposed project does not enclose the front porch; it meets this standard.

Chimneys

7.1 If the chimney is a character-defining feature of a building, it must be repaired or replaced with a matching design, elements, and materials.

The proposed project retains one of two pipe chimneys. If the second pipe is determined to be a non-original plumbing vent, it will be removed; otherwise, it will be retained. The project meets this standard.

Residential Additions

Location

1.1 Locate additions to the rear and sides of historic buildings to minimize visual impact.

1.3 If an addition adds a story to the historic building, set it back from the front wall to minimize visual impact.

a. If the historic building has a side-gabled, cross-gabled, hipped, or pyramidal roof form, set the addition behind the roof ridgeline or peak.

The proposed addition is located at the rear of the existing building and preserves the building's form. The project meets this standard.

1.5 Minimize the loss of historic fabric by connecting additions to the existing building through the least possible invasive location and means.

The proposed addition is connected to the rear of the existing building, where non-historic additions are currently located. The project meets this standard.

1.6 Additions are not appropriate for all historic landmarks and will be evaluated on a case-by-case basis.

Staff believes that the location, scale and massing, design, and materials of the proposed addition are compatible with and differentiated from the building.

Scale, Massing, and Height

2.1 Design an addition to complement the scale and massing of the historic building, including height. The addition must appear subordinate to the historic building.

2.2 Minimize the appearance of the addition from the street faced by the historic building's front wall.

a. If the addition connects to the historic building's rear wall, step in the addition's side walls at least one foot (1') from the side walls of the historic building.

b. The historic building's overall shape as viewed from the street must appear relatively unaltered.

The proposed addition recognizes the one-story height and rectangular massing of the existing building. Though it includes a double-height portion, it is only slightly taller than the ridgeline of the house. It will be visible from the sides, but appears subordinate to the building through its rear location—entirely behind the historic-age portions of the existing house and 30' from the front wall—and slight setback on the east side of the south (rear) wall. The western side of the addition extends slightly past the rear wall. The project largely meets this standard.

Design and Style

3.1 Design additions to be compatible with and differentiated from the historic building, if they are visible from the street.

a. Design proportions and patterns such as window-to-wall area ratios, floor-to-floor heights, fenestration patterns, and bay divisions to increase compatibility.

b. Do not replicate the design or details of the existing building to a degree that the addition might be mistaken as historic.

The proposed addition is generally compatible with and differentiated from the existing building, with similar window-to-wall area ratios on the side walls visible from the street. The project meets this standard.

3.2 No particular architectural style is required for addition design. Designs in both traditional and contemporary styles can successfully achieve compatibility and differentiation with historic buildings.

The proposed addition is designed in a modern style, with boxy massing, flat roofs, metal cladding, and ornamentation limited to minimal trim. Its vertical metal cladding references the historic board and batten wood cladding on the existing house. The project meets this standard.

Roofs

4.1 If an addition will be visible from a street on the front or side, design its roof form and slope to complement the roof on the historic building.

The roof of the proposed addition is flat. This minimizes the height of the addition and is compatible with the simple geometric pyramidal form of the existing house. The project meets this standard.

4.2 Use roof materials that match or have similar color, texture, and other visual qualities as the roof on the historic building.

Not applicable, as the materials of the addition roof will not be visible.

Exterior Walls

5.1 If an addition will be visible from a street on the front or side, use exterior wall materials that are compatible with those on the historic building in scale, type, material, size, finish, and texture.

5.2 Differentiate the exterior wall materials of the addition from those of the historic building. This could be accomplished by using different materials, using the same materials with different dimensions, or changing trim type or dimensions.

The vertical metal cladding on the proposed addition is a modern, close-textured reference to the historic board and batten siding and is both compatible with and differentiated from the existing building. The project meets this standard.

Windows, Screens, and Doors

6.1 If an addition will be visible from a street on the front or side, use windows that are compatible with those on the existing building in terms of material, fenestration pattern, size, proportion, configuration, and profile.

Windows on the addition's side walls have header heights that match those of the existing window openings, and the first-floor window on the addition's east wall matches the adjacent opening on the existing building. The material is aluminum-sash, with simple profiles and trim. The project meets this standard.

6.2 Do not use windows with false muntins inserted inside the glass.

The addition windows will not use false muntins; the project meets this standard.

Porches and Decks

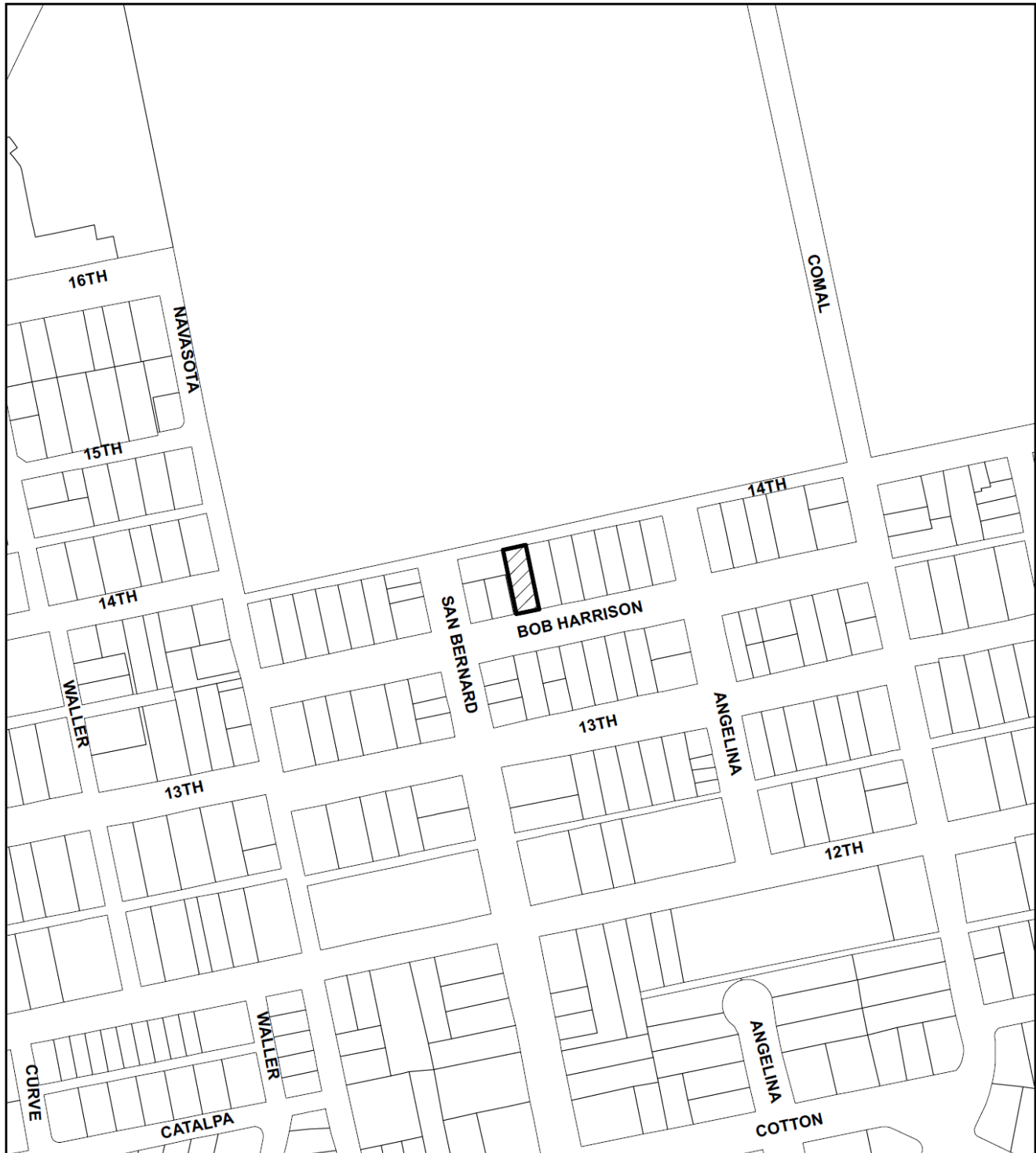
7.2 If new back porches and decks will be visible from the street, design them to be compatible with the historic building in terms of size, style, materials, and proportions.

The concrete deck at the rear southwest corner will be set back nearly 39' from the front wall and minimally visible from the street. It will have a low profile, without railings or cover, and will be very subordinate to the historic building. The project meets this standard.

STAFF RECOMMENDATION

Approve the plans.

LOCATION MAP



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

1" = 250'

NOTIFICATIONS

CASE#: HR 21-044151

LOCATION: 1304 BOB HARRISON

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



PROPERTY INFORMATION

Photos



Source: Google Street View, July 2019



Source: Zillow.com, ca. 2011

Occupancy History

City Directory Research, March-April 2021

1914	Address not listed
1916	Benjamin Norris (colored) Laborer, no employer listed
1920	Benjamin Norris (colored), renter Laborer, no employer listed
1922	Benjamin Norris (colored), renter (listed as 1204 E. 14 th Street) Fred and Ella Jones (colored), renter (listed as 1204 E. 14 th Street) Laborer, Butler Brick Works

Existing house likely constructed around 1924

1924	Samuel and Clara Posey, owners (listed as 1204 E. 14 th Street) No occupation listed
1927	Samuel and Clara Posey (colored), owners (listed as 1204 E. 14 th Street) Stacker, Kuntz-Sternenberg Lumber Co.
1929	Samuel Posey (colored), owner (listed as 1204 E. 14 th Street) Laborer, Kuntz-Sternenberg Co.
1932	Jesse and Meddie Amos, owners Porter, Texan Hotel (Jesse); Maid, Texan Hotel (Meddie)
1935	Samuel Posey, owner Occupation not listed
1937	Samuel and Sarah Posey, owners Occupation not listed
1939	Samuel Posey, owner Occupation not listed
1941	Samuel Posey, owner Occupation not listed
1944	Beulah Crayton + 4 children, renters Maid, employer not listed
1947	Eva L. Posey, owner Occupation not listed Edward I. Posey, renter Porter, State Capitol
1949	Eva L. Posey, owner Occupation not listed
1952	Eva L. Posey, owner

Occupation not listed

Eddie I. Posey, renter
Shoe shiner, employer not listed

1955 Eddie Posey, owner
Occupation not listed

1957 Eddie Posey, owner
Occupation not listed

Eva Posey, renter
Occupation not listed

1959 Eddie Posey, owner
Janitor, State Capitol Building

1969 Eddie Posey

Note: City directories are not currently available for online research past 1959, but the death certificate for Eddie Posey lists his home address as 1304 Bob Harrison. A 1979 building permit lists Leon Posey (Samuel's son and Eddie's brother) as the applicant; it is not known if he lived in the house. Leon's son Odie (Otis) G. Posey sold the property in 1998; it is not known if he lived in the house at any time.

See Zoning Change Review Sheet (A.2.0) for additional background information.

Permits and Maps

WATER SERVICE PERMIT		Austin, Texas		E No 80068	
Lot.....	1				
Block.....	5				
Subdivision.....	J. O'REILLY				
Received of.....		Date		8-27-74	
Service Address.....	1301 BOB HARRISON ST.	Size of Tap		3/4"	
Mailing Address.....					
Amount.....	\$				
Date of Connection	10-30-74				
Size of Tap Made	3/4"				
Size Service Made	3/4"				
Size Main Tapped	6" D.I.				
From Front Prop. Line to Curb Cock	9'				
From N Prop. Line to Curb Cock	37'				
Location of Meter	Curb on San Bernard				
Type of Box	lock				
Depth of Main in St.	4'				
Depth of Service Line	4'				
From Curb Cock to Tap on Main	28'				
Checked by Engr. Dept.					

No. Fittings	Size	
32' Pipe	3/4"	
1 Corp. Cock	3/4"	
1 Cop. to Iron ell		
1 Cop. to Cop. ell		
1 Cop. to Iron Coupling		
1 Cop. to Cop. Coupling		
1 Angle Stop	3/4"	
1 Stop		
1 Bushing		
1 Nipples		
1 Service Clamp		
1 Valve		
1 Meter Box	Small	
1 Lock Lid		
1 Drain Tile		
1 Drain Tile Lid		
1 Stop & Drain		
Job No	82132300-540332	
Foreman	W. J. O'Reilly	

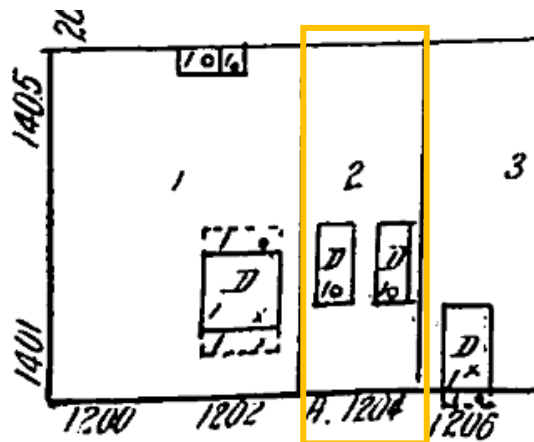
40
4-74-232

Water service permit, 8/27/1974

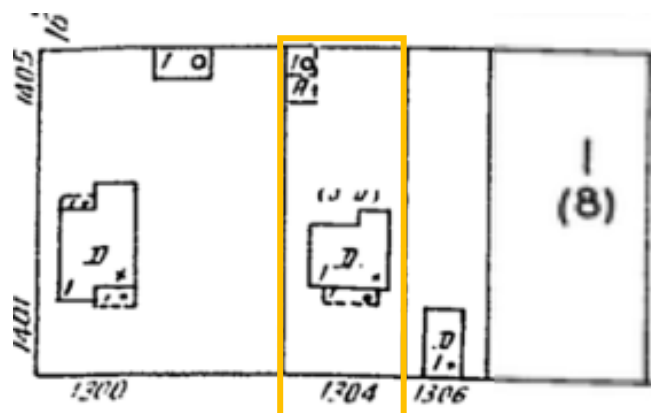
Address: 1304 Bob Harrison Ave		Permit: 187049		Plat: 40	
Lot: 2		Block 8		Subdivision: 2nd 1st	
Fire Zone: 3		Use Dist. A ₁		Occupancy: 10 room + 12 private	
11-1-79		Framing		9-29-8	
Foundation	Layout	Floor joist size & o.c.	Bldg. Conn.	Parking	Commercial
Front setback	OK	ceiling joist size & o.c.	Room Vent.	Exits	
Total & Min. side yard		stud size & o.c.	Stairs	Exit lights	
Side St. Yard			Rails	Fences	
Type Const.		W. Insulation	Attic Vent.	Corridors	
Spec. Permit #		Sheetrock	Insulation		
BOA		Commercial Sheetrock	Hood Vent.		
		Occup. Sep.	Glass		
		Thru out	Deadbolts		
			Fireplaces		
Owner: Leon B. Posey			Contractor: Johnson Home Corp		

Building permit issued to Leon Posey, 11/1/1979

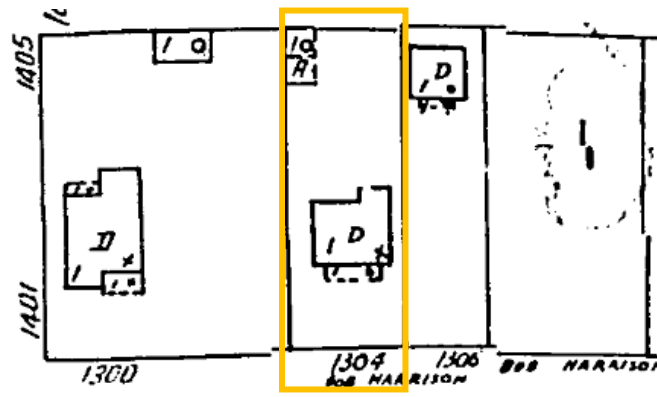
City records also include a 1998 building permit for a remodel. No plans or other details are included.



1922 Sanborn Fire Insurance Map, sheet 82 (then called Walnut Street)



1935 Sanborn Fire Insurance Map, sheet 204 (Bob Harrison Street)



1962 Sanborn Fire Insurance Map, sheet 204 (Bob Harrison Street)