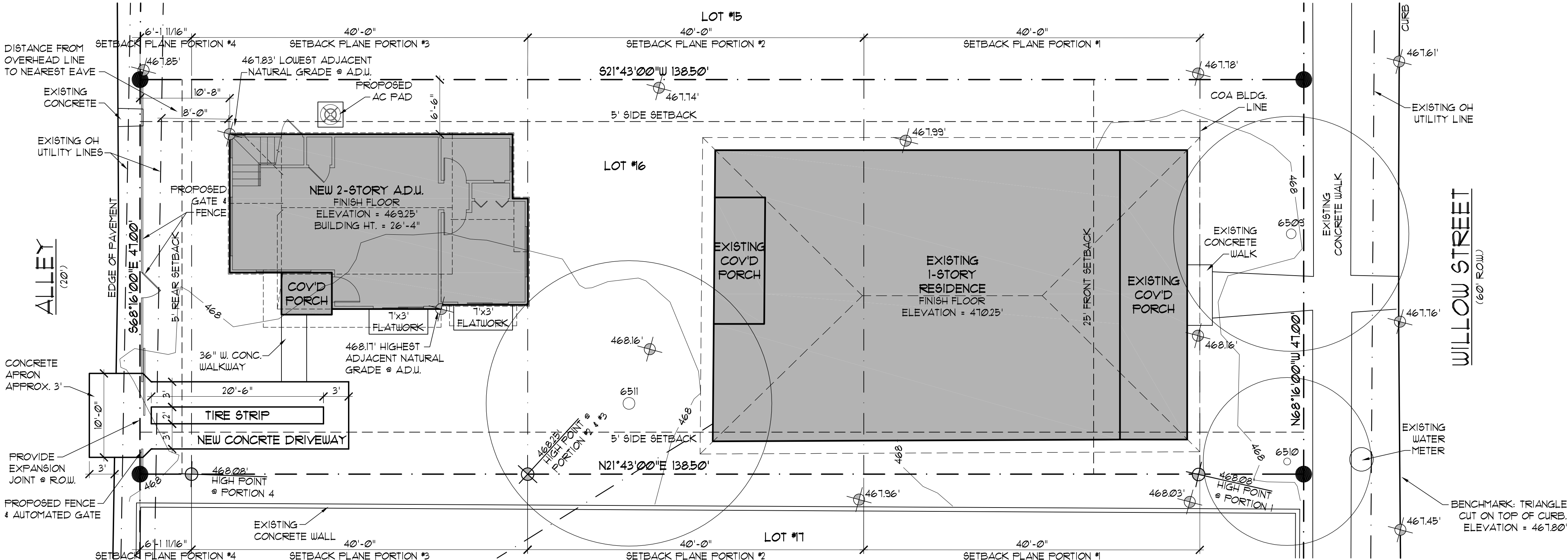


GENERAL SITE NOTES

- BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AND ROOF RUN-OFF AWAY FROM ALL SIDES OF BUILDING. REWORK SURROUNDING GRADE AS REQUIRED. NEW DRAINAGE PATTERNS SHALL NOT ADVERSELY AFFECT SURROUNDING PROPERTIES.
- FINAL BUILDING LOCATION AND ELEVATION OF FINISH FLOOR TO BE VERIFIED BY BUILDER AND OWNER AND BE IN COMPLIANCE WITH ALL LOCAL ORDINANCES AND REQUIREMENTS.
- AT STAKE-OUT CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS, LOCATION OF ALL LOT LINES, EASEMENTS, BUILDING SETBACKS AND SIDE AND REAR YARD REQUIREMENTS (WHETHER INDICATED ON DRAWINGS OR NOT) AND SHALL BE RESPONSIBLE FOR COMPLIANCE.
- SCREEN ALL EXTERIOR HVAC EQUIPMENT IN ACCORDANCE WITH MUNICIPAL CODE, SUBDIVISION, NEIGHBORHOOD ASSOCIATION, OR DEED RESTRICTION REQUIREMENTS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY LINES, LOCATIONS, AND METERS. SUCH INFORMATION ON DRAWINGS IS FOR GRAPHICAL REPRESENTATION AND LOCATIONS ARE APPROXIMATE.
- CONTRACTOR SHALL INSTALL EROSION/ SEDIMENTATION CONTROLS AND TREE/ NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK INCLUDING CLEARING, GRUBBING, OR EXCAVATION.
- ALL WALKWAYS, DRIVEWAYS, AND PVC LOCATIONS/ LAYOUT TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL CONCRETE DRIVES, WALKS, AND PATIOS TO HAVE EXPANSION AND CONTROL JOINTS AS REQUIRED.
- UNLESS SUBDIVISION OR LOCAL ORDINANCES DICTATE OTHERWISE, CONTRACTOR OR SHALL LEAVE A MINIMUM OF 8" AND A MAXIMUM OF 3/4" OF EXPOSED FOUNDATION AND SHALL PROVIDE UNDERPINNING FOR ALL EXPOSED FOUNDATIONS.
- VERIFY EXTERIOR DRIVEWAY LIGHTING AND MAILBOX LOCATION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR TO STORE ALL MATERIALS AND WASTE ON SITE DURING CONSTRUCTION.
- ANY REQUIRED LANDSCAPE PLANS OR PERMITS TO BE ACQUIRED SEPARATELY FROM THESE PLANS.
- ALL TREES TO BE PROTECTED DURING CONSTRUCTION. VERIFY REMOVAL OR ALTERATION OF ANY TREES WITH OWNER. TREE PROTECTION AND REMOVAL TO BE CONDUCTED PER LOCAL ORDINANCES AND BEST PRACTICES.
- CONTRACTOR TO MAINTAIN A CLEAN AND ORDERLY JOB SITE DURING CONSTRUCTION BY CLEANING AREAS AFFECTED BY DAILY WORK. AT COMPLETION OF CONSTRUCTION ALL DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED.
- BASED ON PROVIDED SURVEY THERE ARE NO STORY WATER METERS ALONG LOT FRONTAGE OR ON ADJACENT PROPERTIES WITHIN 10' OF SIDE PROPERTY LINES.



SITE PLAN

FULL SIZE SCALE: 1/8" = 1'-0"
1x11 SCALE: 1/16" = 1'-0"

SITE DEVELOPMENT INFORMATION

AREA DESCRIPTION	EXISTING SQ. FT.	NEW/ ADDED SQ. FT.	TOTAL SQ. FT.
A.) 1st FLOOR CONDITIONED AREA	1543	668	1543
B.) 2nd FLOOR CONDITIONED AREA		307	307
C.) 3rd FLOOR CONDITIONED AREA			
D.) BASEMENT			
E.) COVD PARKING (GARAGE OR CARPORT)			
F.) COVD PATIO, DECK, PORCH AND/ OR BALCONY AREA(S)	362	30	362
G.) OTHER COVD OR ROOFED AREA			
H.) UNCOVD WOOD DECKS			
I.) POOL			
J.) SPA			
K.) REMODELED FLOOR AREA, EXCLUDING ADDITION/ NEW CONSTRUCTION	-	-	-
TOTAL BUILDING COVERAGE (SQ. FT.):	1,905	1,005	1,905
L.) DRIVEWAY		159	159
M.) SIDEWALKS	81	24	81
N.) UNCOVD PATIO		42	42
O.) UNCOVD WOOD DECKS (COUNTED AT 50%)			
P.) AC PADS AND OTHER CONCRETE FLATWORK	9	9	9
Q.) OTHER			
TOTAL IMPERVIOUS COVERAGE (SQ. FT.):	2,927		
TOTAL LOT AREA (SQ. FT.):	6,509		

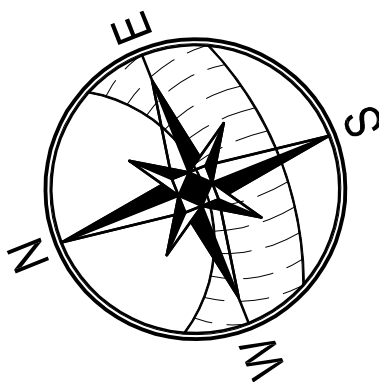
SUBCHAPTER F - GROSS FLOOR AREA

	EXISTING TO REMAIN	NEW/ ADDED	PROPOSED EXEMPTION	APPLIED EXEMPT	TOTAL SQ. FT.
1st FLOOR	1543	668			2211
2nd FLOOR		307			307
3rd FLOOR					
AREA W/ CEILINGS TALLER THAN 15'					
GROUND FLOOR PORCH (CHECK ARTICLE IF UTILIZED)	362	30	FULL PORCH	392	
BASEMENT			200 SQ. FT.		
ATTIC					
GARAGE: CHECK ARTICLE UTILIZED	ATTACHED				
	DETACHED				
CARPORT: CHECK ARTICLE UTILIZED	ATTACHED				
	DETACHED				
DETACHED ACCESSORY BUILDING(S)					
TOTALS	1,905	1,005		392	2,518
TOTAL GROSS FLOOR AREA (ADD TOTAL SQ. FT. COLUMNS):	2,518				REMAINING F.A.R. = 85%
(TOTAL GROSS FLOOR AREA / LOT AREA) X 100 =	38.68%				FLOOR-TO-AREA RATIO (FAR)

TAG	TREE DESCRIPTION
6503	14" PINE
6510	4" & 8" CITRUS (10" TOTAL)
6511	11" MULBERRY

LEGAL DESCRIPTION:

902 WILLOW STREET
LOT #6, BLOCK #1
MAGUIRE'S SUBDIVISION OF OUTLOT 31 & 32,
DIVISION "D" SUBDIVISION
AUSTIN, TX 78702
TRAVIS COUNTY



PERMIT APPLICATION INFORMATION

SETBACKS	Y	N
ARE ANY EXISTING STRUCTURES ON THIS SITE A NON-COMPLIANT STRUCTURE BASED ON YARD SETBACK REQUIREMENT (LDC 25-2-432)	☒	☐
DOES ANY STRUCTURE (OR AN ELEMENT OF A STRUCTURE) EXTEND OVER OR BEYOND A REQUIRED YARD? (LDC 25-2-513)	☒	☐
IS FRONT YARD SETBACK AVERAGING BEING UTILIZED ON THIS PROPERTY? (LDC 25-2 SUBCHAPTER F, SEC. 23 OR 25-2-118)	☐	☒
HEIGHT INFORMATION (LDC 25-1-21 OR 25-2 SUBCHAPTER F, SEC. 34)		
BUILDING HEIGHT: 26 FT. 4 IN. NUMBER OF FLOORS: 2		
PARKING (LDC 25-6 APPENDIX A & 25-6-418)		
* OF SPACES REQUIRED: 1 * OF SPACES PROVIDED: 1		
RIGHT-OF-WAY INFORMATION	Y	N
IS A SIDEWALK REQUIRED FOR THE PROPOSED CONSTRUCTION? (LDC 25-6-353)	☐	☒
WILL THE OWNER PAY THE FEE-IN-LIEU OF SIDEWALK CONSTRUCTION? (NOT ON PERMIT APPLICATION - FILE "FEE-IN-LIEU" APPLICATION IF YES)	☐	☒
WILL A TYPE I DRIVEWAY APPROACH BE INSTALLED, RELOCATED, REMOVED OR REPAIRED AS PART OF THE PROJECT?	☒	☐
WIDTH OF APPROACH (MEASURED AT PROPERTY LINE): 100' (ALLEY)		
DISTANCE FROM INTERSECTION (FOR CORNER LOTS ONLY):		
ARE STORM SEWER INLETS LOCATED ALONG THE PROPERTY OR WITHIN TEN (10) FEET OF THE BOUNDARIES OF THE PROPERTY?	☐	☒
SUB-CHAPTER F INFORMATION	Y	N
IS A SIDEWALL ARTICULATION REQUIRED FOR THIS PROJECT?	☐	☒
DOES ANY PORTION OF THE STRUCTURE EXTEND BEYOND A SETBACK PLANE. EXEMPTION EXHIBIT (AKA "TENT")?	☐	☒

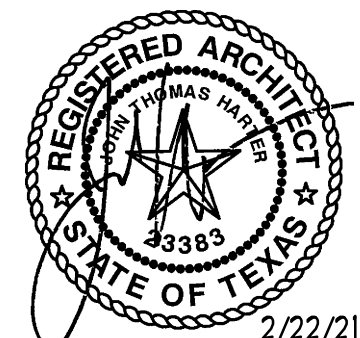
GENERAL PROJECT NOTES

- CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR REVIEWING PLANS AND VERIFYING COMPLIANCE WITH ALL LOCAL BUILDING CODES AND REGULATIONS. IF BUILDER OR THEIR REPRESENTATIVES MODIFY OR DEVIATE FROM PLANS WITHOUT CONTACTING ARCHITECT, BUILDER ASSUMES FULL LIABILITY FOR ALTERED PLANS.
- ANY ERRORS, OMISSIONS, NON-COMPLIANCE OR INCONSISTENCIES IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING OF ANY MATERIALS OR COMMENCEMENT OF WORK.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, ALL WATERPROOFING, DAMP-PROOFING, STRUCTURAL SYSTEMS AND CONNECTIONS, AS WELL AS MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION NOT SHOWN IN THESE DRAWINGS.
- ARCHITECT SHALL NOT BE HELD LIABLE FOR CONTRACTOR'S FAILURE TO EXECUTE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/ OR IN COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, LAWS, STATUTES, DEED RESTRICTIONS, OR REGULATIONS. CONTRACTOR SHALL REQUIRE ALL SUB-CONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ARCHITECT SHALL USE DUE DILIGENCE IN RESEARCHING APPLICABLE MUNICIPAL BUILDING CODES FOR THE PROJECT. ARCHITECT SHALL NOT BE RESPONSIBLE OR BE HELD ACCOUNTABLE FOR ADDITIONS OR REVISIONS TO CODES THAT ARE NOT READILY AVAILABLE THROUGH REASONABLE MEANS OR MISREPRESENTATIONS OR CONFLICTING INTERPRETATIONS OF CODES BY CITY OFFICIALS, OR ADDITIONS OR REVISIONS TO CODES THAT OCCUR AFTER THE COMMENCEMENT OF THE PROJECT.
- THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. ARCHITECT SHALL RETAIN ALL COPYRIGHT, LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, IN THE DESIGNS, DRAWINGS, CONCEPTS, AND PLANS. CLIENTS RIGHT TO USE SAME IS CONDITIONAL AND LIMITED TO A ONE-TIME USE TO CONSTRUCT THE AGREED UPON PROJECT.
- THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS (TBAE) HAS JURISDICTION OVER THE PRACTICE OF ARCHITECTURE AND MAY BE REACHED AT (512) 498-1363.
- CONTRACTOR SHALL FILE FOR AND OBTAIN ALL NECESSARY PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
- WATERPROOFING & TYPICAL DETAILING ARE NOT SHOWN IN THESE DRAWINGS.
- DRAWINGS DO NOT SPECIFY MATERIAL SELECTIONS OR ACTUAL PRODUCTS. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROPER DETAILING AND ASSEMBLIES BETWEEN ALL SELECTED AND INSTALLED PRODUCTS AND MATERIALS.
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- LISTED PLAN DIMENSIONS ARE TO STRUCTURAL FACE OF WALL AND DO NOT INCLUDE Furring OR WALL FINISHES.
- DO NOT SCALE DIMENSIONS FROM THESE DRAWINGS. IN THE EVENT OF A DIMENSIONAL ERROR OR OMISSION CONTACT THE ARCHITECT FOR ANY CRUCIAL DIMENSION.
- CONTRACTOR AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS IN THE FIELD. ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. MINOR DEVIATIONS DUE TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS CAN BE EXPECTED.
- CONTRACTOR AND ALL SUB-CONTRACTORS TO MEET ALL OSHA REQUIREMENTS. THESE DRAWINGS DO NOT SHOW NECESSARY SAFETY COMPONENTS. CONTRACTOR ASSUMES RESPONSIBILITY TO MAINTAIN A SAFE WORKING ENVIRONMENT FOR ALL PERSONNEL AND OCCUPANTS THROUGHOUT THE PROJECT.
- IN ADDITION TO ALL STANDARD INDUSTRY WARRANTIES CONTRACTOR AND ALL SUB-CONTRACTORS TO GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO SUPPLY AND INSTALL ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE PROPER, COMPLETE, AND APPROVED INSTALLATION OF ALL COMPONENTS, SYSTEMS, AND ASSEMBLIES CALLED FOR, IMPLIED, AND REQUIRED.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB-SITE AT ALL TIMES. REMOVED MATERIALS, TRASH, AND DEBRIS SHALL BE TAKEN TO APPROVED DUMP SITES ONLY.
- CONTRACTOR SHALL ENSURE ALL MATERIALS, ASSEMBLIES, FINISHES, AND COMPONENTS ARE CONSTRUCTED AND INSTALLED PER CODE REQUIREMENTS, MANUFACTURER RECOMMENDATIONS AND STANDARD BUILDING PRACTICES.
- CONTRACTOR SHALL GIVE APPROPRIATE NOTICE TO ALL SUPER-INTENDENTS, INSPECTORS, OR PERSONS RESPONSIBLE FOR UTILITIES AFFECTED BY PROJECT PRIOR TO CONSTRUCTION.
- THESE DRAWINGS SHALL NOT BE MODIFIED OR ALTERED IN ANY WAY WITHOUT ARCHITECT'S PRIOR WRITTEN EXPRESS APPROVAL.

JH Architecture

A CUSTOM DESIGNED:
NEW ACCESSORY DWELLING UNIT
902 WILLOW STREET
AUSTIN, TX 78702
TRAVIS COUNTY

REVISION:



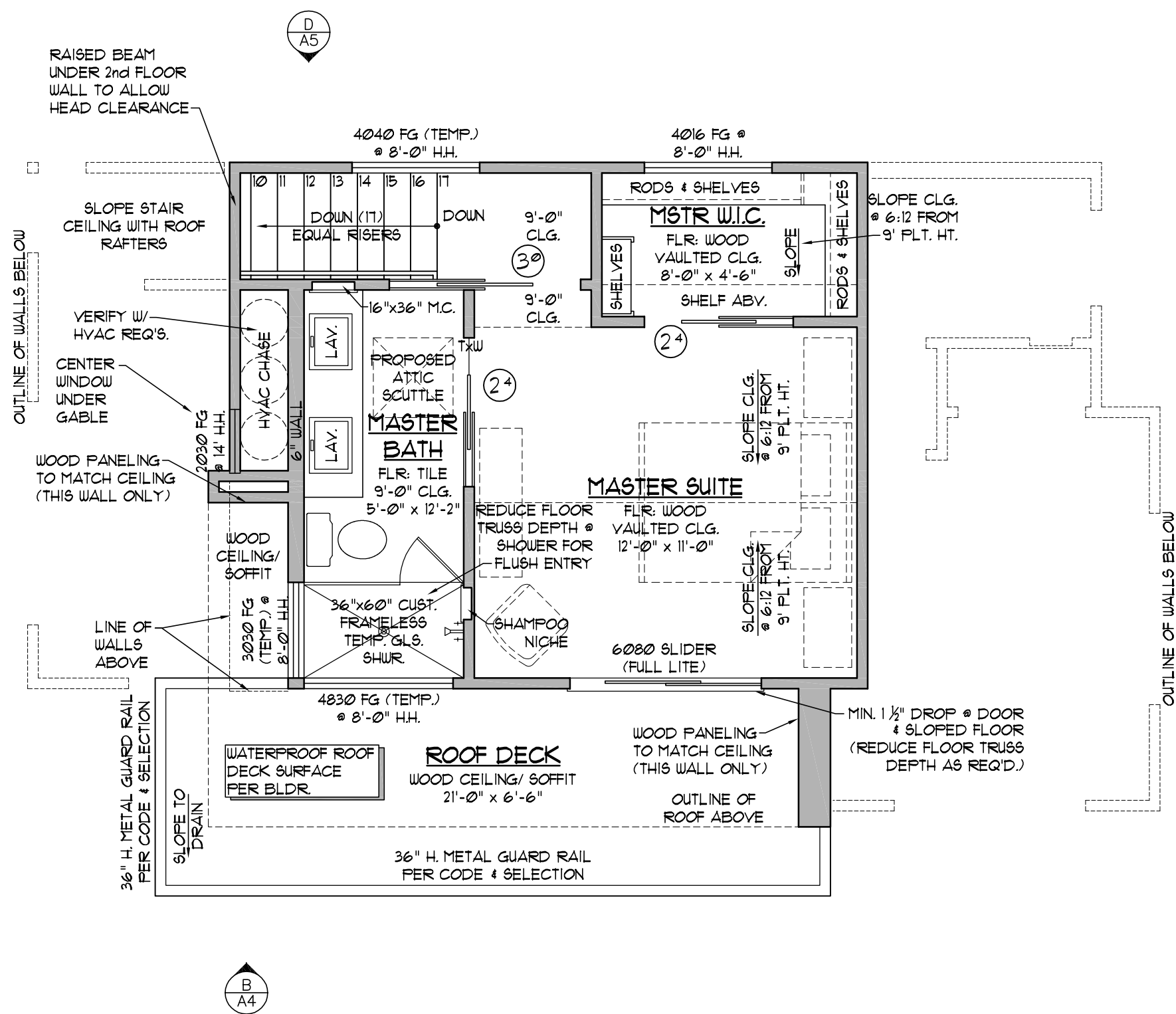
902 WILLOW STREET
NEW-BUILD ADU

SHEET

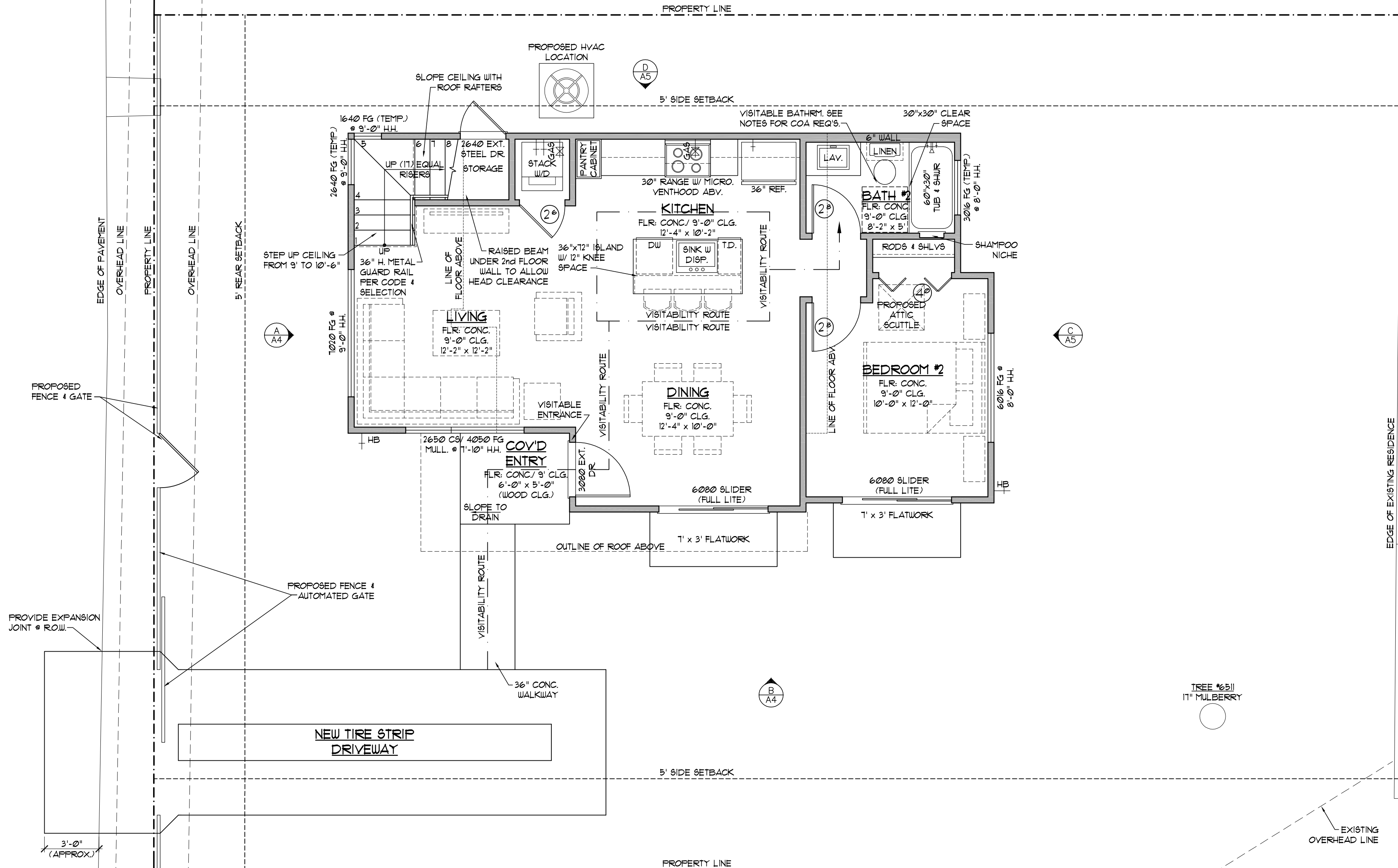
A-1

PROJECT NO: 20045
DATE: 2/22/21
CHECKED: JH

PH: (512) 779-2748
WWW.JHARCHITECTURE.NET
1003 JUSTIN LANE #2128 AUSTIN, TX 78757



A.D.U. UPPER FLOOR PLAN
FULL SIZE SCALE: 1/4" = 1'-0"
1x11 SCALE: 1/8" = 1'-0"



A.D.U. MAIN FLOOR PLAN
FULL SIZE SCALE: 1/4" = 1'-0"
1x11 SCALE: 1/8" = 1'-0"

GENERAL PLAN NOTES

- CONTRACTOR TO REVIEW AND VERIFY THE REQUIREMENTS, SIZING, AND LOCATION OF ALL APPLIANCES AND RELATED COMPONENTS.
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED.
- PROVIDE MINIMUM 1 1/2" DROP AT ALL EXTERIOR/ INTERIOR THRESHOLDS. CONTRACTOR TO VERIFY ALL FINISH MATERIALS TO MAINTAIN MINIMUM DROP. EXCEPTION: CITY OF AUSTIN VISITABLE ENTRANCES AND ROUTES TO HAVE RAMPED, BEVELED OR FLUSH TRANSITIONS PER CITY CODE.
- CONTRACTOR AND WINDOW SUPPLIER TO VERIFY EGRESSABLE WINDOWS ARE ORDERED AND INSTALLED IN ALL LOCATIONS REQUIRED BY CODE.
- CONTRACTOR AND WINDOW SUPPLIER TO VERIFY TEMPERED GLASS IS INSTALLED IN ALL LOCATIONS REQUIRED BY CODE.
- ALL WINDOWS IN THESE DRAWINGS ARE LISTED BY NOMINAL SIZE. USE STANDARD WINDOW SIZES UNLESS NOTED OTHERWISE.
- DIMENSION LINES FOR DOOR AND WINDOW OPENINGS INDICATE CENTERLINE OF ROUGH OPENING.
- SHOWER DOORS SHALL SWING OUTWARD. ALL GLAZING AT SHOWERS AND TUBS TO BE FULLY TEMPERED OR LAMINATED SAFETY GLASS AS REQUIRED BY CODE.
- HVAC UNITS TO BE LOCATED WITHIN 20'-0" OF ATTIC ACCESS. PROVIDE MIN. 3/4" PLYWOOD CATWALK TO HVAC UNIT FROM ATTIC ACCESS.
- ATTIC ACCESS DOORS AND PULL-DOWN STAIRS TO BE FULLY WEATHERSTRIPPED.
- ALL SHOWER HEADS TO BE MOUNTED AT 1'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE BLOCKING AS NECESSARY FOR HANDRAIL MOUNTING AT STAIRS AND AT ALL CEILING FANS.
- CONSOLIDATE AND GANG ALL GAS, APPLIANCE, AND PLUMBING VENTS TO CREATE THE SMALLEST NUMBER OF ROOF PENETRATIONS POSSIBLE. LOCATE AT LEAST VISIBLE LOCATIONS ON REAR OR SIDE ELEVATIONS.

CITY OF AUSTIN - VISITABILITY NOTES

- ALL NEWLY CONSTRUCTED SINGLE-FAMILY HOMES OR DUPLEX DWELLINGS WITH HABITABLE SPACE ON THE FIRST FLOOR MUST BE CONSTRUCTED AS VISITABLE DWELLINGS BY MEETING THE FOLLOWING CRITERIA.
 - MINIMUM CLEAR OPENING OF 30"
 - LATERAL 2"x6" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS. THE CENTERLINE OF THE BLOCKING MUST BE 34" ABOVE AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.
 - THE VISITABLE BATHROOM MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING OF 32" BEGINNING AT THE VISITABLE ENTRANCE AND CONTINUING THROUGH THE LIVING ROOM, DINING ROOM, AND KITCHEN AND BE LEVEL WITH RAMPED OR BEVELED CHANGES AT DOOR THRESHOLDS.
- FIRST FLOOR VISITABLE ELECTRICAL REQUIREMENTS:
 - LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL.
 - OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.
- VISITABLE DWELLING ENTRANCE - A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32". THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE OR IN THE GARAGE OR CARPORT OF THE DWELLING.
- EXTERIOR VISITABLE ROUTE - THE VISITABLE ENTRANCE MUST HAVE AT LEAST ONE VISITABLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN 1% THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. ANY RAMPING MUST COMPLY WITH THE RESIDENTIAL CODE.

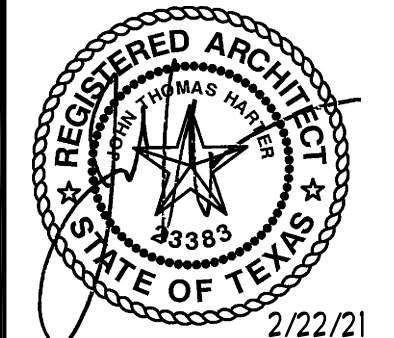
SQUARE FOOTAGE CALCS.

	PRIMARY	A.D.U.
MAIN FLOOR	1543#	668#
UPPER FLOOR		207#
TOTAL HEATED		975#
COVID PARKING		
FRONT COVID PORCH	272#	30#
REAR COVID PORCH	90#	
OTHER COVID AREA		
UNCOVID WOOD DECK		
TOTAL BUILDING AREA	1305#	1205#
TOTAL BUILDING COVERAGE	1305#	698#
TOTAL LOT BUILDING COVERAGE		2603#
		39.99%
TOTAL BUILDING COVERAGE	1305#	698#
UNCOVID PATIOS		50#
UNCOVID WOOD DECKS (50%)	81#	24#
AC PADS & FLATWORK		42#
OTHER	9#	9#
TOTAL IMPERVIOUS COVERAGE	1955#	822#
TOTAL LOT IMPERVIOUS COVERAGE		2321#
		44.91%
REMAINING IMPERVIOUS COVERAGE		2#
REMAINING BUILDING COVERAGE		0#
REMAINING FLOOR-TO-AREA FAR		85#

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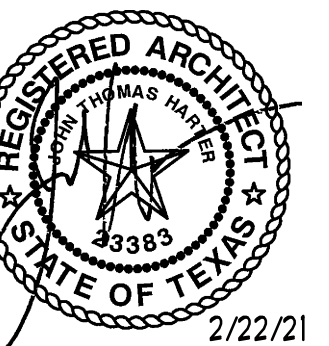
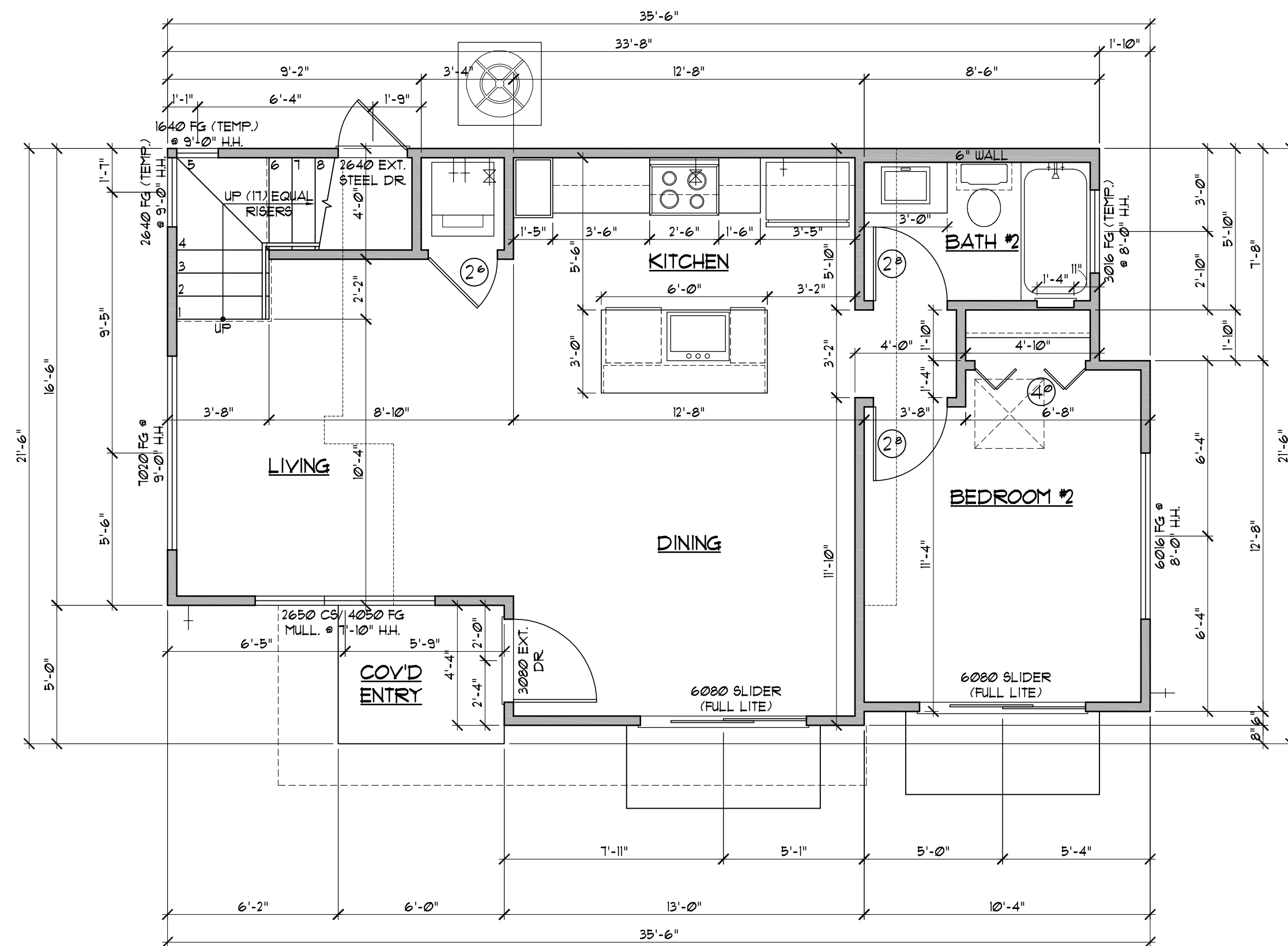
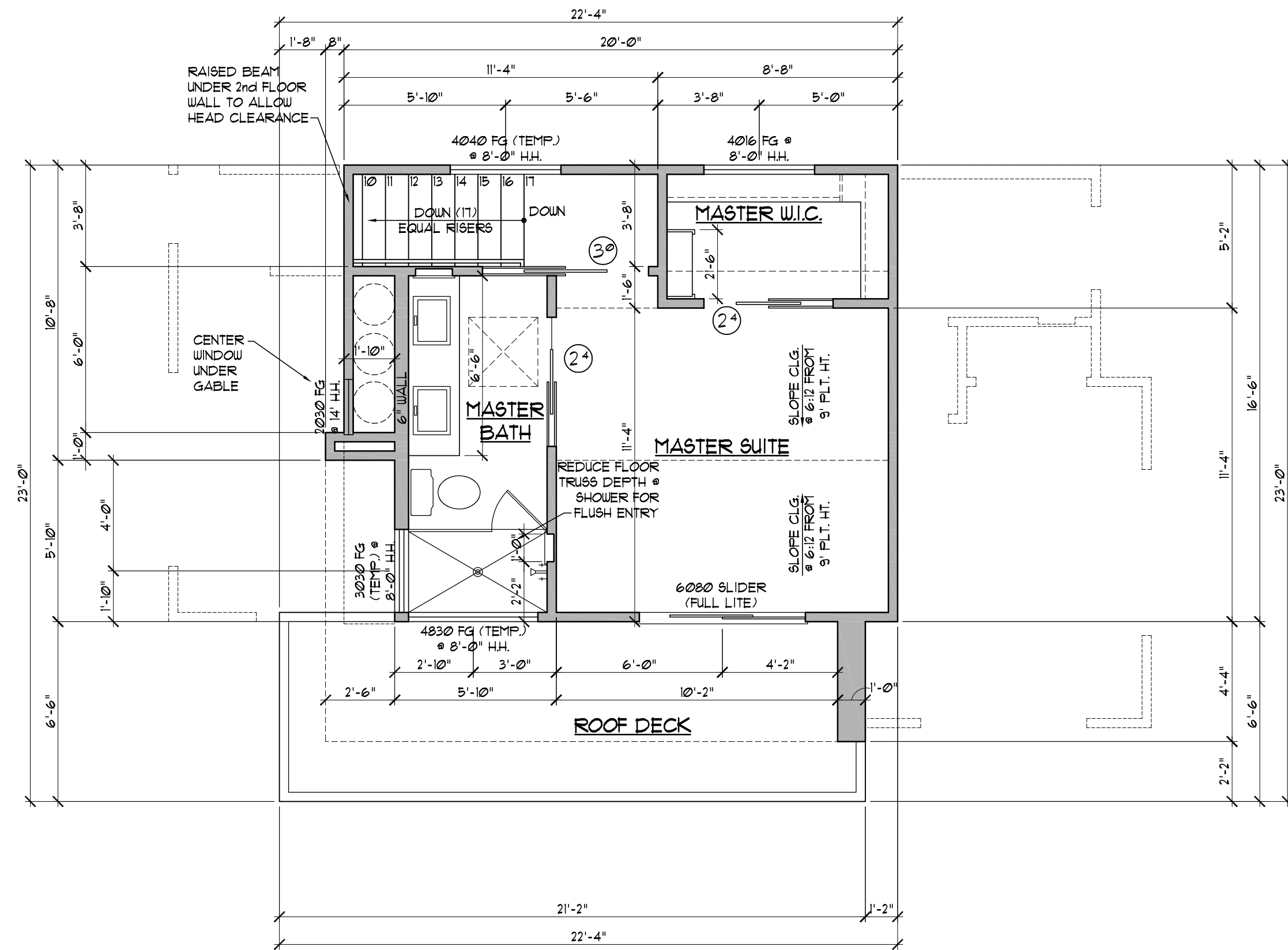


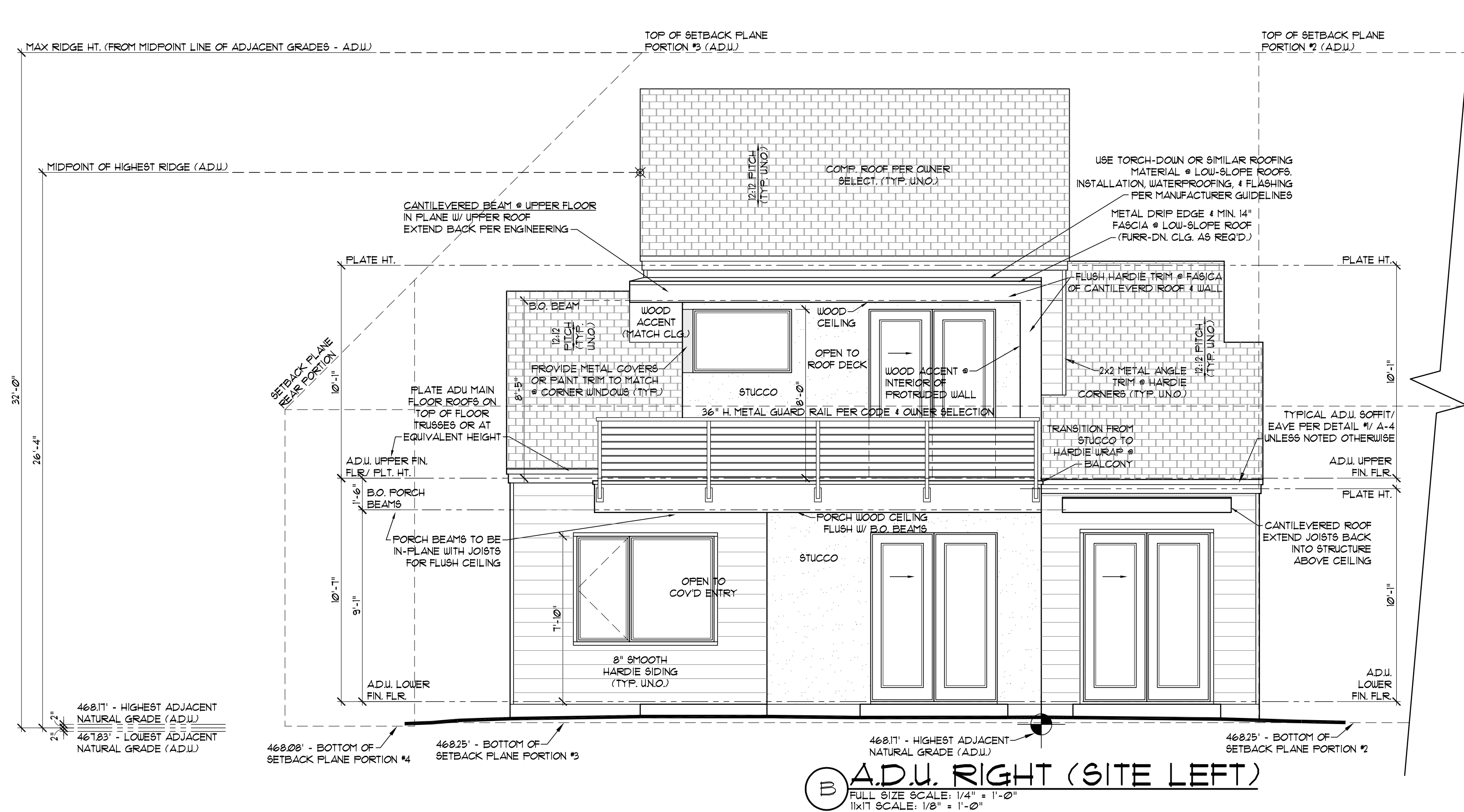
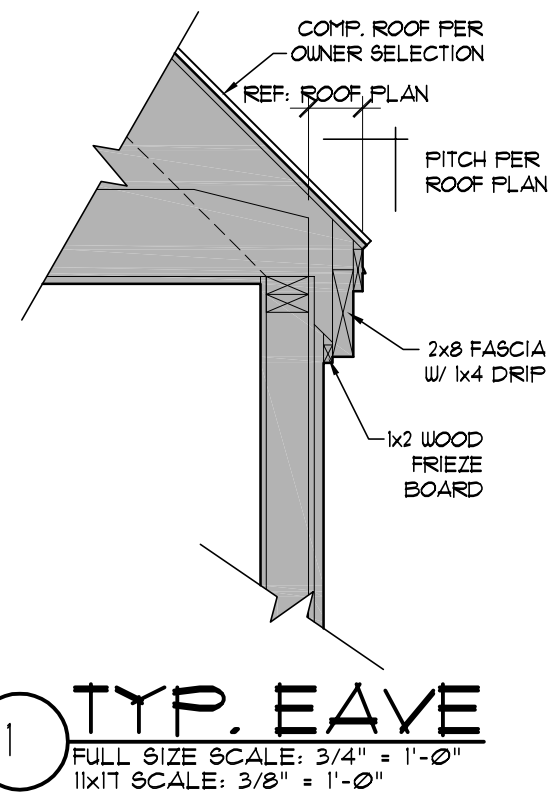
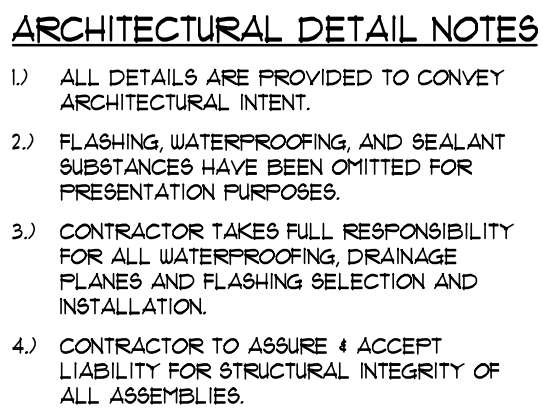
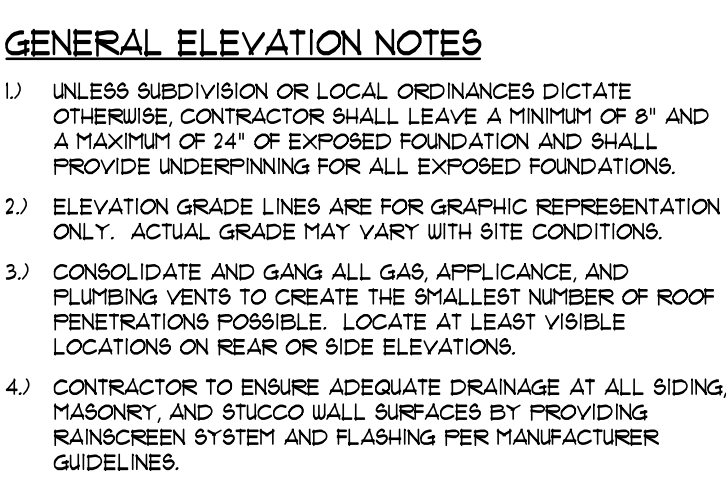
902 WILLOW STREET
NEW-BUILD ADU

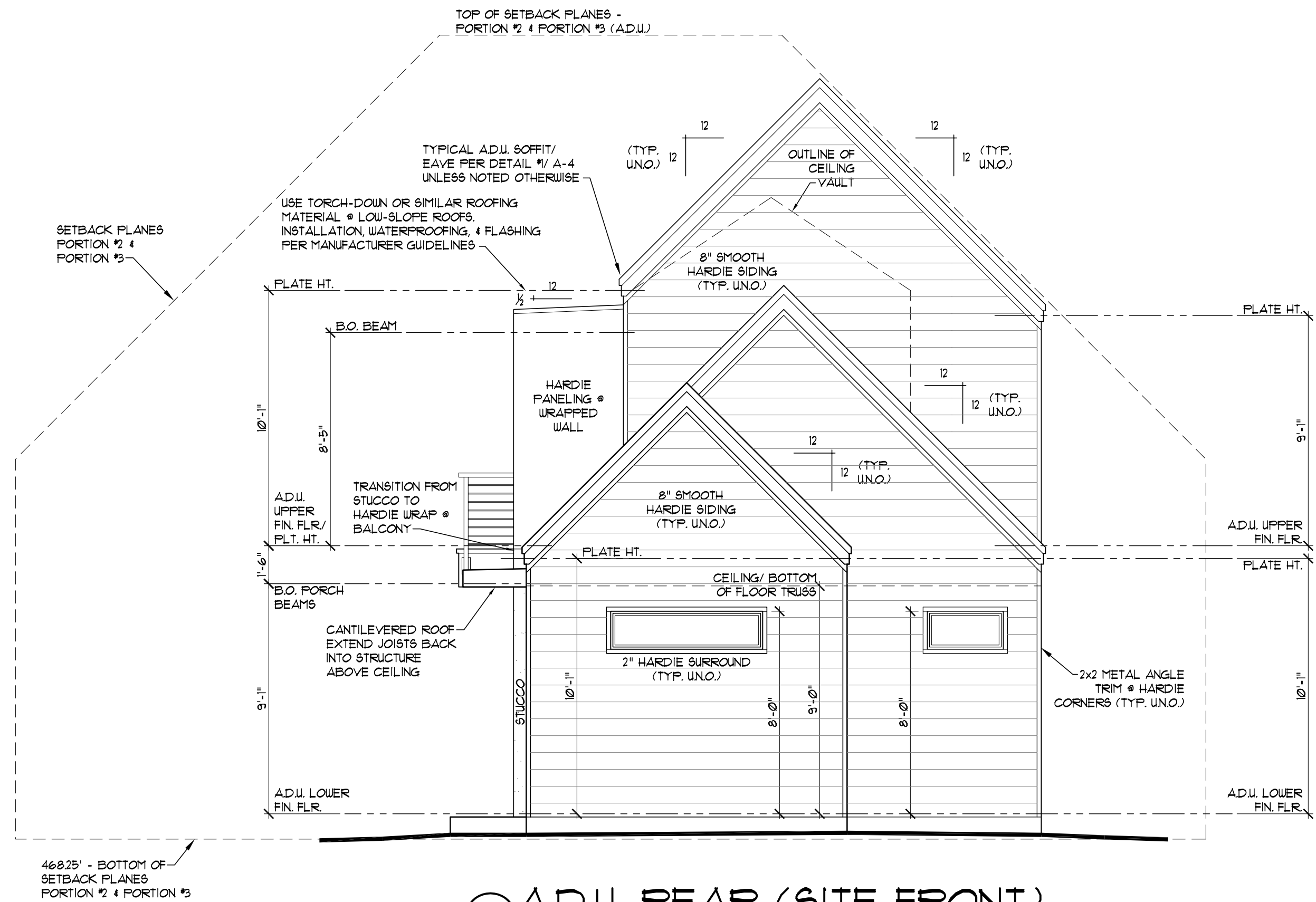
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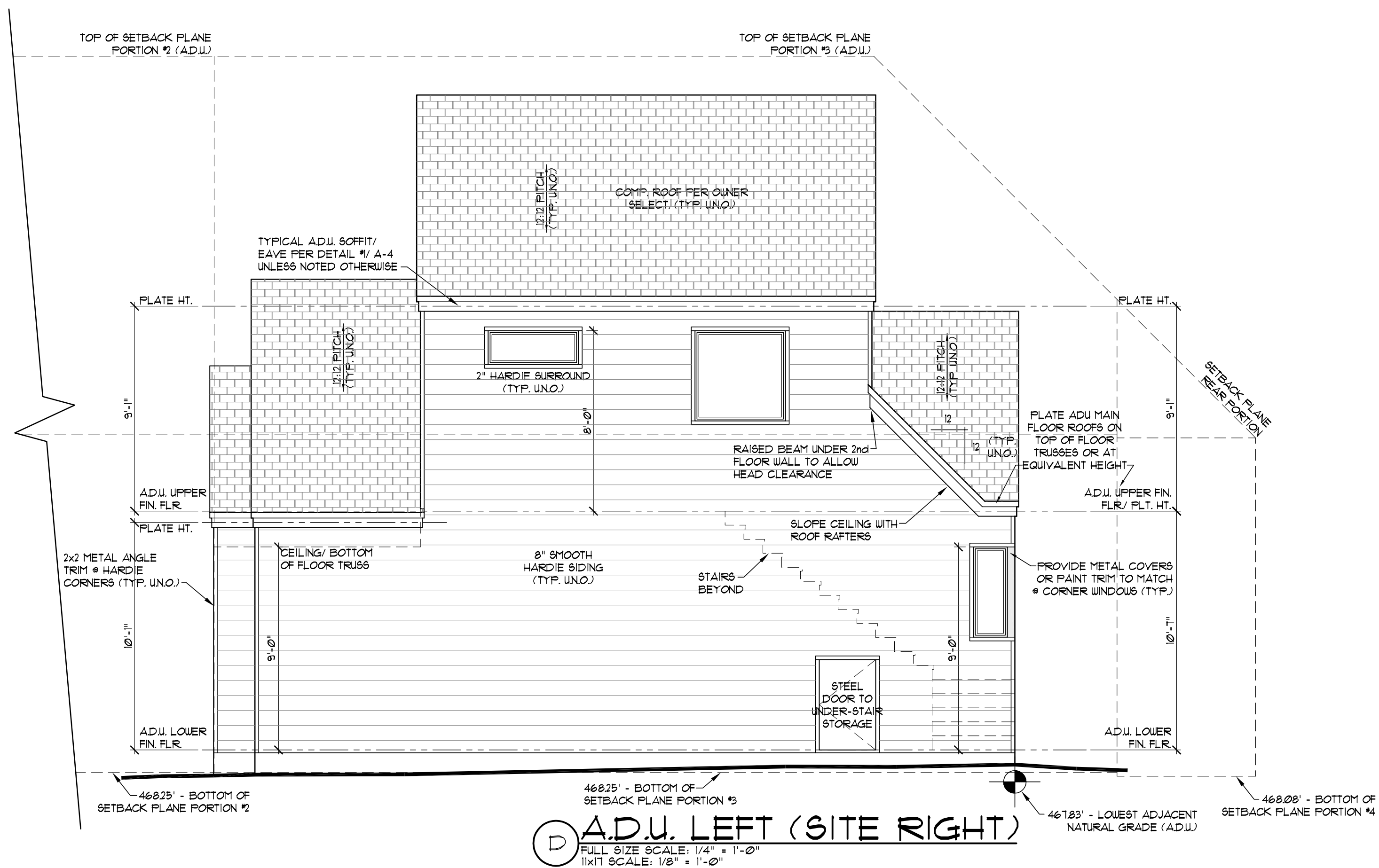
PROJECT NO: 20045
DATE: 2/22/21
CHECKED: JH







ADU. REAR (SITE FRONT)
 FULL SIZE SCALE: 1/4" = 1'-0"
 1X1 SCALE: 1/8" = 1'-0"

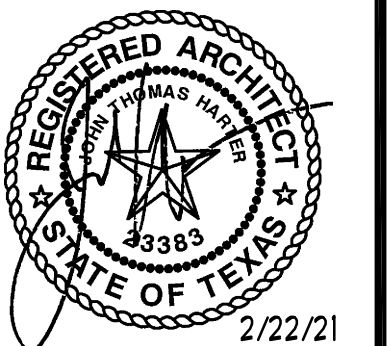


ADU. LEFT (SITE RIGHT)
 FULL SIZE SCALE: 1/4" = 1'-0"
 1X1 SCALE: 1/8" = 1'-0"

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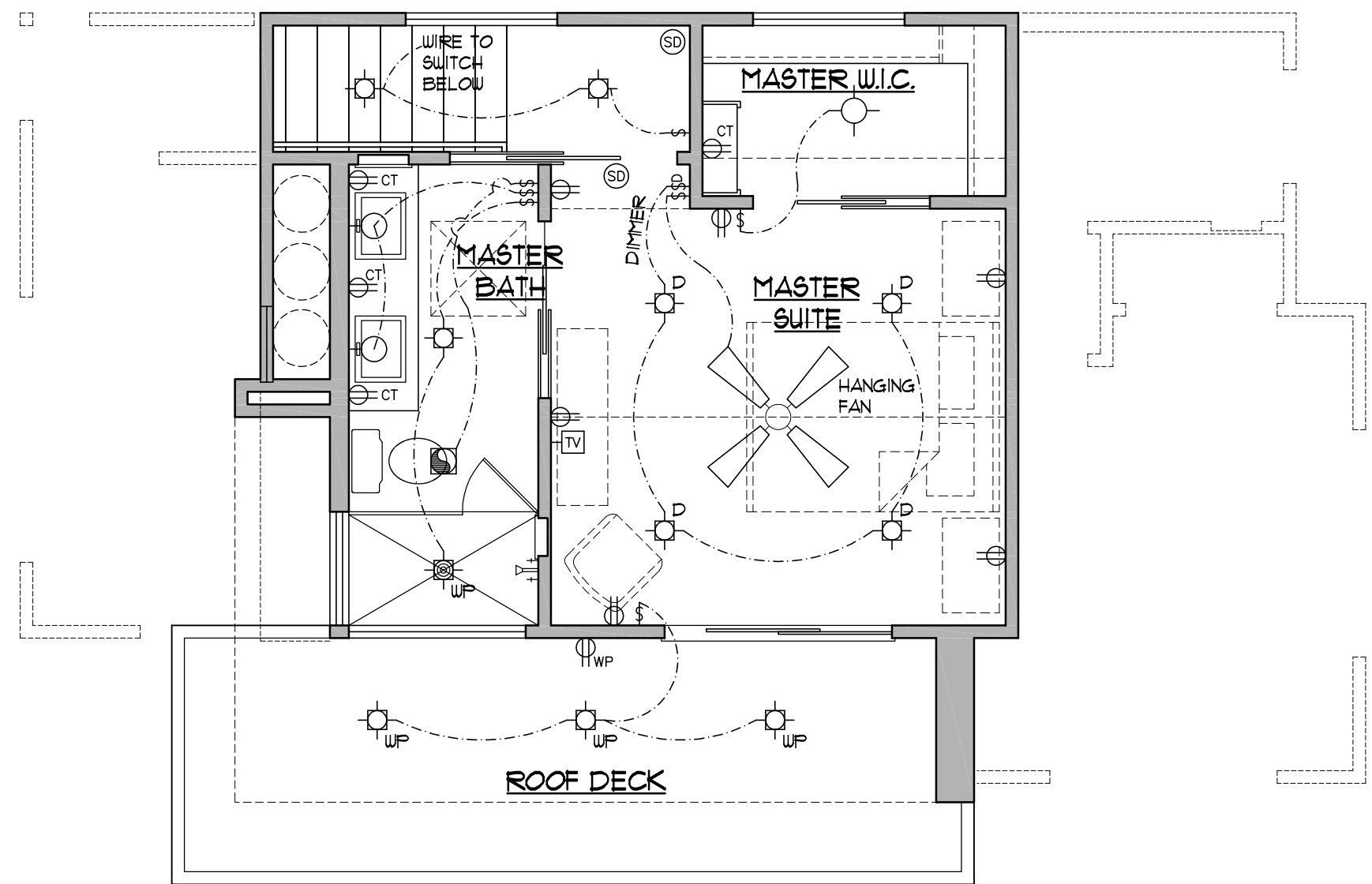


902 WILLOW STREET
 NEW-BUILD ADU
 SHEET

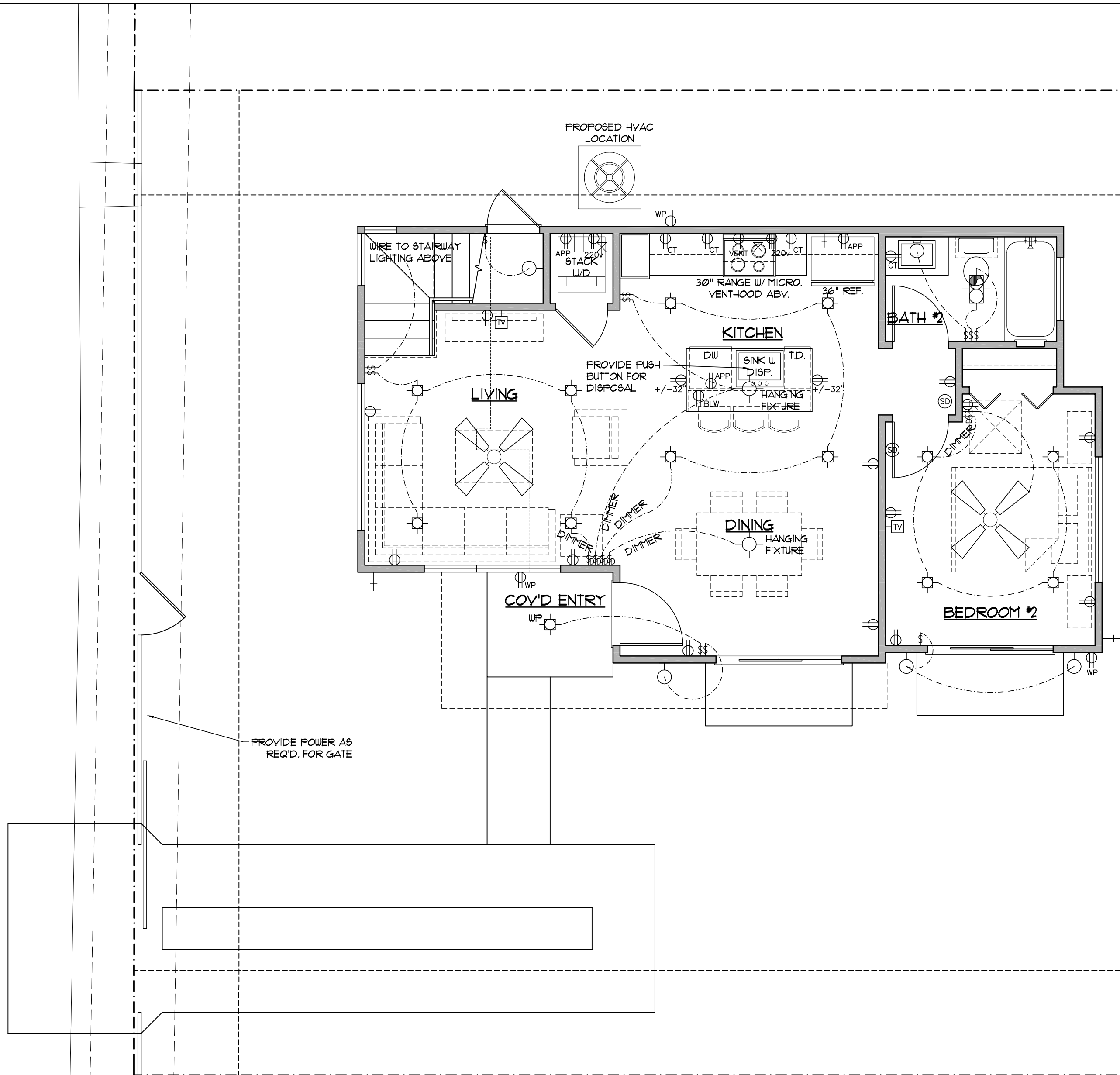
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 DATE: 2/22/21
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PROJECT NO:	20045
DATE:	2/22/21
CHECKED:	JH



A.D.U. UPPER FLOOR ELECTRICAL PLAN
FULL SIZE SCALE: 1/4" = 1'-0"
1x11 SCALE: 1/8" = 1'-0"



A.D.U. MAIN FLOOR ELECTRICAL PLAN
FULL SIZE SCALE: 1/4" = 1'-0"
1x11 SCALE: 1/8" = 1'-0"

GENERAL ELECTRICAL PLAN NOTES

- 1.) ELECTRICAL LAYOUT SHOWN ON DRAWING IS SCHEMATIC. ELECTRICAL CONTRACTOR SHALL DESIGN, PROVIDE, AND INSTALL ALL ELECTRICAL SYSTEMS, COMPONENTS, AND WIRING PER CURRENT ADOPTED ELECTRIC CODE AND LOCAL REGULATIONS.
- 2.) VERIFY FINAL SELECTION AND LOCATION OF ALL ELECTRICAL COMPONENTS WITH OWNER.
- 3.) ALL ELECTRICAL AND MECHANICAL WORK SHALL COMPLY WITH CURRENT ADOPTED ELECTRIC CODE AND LOCAL REQUIREMENTS. ELECTRICAL CONTRACTOR TO MEET ALL CODE REQUIREMENTS WHETHER OR NOT SUCH WORK IS SHOWN ON PLANS.
- 4.) ELECTRICAL CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR SELECTION, INSTALLATION, INSPECTIONS, AND FINAL APPROVAL FOR ALL ELECTRICAL COMPONENTS, FIXTURES, WIRING, AND EQUIPMENT.
- 5.) ELECTRICAL CONTRACTOR TO COORDINATE AND SCHEDULE ELECTRICAL WORK WITH OTHER TRADES TO AVOID PROJECT DELAYS AND DOWNTIME.
- 6.) ELECTRICAL CONTRACTOR TO VERIFY LOCATION, HEIGHT, AND POWER REQUIREMENTS OF ALL APPLIANCES AND COORDINATE THEIR WORK WITH OWNER, INTERIOR DESIGNER AND CABINETRY DESIGN AND INSTALLATION.
- 7.) COORDINATE SWITCH AND OUTLET HEIGHTS, COLORS, AND LOCATIONS AT ALL COUNTERTOPS AND VANITIES WITH OWNER AND INTERIOR DESIGNER TO AVOID CONFLICTS WITH BACKSPLASH AND TILE LAYOUT OR DESIGN.
- 8.) PROVIDE GFI OUTLETS/ CIRCUITS AT ALL LOCATIONS WITHIN 36" OF A SINK OR LAVATORY AND ALL OTHER LOCATIONS REQUIRED BY CODE.
- 9.) PROVIDE DIMMER SWITCHES FOR ALL BEDROOMS AND LIVING SPACES. VERIFY DIMMER SWITCH HARDWARE AND LOCATIONS W/ OWNER.
- 10.) ELECTRICAL CONTRACTOR TO COORDINATE SECURITY SYSTEM INSTALLATION AND REQUIREMENTS WITH OWNER.
- 11.) PROVIDE SMOKE DETECTORS INSIDE AND OUTSIDE EACH BEDROOM AND AT ALL OTHER LOCATIONS REQUIRED BY CODE. HARD WIRE SMOKE DETECTORS TO PRIMARY ELECTRICAL SYSTEM AND PROVIDE BATTERY BACKUP PER CODE.
- 12.) ALL BUILT-IN DESKS TO HAVE 2" GROMMETS AT KNEE SPACE FOR CORDS TO ACCESS OUTLETS BELOW.
- 13.) VERIFY LOCATION OF ALL FLOOR OUTLETS WITH OWNER.
- 14.) ELECTRICAL CONTRACTOR TO COORDINATE AND PROVIDE MEDIA NETWORKING AND PHONE SYSTEMS, OUTLETS AND EQUIPMENT PER OWNER'S REQUEST.
- 15.) COORDINATE WITH HVAC INSTALLER TO PROVIDE POWER WHERE REQUIRED FOR MECHANICAL EQUIPMENT.
- 16.) INSTALL AT LEAST ONE LIGHT NEAR ATTIC HVAC UNIT. PROVIDE ADDITIONAL ATTIC LIGHTING WHERE REQUESTED BY OWNER.
- 17.) COORDINATE WITH LANDSCAPE DESIGNER TO PROVIDE POWER AND SWITCHING FOR ALL LANDSCAPE LIGHTING AND IRRIGATION SYSTEMS.
- 18.) COORDINATE WITH POOL CONTRACTOR TO PROVIDE POWER AND SWITCHING AS REQUIRED FOR POOL AND SPA EQUIPMENT, LIGHTING, AND MEDIA.

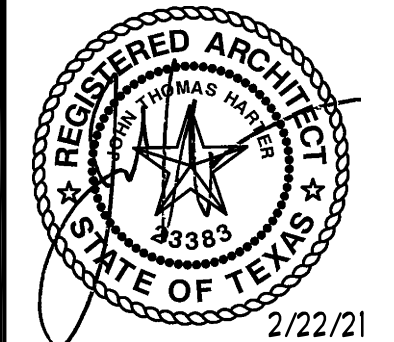
ELECTRICAL PLAN LEGEND

\$ SWITCH	OUTLET - 220 VOLT	SD SMOKE DETECTOR	Light - DIRECTIONAL RECESSED CAN	Light - RECESSED IN STAIR RISER
\$D DIMMER SWITCH	OUTLET - TELEPHONE	HD HEAT DETECTOR	Light - WATERPROOF RECESSED CAN	Light - FLOOD LIGHT
\$WP SWITCH - WATERPROOF	OUTLET - NETWORK/ MEDIA	CO CARBON MONOXIDE DETECTOR	Light - CEILING MOUNT	Light - TRACK LIGHTING
SWITCH - PUSH BUTTON	OUTLET - TELEVISION	SP INTERCOM/ SPEAKER	Light - WALL MOUNT	Light - FLUORESCENT
OUTLET - 110V DUPLEX	JUNCTION BOX	ES ELECTRICAL SERVICE PANEL	Light - PENDANT	Light - RECESSED PIN SPOT
OUTLET - WEATHERPROOF (VERIFY HT. W/ MILLWORK)	EXHAUST / VENT	DB DOORBELL CHIMES	Light - LOW VOLTAGE DIRECTIONAL SPOT	Light - WALLWASH
OUTLET - COUNTERTOP HEIGHT (VERIFY HT. W/ MILLWORK)	VENT / LIGHT COMBO	Light - RECESSED CAN		Ceiling Fan - NO LIGHT KIT
OUTLET - BELOW COUNTERTOP	CONTROL KEYPAD	Light - MINI RECESSED CAN		Ceiling Fan - WITH LIGHT KIT
OUTLET - SWITCH TOP PLUG	GAS BIB	Light - DIRECTIONAL RECESSED CAN		
OUTLET - 110V QUADPLEX	GAS KEY			
OUTLET - AT FLOOR	THERMOSTAT			
OUTLET - AT CEILING				

JH Architecture

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REVISION:



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PROJECT NO: 20045
DATE: 2/22/21
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