



REVISIONS

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The Salazar Residence
2810 Gonzales St.
Austin, Texas 78702
ELEVATIONS

ATX design group



DATE: 10/8/2018

SCALE: 1/8"=1'-0"

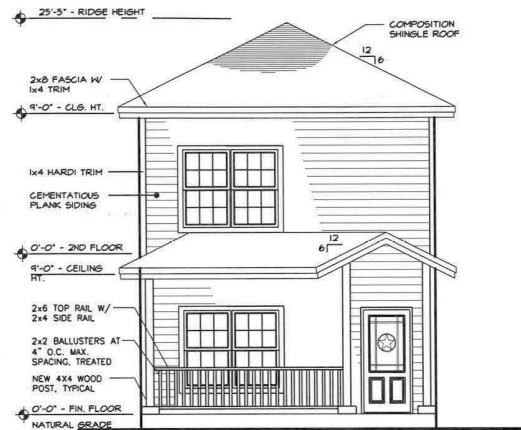
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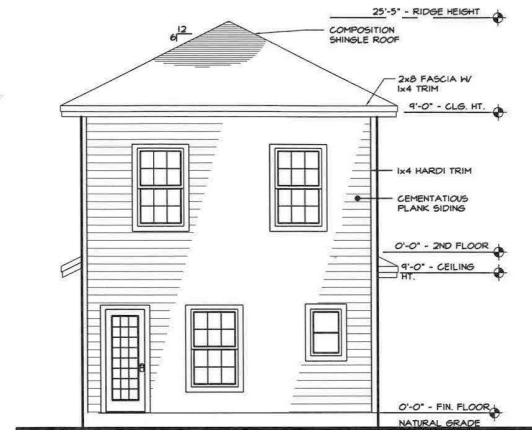
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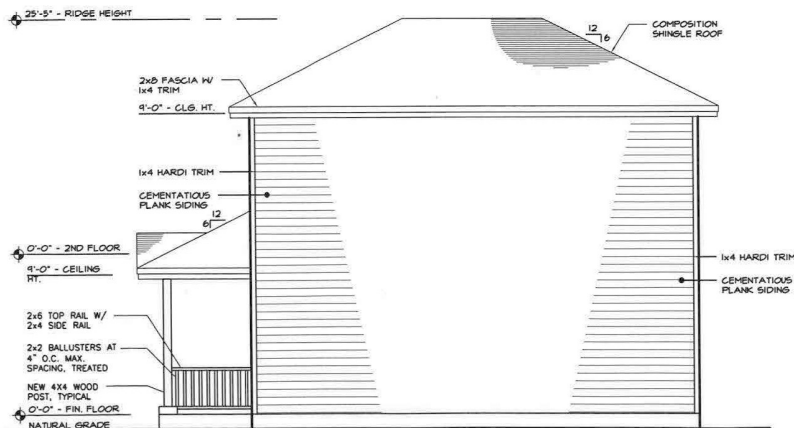
OF 9 SHEETS



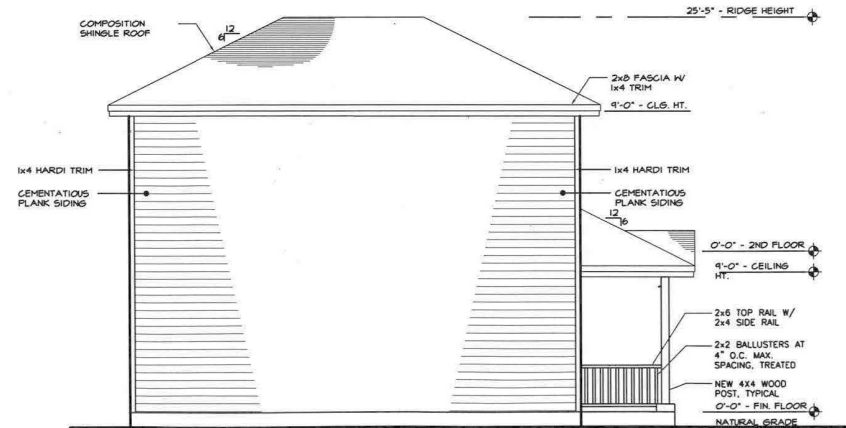
1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 REAR ELEVATION
SCALE: 1/8"=1'-0"



3 RIGHT ELEVATION
SCALE: 1/8"=1'-0"



4 LEFT ELEVATION
SCALE: 1/8"=1'-0"

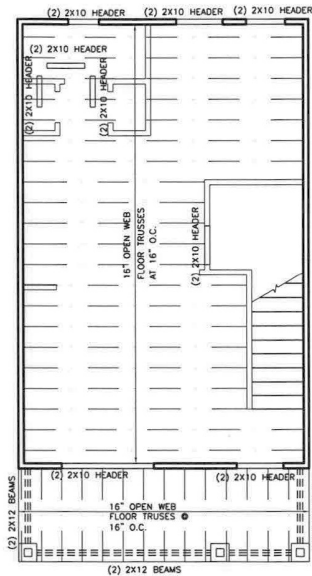
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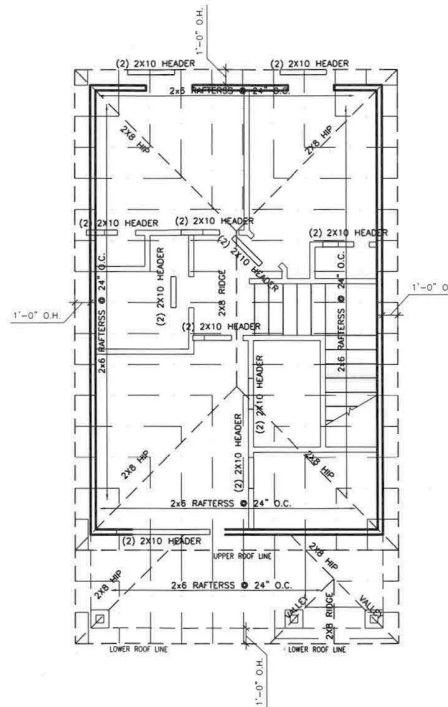
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OF 9 SHEETS





1 FIRST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



2 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

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OCTOBER 8, 2018

CEILING JOISTS SPAN CHARTS & NOTES

MAXIMUM CLEAR SPAN FOR CEILING JOISTS LIMITED ATTIC STORAGE			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-10"	13'-1"	15'-2"
2x8	14'-3"	17'-3"	19'-11"
2x10	18'-3"	22'-1"	25'-5"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP
DESIGN LOADS 20 psf LIVE 10 psf DEAD

- NOTE:
1. UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
 2. UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
 3. UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8s @ 16" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED. PROVIDE 36" WIDE CATWALK FROM STAIRCASE.
 4. BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
 5. UNLESS NOTED OTHERWISE: ALL JOIST AT HALL # 1 AND #2 TO BE 2x6s @ 16" O.C. WITH NO ATTIC STORAGE.

ROOF FRAMING SPAN CHARTS & NOTES

MAXIMUM CLEAR SPAN FOR RAFTERS NO GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	11'-5"	14'-0"	16'-2"
2x8	15'-1"	18'-5"	21'-4"
2x10	19'-3"	23'-7"	27'-2"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP
DESIGN LOADS 20 psf LIVE 7 psf DEAD

MAXIMUM CLEAR SPAN FOR RAFTERS WITH GYPSUM BOARD			
SIZE	24" O.C.	16" O.C.	12" O.C.
2x6	10'-0"	12'-4"	14'-2"
2x8	13'-3"	16'-3"	18'-9"
2x10	16'-11"	20'-8"	23'-11"
2x12	20'-6"	25'-2"	29'-1"

FOR MATERIAL WITH E=1.6 Fb=1400 i.e. #2 KDYP
DESIGN LOADS 20 psf LIVE 15 psf DEAD

- NOTE:
1. UNLESS NOTED OTHERWISE: ALL JOIST TO BE #2 KDYP.
 2. UNLESS NOTED OTHERWISE: ALL BEAMS TO BE #2 KDYP.
 3. UNLESS NOTED OTHERWISE: FRAMING UNDER HVAC TO BE 2x8s @ 24" O.C. WITH 3/4" PLYWOOD DECKING AS REQUIRED.
 4. BUILDER TO VERIFY SIZING AND SPACING OF JOIST AND BEAMS PRIOR TO CONSTRUCTION.
 5. UNLESS NOTED OTHERWISE: ALL JOIST TO BE 2x6s @ 24" O.C. WITH NO ATTIC STORAGE UNLESS NOTED.

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DATE: 10/8/2018

SCALE: 1/8"=1'-0"

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SHEET 4

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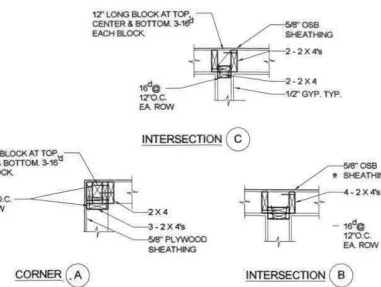
OF 9 SHEETS

TIMBER GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE #2 SOUTHERN PINE, CLEARLY MARKED IN CONFORMANCE WITH REQUIREMENTS.
- ALL WOOD HEADERS, BEAMS, AND TOP PLATE SHALL BE SELECTED STRUCTURAL DOUGLAS FIR-LARCH UNLESS DETAIL OTHERWISE.
- ALL WOOD STUD WALLS SHALL BE #2 SOUTHERN PINE AND SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE, UNLESS DETAIL OTHERWISE.
- SOLID 2X BLOCKING SHALL BE PROVIDED AT END AND POINT OF SUPPORT OF ALL WOOD JOISTS AND SHALL BE PLACED BETWEEN SUPPORTS ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2X BLOCKING AT 4'-0" O.C. MAXIMUM. MINIMUM END NAIL WITH 2-16D NAILS OR SIDE TOE NAIL WITH 2-16D NAILS.
- ALL FRAMING MEMBERS FRAMING INTO THE SIDE OF A HEADER SHALL BE ATTACHED USING METAL JOIST HANGER OF TYPE "H" AS MANUFACTURED BY SIMPSON COMPANY OR EQUAL. THE HANGER SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SIZE OF JOIST SUPPORTED.
- ROOF SHEATHING 3/4" APA RATED SHEATHING WITH AN EXPOSURE 1 RATING UNLESS NOTED OTHERWISE IN THE DRAWINGS. PANELS SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE LONG DIMENSION ORIENTED PERPENDICULAR TO THE FRAMING MEMBERS. NAIL WITH 8D COMMON NAILS AT 6" ON CENTER AT SUPPORTED EDGES AND AT 12" ON CENTER AT INTERMEDIATE SUPPORTS. STAGGER JOINTS IN SHEATHING.
- ALL CORNERS OF WALL FRAMING SHALL BE BRACED BY ONE OF THE FOLLOWING METHODS:
 - A 4" x 8" x 12' PLYWOOD DIAPHRAGM FROM THE TOP PLATE TO THE BOTTOM PLATE. PROVIDE SOLID BLOCKING AT JOINTS, AND NAIL WITH 8D NAILS AT 6" ON CENTER.
 - PLACE A SINGLE PLATE AT THE BOTTOM (PRESSURE TREATED) AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS.
- NAILING AND ATTACHMENT OF ALL FRAMING MEMBERS SHALL BE AS SPECIFIED IN THE INTERNATIONAL BUILDING CODE FASTENING SCHEDULE TABLE 2304.3.1, UNLESS NOTED OTHERWISE IN THE DRAWINGS. COMMON WIRE NAILS OR SPIRES, OR GALVANIZED BOLT NAILS SHALL BE USED FOR ALL FRAMING UNLESS NOTED OTHERWISE.
- ALL BOLTS AND LAG SCREWS SHALL HAVE STANDARD WASHERS. ALL ANCHOR AND EXPANSION BOLTS USED IN WOOD TO CONCRETE CONNECTIONS SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL. COUNTERSINK BOLTS AND LAG SCREWS UNLESS NOTED OTHERWISE. NOT FOR "J" BOLT @ FOUNDATION TO BASE PLATE.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WOOD FRAMING MEMBERS. PROVIDE ADDITIONAL WOOD FRAMING MEMBERS SHOWN ON THE ARCHITECTURAL DRAWINGS EVEN THOUGH THEY MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL DESIGN AND DETAIL CONNECTIONS NOT SHOWN AND SUBMIT TO ENGINEER FOR APPROVAL.
- PROVIDE SIMPSON STRAP TO THE WALLS TO BEAM AND SECOND LEVEL TO FIRST LEVEL. 16" LENGTH AT BOTH ENDS PLUS FLOOR JOIST DIMENSION.

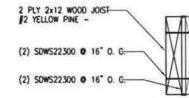
NAILING SCHEDULE

CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGES TO JOIST, TOENAIL EACH END	2-4d
3. 1" x 8" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	3-8d
4. WIDER THAN 1" x 8" SUBFLOOR TO EACH JOIST, FACE NAIL	3-16d
5. 2" SUBFLOOR TO JOIST OR BLOCKING, FACE NAIL	2-16d @ 18" o.c.
6. SOLID PLATE TO JOIST OR BLOCKING, FACE NAIL	2-16d
7. TOP PLATE TO STUD, END NAIL	4-6d, toenail or 2-16d, and nail
8. STUD TO SOLID PLATE	16d @ 12" o.c. along ea. edge
9. DOUBLE STUDS, FACE NAIL	3-8d
10. DOUBLED TOP PLATES, FACE NAIL	4-6d
11. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	3-16d
12. CONTINUOUS HEADER, TOP/PIES	3-16d
13. CEILING JOISTS TO PLATE, TOENAIL	3-16d
14. CONTINUOUS HEADER TO STUD, TOENAIL	3-16d
15. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
16. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
17. RAFTER TO PLATE, TOENAIL	3-16d
18. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-4d
19. 1" x 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	3-8d
20. WIDER THAN 1" x 8" SHEATHING TO EA. BEARING, FACE NAIL	16d @ 32" o.c. at top and bottom and staggered 2-20d at ends and at each splice.
21. BUILT-UP CORNER STUDS	2-16d at each bearing
22. BUILT-UP GIRDER AND BEAMS	
23. 2" PLANKS	8d spaced at 8" o.c. @ edges, 12" o.c. @ intermediate supports.
24. PLYWOOD AND PARTICLEBOARD, ROOF AND WALL SHEATHING TO FRAMING	8d common or 8d deformed wire spaced as above



6 TYP. WALL FRAMING DETAILS

SCALE: N. T. S.



4 TYPICAL 2-PLY BEAM/JOIST DETAIL

SCALE: 3/4"=1'-0"

TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES**

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (Inches)	MAXIMUM WALL STUD SPACING (Inches)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)	WIND EXPOSURE CATEGORY		
SIZE	PENETRATION (Inches)				EDGES (Inches o.c.)	FIELD (Inches o.c.)		A	B	C
6D COMMON (2.0"x0.131")	1.5	24/0	3/8	16	6	12	110	90	85	80
8D COMMON (2.5"x0.131")	1.75	24/16	7/16	24	6	12	130	110	105	100

For S1: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

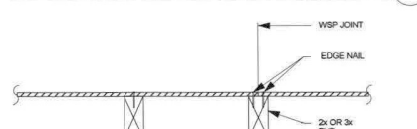
- Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
- Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
- Wood Structural Panels with span ratings of wall-16 or wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 15 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and plywood siding 16 o.c. shall be used with studs spaced a maximum of 16 inches on center.

TABLE R602.3(1)-continue FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER***	SPACING OF FASTENERS (Inches)	
			EDGES (Inches)	INTERMEDIATE SUPPORTS*** (Inches)
30	Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing	6d common (2"x0.113") nail (subfloor wall) 8d common (2"x0.131") nail (roof).	6	12"

- Staples are 16 gauge wire and have a minimum 7/16" on diameter crown width.
- Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- Spacing of fastener not included in this table shall be based on Table R602.3(2).
- For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching wood structural panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable walls; and 4 inches on center to gable end wall framing.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

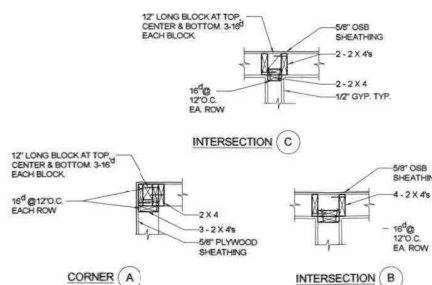
WOOD STRUCTURAL PANEL NAILING AT SPLICE (A)



PLAN: WOOD STRUCTURAL PANEL ONE SIDE (B)

2 SHEATHING NAILING DETAIL

SCALE: N. T. S.

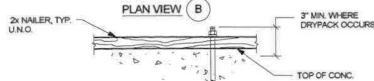
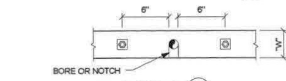
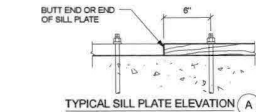


5 TYP. WALL FRAMING DETAILS

SCALE: 3/8"=1'-0"

3 LINTEL SCHEDULE

SCALE: N. T. S.



MINIMUM SILL BOLT PROJECTION (C)

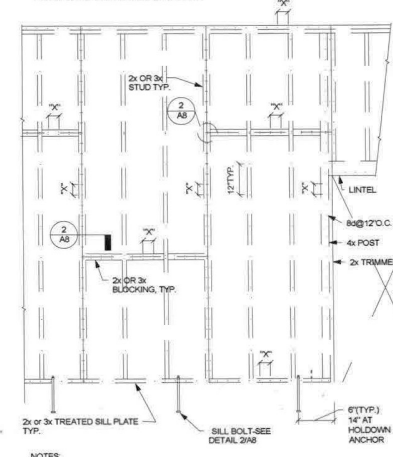
- SILL BOLT REQUIREMENTS**
- PROVIDE A MINIMUM SILL BOLT EMBEDMENT OF 7" BELOW FINISH FLOOR OR TOP OF CURB.
 - PROVIDE AN ADDITIONAL SILL BOLT 6 INCHES FROM EACH END OF EACH PIECE OF SILL PLATE.
 - WHERE SILL PLATES ARE BORED OR NOTCHED IN EXCESS OF 1/2 OF THE SILL PLATE WIDTH, PROVIDE ADDITIONAL SILL BOLTS 6 INCHES EACH SIDE OF BORE OR NOTCH.
 - PROVIDE A MINIMUM SILL BOLT PROJECTION ABOVE THE CONCRETE AS SHOWN ON DETAIL C.
 - PROVIDE A 1/2" x 12" HY HY 150 AT EVERY OPENING, 6" AWAY FROM EDGE OF OPENING.

1 SILL ANCHORAGE TYP. DETAIL

SCALE: N. T. S.

PROVIDE FURRING OR BACKING OF THICKNESS AS REQUIRED TO MAINTAIN A COMMON WALL PLANE AT ALL WOOD STUD WALL SURFACES WHICH ARE ONLY PARTIALLY SHEATHED WITH WOOD STRUCTURAL PANEL. COORDINATE AND ADJUST HEAD, JAMB AND SILL DETAILS AS REQUIRED FOR PROPER OVERALL WALL THICKNESS.

**INDICATES EDGE NAILING-SEE NAILING SCHEDULE FOR NAIL SIZE AND SPACING.



- NOTES**
- FOR SHEAR WALL NAILING, SEE NAILING SCHEDULE.
 - INDIVIDUAL PIECES OF WOOD STRUCTURAL PANEL SHALL BE NOT LESS THAN 2'-0" IN LEAST DIMENSION NOR 8' FT. IN AREA.
 - RE-TIGHTEN BOLTS BEFORE CLOSING.
 - FOR ADDITIONAL NOTES, SEE TIMBER GENERAL NOTES.
 - FOR OPENINGS IN WOOD STRUCTURAL PANEL SHEATHING, SEE DETAIL 3/S-1.

6 WALL TYP. DETAIL

SCALE: N. T. S.

METHOD, MATERIAL	MINIMUM THICKNESS	CONNECTION CRITERIA	
		FASTENERS	SPACING
CONTINUOUS SHEATHING METHOD	CS-WSP CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL	3/8"	EXTERIOR SHEATHING PER TABLE R602.3(3) EXTERIOR SHEATHING PER TABLE R602.3(1) OR R602.3(2)
GB GYPSUM BOARD	1/2"	NAILS OR SCREWS PER TABLE R602.3(1) FOR EXTERIOR LOCATIONS NAILS OR SCREWS PER TABLE R702.3.5 FOR INTERIOR LOCATIONS	FOR ALL BRACED WALL PANEL LOCATIONS: 7" EDGES (INCLUDING TOP AND BOTTOM PLATES) 7" FIELD

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OCTOBER 8, 2018

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Framing Details

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A5
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CS-WSP

(Continuous wood structural panel sheathing)

4x8 Wood structural panel sheathing w/ a thickness not less than 3/8" OSB for 16" stud spacing. Nailing: 6d common @6" o.c. all edges @12" o.c. in field. Fasten sheathing to header w/ 8d common nails in 3" grid pattern and 3" o.c. in all framing (studs and sills) typ.

CS-G

(Continuous sheathing adjacent to garage opening)

4x8 Wood structural panel sheathing w/ a thickness not less than 3/8" OSB for 16" stud spacing. Nailing: 6d common @6" o.c. all edges @12" o.c. in field. Fasten sheathing to header w/ 8d common nails in 3" grid pattern and 3" o.c. in all framing (studs and sills) typ.

GB

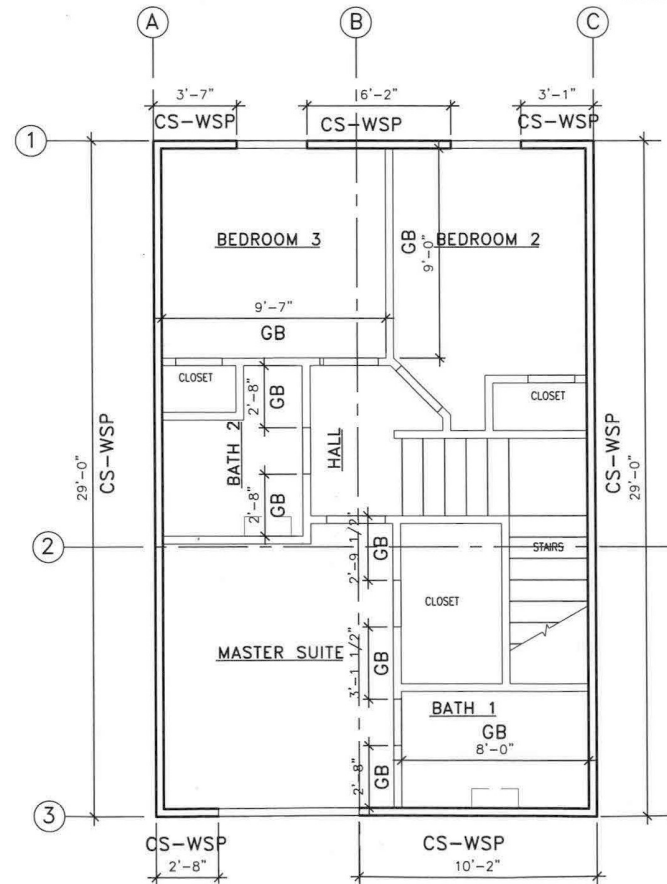
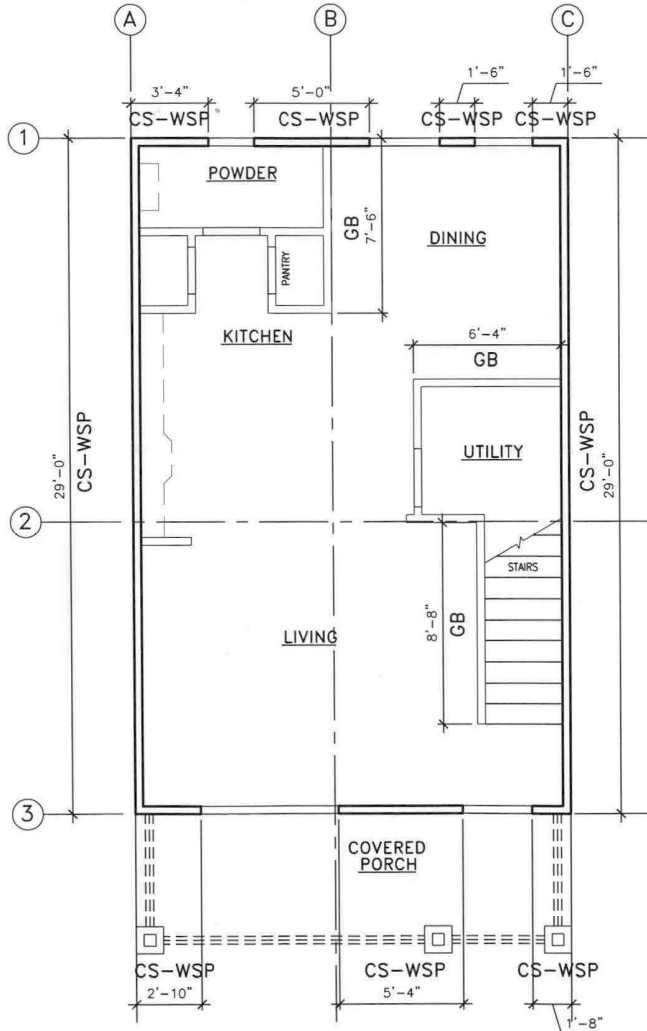
(Gypsum board panel)

4x8 Gypsum panel w/ a thickness not less than 1/2" for 16" stud spacing. Nails and screws at 7" spacing at panel edges including top and bottom plates for all braced wall panel locations. For interior Gypsum board nail or screw size, see IRC table R702.3.5.

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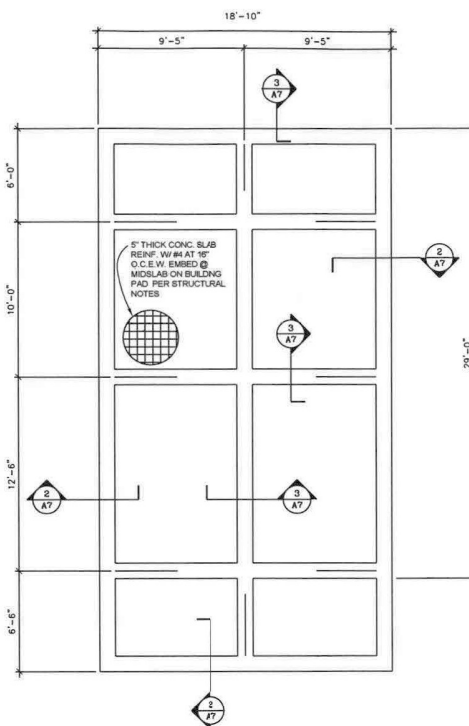
A6
OF 9 SHEETS

FOUNDATION NOTES

1. REMOVE ALL VEGETATION AND TOP SOIL FROM THE BUILDING AREA. STOCKPILE TOP SOIL FOR USE AT THE END OF PROJECT. EXCAVATE THE EXISTING SUB-GRADE TO A DEPTH OF 1.5 FEET WITHIN BUILDING PERIMETER.
2. RE-COMPACT THE NEXT 8" OF SOIL TO 95% OF MAX DENSITY PER ASTM D998. THEN BACKFILL WITH 8" LIFTS USING STRUCTURAL FILL. COMPACT TO A DENSITY OF 95% PER ASTM D998 AT MOISTURE CONTENT EQUAL TO OR GREATER THAN THE OPTIMUM MOISTURE CONTENT FOR COHESIVE FILL AND AT WORKABLE MOISTURE CONTENT FOR GRANULAR FILL.
3. STRUCTURAL FILL SHALL CONSIST OF GRANULAR MATERIAL FREE OF ORGANIC MATTER AND DEBRIS. NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF GRAVEL, CRUSHED STONE AND SAND ASTM D 2896 WITH AT LEAST 95 PERCENT PASSING A 1 1/2 INCH SIEVE AND NOT MORE THAN 20% PASSING NO. 200 U.S. STANDARD SIEVE. A PLASTIC INDEX OF 15 OR LOWER IS REQUIRED.
4. COMPACTION AND MOISTURE CONTENT OF SUB-GRADE AND EACH LIFT SHALL BE MONITORED BY INSPECTOR.
5. ALLOWABLE BEARING = 1500 PSF.
6. FOOTING EXCAVATION SHALL BE NEAT AND FREE OF LOOSE OR WET MATERIALS.
7. THE VAPOR BARRIER BELOW ALL SLAB AREAS SHALL BE 15 MIL POLYETHYLENE WITH ALL JOINTS LAPPED 12" CONTINUOUS AND SEALED. DROP VAPOR BARRIER DOWN THE SIDES OF ALL BEAM TRENCHES. DO NOT PLACE VAPOR BARRIER ACROSS TRENCH BOTTOM.
8. IF BEARING SOILS ARE SOFTENED BY SURFACE WATER INTRUSIONS DURING EXPOSURE OR BY DESICCATION, THE UNSUITABLE SOILS MUST BE REMOVED FROM THE FOUNDATION EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.
9. GRADE AREA AROUND BUILDING TO DRAIN WATER AWAY FROM THE BUILDING.
10. SEE ELEC. & PLUMBING DWGS FOR SLAB & WALL PENETRATIONS.

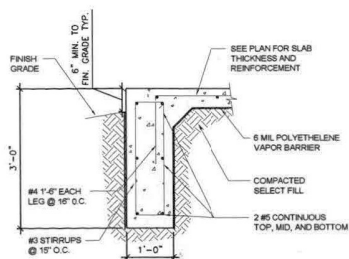
REINFORCING CONCRETE NOTES:

1. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-11.
 2. ALL CONCRETE SHALL HAVE A SPECIFIED MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 3. SLUMP 3" TO 5" WITH MAX. WATER/CEMENT RATIO OF .345.
 4. PROVIDE 5% ± 1-1/2% OF ENTRAINED AIR IN CONCRETE PERMANENTLY EXPOSED TO THE WEATHER.
 5. EMBEDDED CONDUITS, PIPES AND SLEEVES SHALL MEET THE REQUIREMENTS OF ACI 318-99 SECT. 6.3.
 6. REINFORCING STEEL SHALL BE DEFORMED BARS IN CONFORMANCE WITH ASTM A615 GRADE 60.
 7. DETAILING OF REINFORCING STEEL IN ACCORDANCE WITH ACI DETAILING MANUAL.
 8. MIN. LAP 36 X BAR DIA. (NOMINAL).
 9. STEEL CLEAR COVER: GRADE BEAR - 1 1/2" TOP, 3" BOT. AND 2" SIDE (FORMED); 3" SIDE (PLACE AGAINST EARTH).
- SLAB ON GRADE - 3" BOT. AND 1 1/2" TOP
9. PROVIDE CORNER AND INTERSECTION REINF. AS SHOWN IN STD. DETAIL 56.0
 10. FINISHED FLOOR ELEVATIONS SHALL BE MIN. 6" ABOVE FINISH GRADE.
 11. PROVIDE 24" DOVEL BETWEEN NEW AND EXISTING CONCRETE 12" ON CENTER TYP.

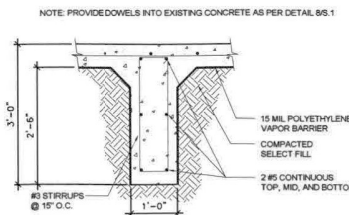


PLAN NORTH

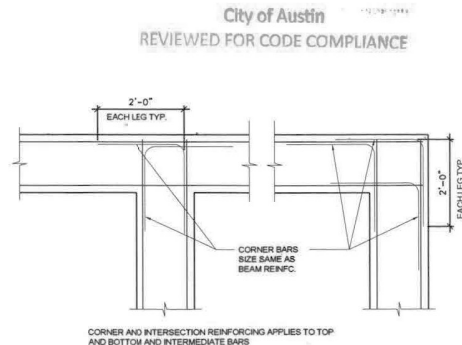
1 FOUNDATION PLAN SCALE: 1/8"=1'-0"



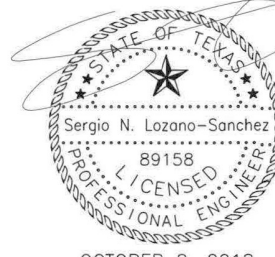
2 FOUNDATION SECTION SCALE: 3/8"=1'-0"



3 FOUNDATION SECTION SCALE: 3/8"=1'-0"



4 FOUNDATION SECTION SCALE: 3/8"=1'-0"



OCTOBER 8, 2018

REVISIONS

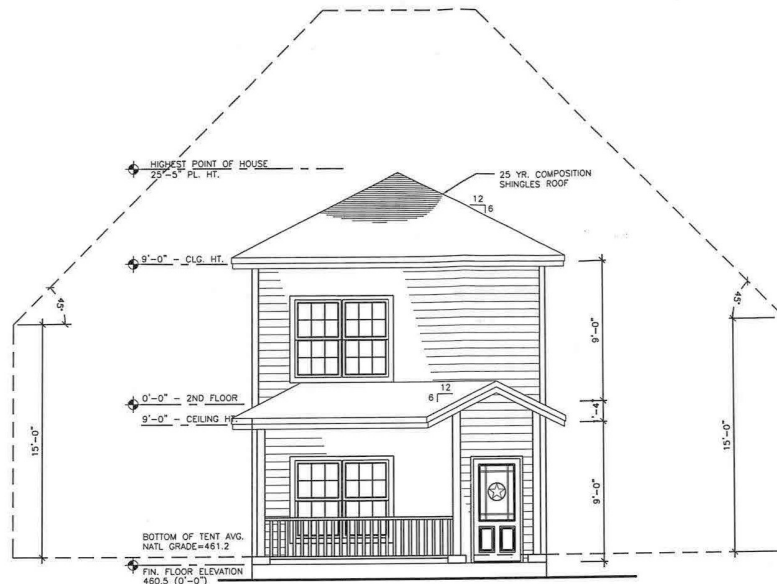
LOC Consultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1101 E. STANLEY ST.
AUSTIN, TEXAS 78702-4208
PH: (512) 524-1877

The Salazar Residence
2810 Gonzales St.
Austin, Texas 78702
Foundation Plan and Details

ATX design group
1301 S. IH 35, Suite 315
Austin, Texas 78741
www.atxdesigngroup.com
email: rduffy@atxdesigngroup.com

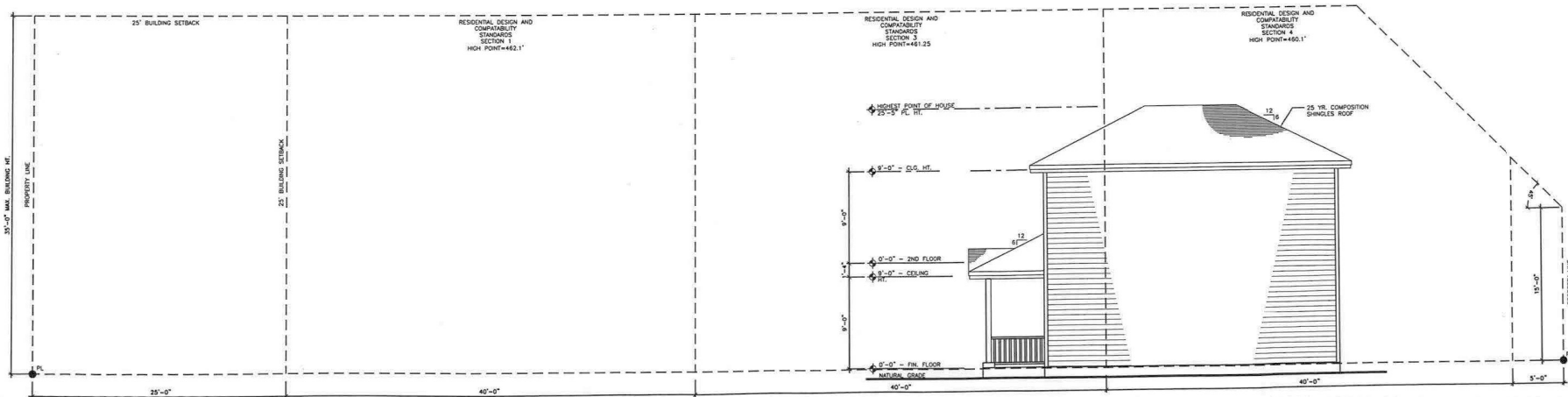


DATE: 10/8/2018
SCALE: VARIES
DRAWN: MAD
FILE: FOUNDATION REV.
SHEET 7
A7
OF 9 SHEETS



1 FRONT ELEVATION - GONZALES ST. VIEW
SCALE: 1/8"=1'-0"

City of Austin
REVIEWED FOR CODE COMPLIANCE



2 RIGHT ELEVATION
SCALE: 3/32"=1'-0"



REVISIONS

RB ARCHITECT
P.L.L.C.



ROEL BAZAN, RA

11502 Kalya Cove
Austin, Texas 78739
(512) 791-2986
rbarch2@gmail.com

The Salazar Residence
2810 Gonzales St.
Austin, Texas 78702
ENVELOPE ELEVATIONS

ATX design group

1301 S. JIM DR. Suite 315
Austin, TX 78745
Mobile: 512.544.5211
e-mail: rbarney.atx@gmail.com

DATE: 10/8/2018

SCALE: VARIES

DRAWN: RD/MAD

FILE: C:\JAMES\SAZAR RES.

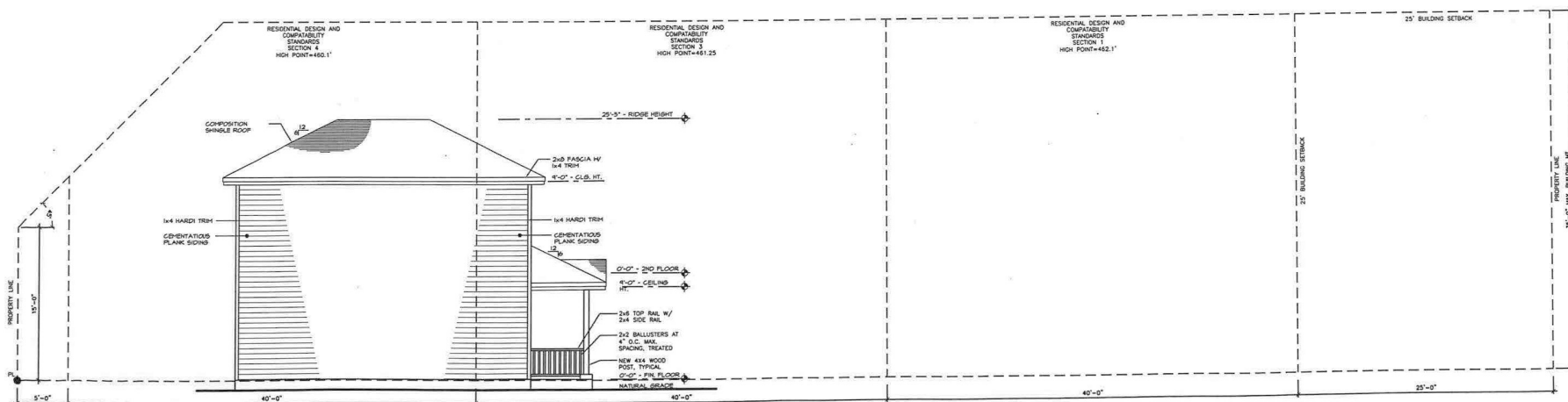
10-10-2018

SHEET 8

A8

OF 9 SHEETS

OF 9 SHEETS





REVISIONS

RB ARCHITECT
PLLC



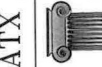
ROEL BAZAN, RA

11502 Kolap Cove
Austin, Texas 78739
(512) 791-2062
rbarch@rbarch.com

The Salazar Residence
2810 Gonzales St.
Austin, Texas 78702
ELECTRICAL FLOOR PLANS

ATX design group

1301 S. 41 ST, Suite 315
Austin, Texas 78704
Mobile: 512.554.0211
atxdesigngroup@gmail.com



DATE: 10/8/2018
SCALE: 1/8"=1'-0"
DRAWN: MAD
FILE: 18-05-CL-006
SHEET 1
E1
OF 1 SHEETS

LEGEND OF
ELECTRICAL SYMBOLS

- PROVIDE WIRING FOR SPEAKER INSTALLATION
- CHIME
- SMOKE DETECTOR
- TELEPHONE JACK
- TV/CABLE OUTLET
- ELECTRIC PANEL
- GAS METER
- 110-120 VOLT RECEPTACLE
- 110-120 VOLT RECEPTACLE HEATER PROOF
- 110-120 VOLT GFI (44" A.F.P.)
- 110-120 VOLT SURFACE MOUNTED RECEPTACLE
- 220-240 VOLT RECEPTACLE
- RECESSED INCANDESCENT LIGHT
- INCANDESCENT CEILING OUTLET FIXTURE
- INCANDESCENT WALL MOUNTED OUTLET FIXTURE
- FLOOD LIGHT
- MOTION SENSOR FLOOD LIGHT
- CHANDELIER
- ONE-WAY SWITCH
- TWO-WAY SWITCH
- THREE-WAY SWITCH
- ONE-WAY SWITCH WITH DIMMER
- ONE-WAY SWITCH FOR SPEAKER VOLUME CONTROL
- EXHAUST FAN
- HOUSE WIRE CONCEALED IN WALL OR CEILING
- CEILING FAN WITH LIGHT
- 4' FLOUORESCENT LIGHT
- DISCONNECT

ALL OUTDOOR ELECTRIC SERVICE TO BE OVERHEAD.

PREHIRE FOR SECURITY SYSTEM.

PREHIRE FOR (CAT 5) FOR ENTIRE HOUSE.

SMOKE DETECTORS TO BE INSTALLED AT 5' MINIMUM FROM ANY AIR RETURN OR SUPPLY.

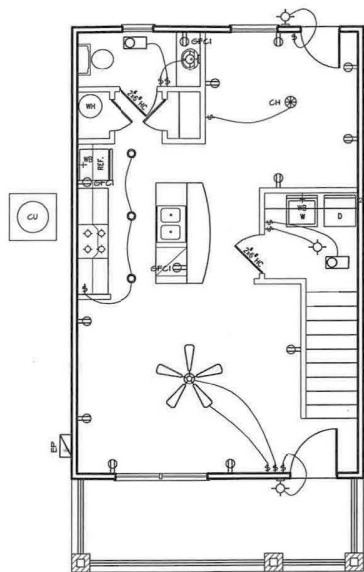
PREHIRE FOR (RIS) FOR ENTIRE HOUSE.

CONTRACTOR VERIFICATION
RESPONSIBILITIES

THIS ELECTRICAL FLOOR PLAN DRAWING IS FOR LAYOUT INFORMATION ONLY. MASTER ELECTRICIAN TO VERIFY NATIONAL ELECTRIC CODE REQUIREMENTS AND MANUFACTURERS' EQUIPMENT REQUIREMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO THE DESIGNER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND DESIGNER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF EXISTING UTILITIES. CONTACT LOCAL UTILITY COMPANIES FOR EXISTING UTILITY LOCATIONS. CONTRACTOR TO FIELD VERIFY LOCATION, TYPE, AND SIZE OF ALL ON-SITE EXISTING UTILITIES.

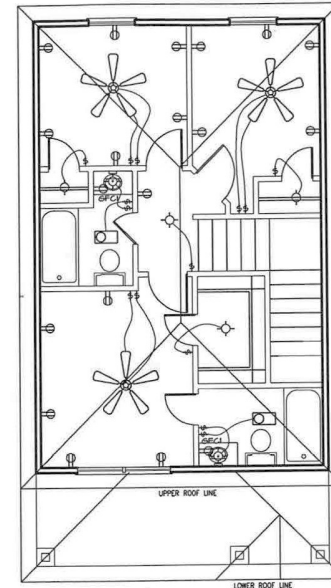
1 FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



City of Austin
REVIEWED FOR CODE COMPLIANCE

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet
G-4**

DATE: Monday February 8, 2021

CASE NUMBER: C15-2020-0083

☐ Y ☐ Brooke Bailey
☐ Y ☐ Jessica Cohen
☐ Y ☐ Ada Corral
☐ Y ☐ Melissa Hawthorne
☐ - ☐ VACANT
☐ Y ☐ Don Leighton-Burwell
☐ Y ☐ Rahm McDaniel
☐ Y ☐ Darryl Pruett
☐ Y ☐ Veronica Rivera
☐ Y ☐ Yasmine Smith
☐ Y ☐ Michael Von Ohlen
☐ - ☐ Kelly Blume (Alternate)
☐ - ☐ Vacant (Alternate)
☐ - ☐ Donny Hamilton (Alternate)

APPLICANT: Daniel Salazar

OWNER: Enez Salinas

ADDRESS: 2810 GONZALES ST

VARIANCE REQUESTED: The applicant is requesting variance(s) from the Land Development Code, Section 25-2-774 (Two-Family Residential Use) (C) (2) (a) for a Two-Family Residential use location at least 10 feet to the rear or side of the principal structure (required) to 5 feet (requested) in order to erect a Secondary Dwelling Unit in an “SF-3-NP”, Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan)

Note: Per LDC the second Dwelling Unit must be contained in a structure other than the principal structure and must be located at least 10 feet to the rear or side of the principal structure

BOARD’S DECISION: BOA MEETING JAN 11, 2021 Board Member Jessica Cohen motions to postpone to February 8, 2021 due to technical difficulties, Board member Michael Von Ohlen seconds on a 9-0 vote; **POSTPONED TO February 8, 2021 DUE TO TECHNICAL DIFFICULTIES.** February 8, 2021 The public hearing was closed by Chair Don Leighton-Burwell, Board Member Brooke Bailey motions to postpone to March 8, 2021; Board Member Darryl Pruett seconds on a 10-0 vote; **POSTPONED TO MARCH 8, 2021.**

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:

2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Elaine Ramirez
Executive Liaison

Diana Ramirez for
Don Leighton-Burwell
Chairman

D-1/37



D-1/38







D-1/41



D-1/42



**CITY OF AUSTIN
Board of Adjustment
Decision Sheet
D-3**

DATE: Monday January 11, 2021

CASE NUMBER: C15-2020-0083

☐ - ☐ Brooke Bailey OUT
☐ Y ☐ Jessica Cohen
☐ Y ☐ Ada Corral
☐ Y ☐ Melissa Hawthorne
☐ - ☐ VACANT
☐ Y ☐ Don Leighton-Burwell
☐ Y ☐ Rahm McDaniel
☐ Y ☐ Darryl Pruett
☐ - ☐ Veronica Rivera OUT
☐ Y ☐ Yasmine Smith
☐ Y ☐ Michael Von Ohlen
☐ Y ☐ Kelly Blume (Alternate)
☐ - ☐ Vacant (Alternate)
☐ - ☐ Donny Hamilton (Alternate) NOT AVAIL

APPLICANT: Daniel Salazar

OWNER: Enez Salinas

ADDRESS: 2810 GONZALES ST

VARIANCE REQUESTED: The applicant is requesting variance(s) from the Land Development Code, Section 25-2-774 (Two-Family Residential Use) (C) (2) (a) for a Two-Family Residential use location at least 10 feet to the rear or side of the principal structure (required) to 5 feet (requested) in order to erect a Secondary Dwelling Unit in an "SF-3-NP", Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan)

Note: Per LDC the second Dwelling Unit must be contained in a structure other than the principal structure and must be located at least 10 feet to the rear or side of the principal structure

BOARD'S DECISION: BOA MEETING JAN 11, 2021 Board Member Jessica Cohen motions to postpone to February 8, 2021 due to technical difficulties, Board member Michael Von Ohlen seconds on a 9-0 vote; POSTPONED TO February 8, 2021 DUE TO TECHNICAL DIFFICULTIES.

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:

2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:



Elaine Ramirez
Executive Liaison

Diana Ramirez for

Don Leighton-Burwell
Chairman

Members of the Board of Adjustment

I would like to take this opportunity to speak on behalf of Daniel Salazar. I hope this can shed some light on why this variance is being sought.

For those of you that are unfamiliar with the building inspection process I would like to briefly explain the layout inspection. The layout inspection is the initial inspection for most projects and is when we verify site conditions are consistent with the approved plans. This is by far one of the most important inspections we do, and in this case if it had been done correctly, we would not be having this conversation.

When Mr Salazar was starting his project the building inspections division was in the middle of department wide re-organization, dealing with declining response times and an alarming number of backlogged inspections. We were eventually allocated seven new positions at the beginning of fiscal year to deal with the backlog. This coupled with the departure of three veteran inspectors left us with the arduous task of not only filling ten vacancies but also training them with our remaining staff while simultaneously catching up with a seemingly insurmountable inspection backlog.

The approval of the layout inspection for 2810 Gonzales was a byproduct of this tumultuous time. Under normal circumstances this oversight would have been identified and correcting it would have been as simple as moving some forms. This oversight has led us to re-evaluate the way we do conduct our inspections as well as who conducts those inspections. Mr. Salazar trusted the City of Austin to make sure his project was done correctly and due to some very unfortunate circumstances we failed to meet those expectations.

Sincerely,

Kelly Stilwell

Acting Chief Building Inspector, Division Manager

T.S.B.P.E License No. 2461

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2021-0083

BOA DATE: January 11th, 2021

ADDRESS: 2810 Gonzales St

COUNCIL DISTRICT: 3

OWNER: Enez Salinas

AGENT: Daniel Salazar

ZONING: SF-3-NP (Govalle NP)

LEGAL DESCRIPTION: LOT 3 BLK 1 *LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11

VARIANCE REQUEST: Two-Family Residential use location at least 10 feet to the rear or side of the principal structure to 5 feet

SUMMARY: erect 2 story secondary dwelling unit

ISSUES: no alley and setback requirements

	ZONING	LAND USES
<i>Site</i>	SF-3-NP	Single-Family
<i>North</i>	SF-3-NP	Single-Family
<i>South</i>	P-NP	Public
<i>East</i>	SF-3-NP	Single-Family
<i>West</i>	CS-V-NP	General Commercial Services-Vertical Mixed Uses

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Lost and Found Pets
 Austin Neighborhoods Council
 Bike Austin
 Del Valle Community Coalition
 East Austin Conservancy
 El Concilio Mexican-American Neighborhoods
 Friends of Austin Neighborhoods
 Govalle Neighborhood Association
 Govalle/Johnston Terrace Neighborhood Plan Contact Team
 Guadalupe Neighborhood Development Corporation
 Homeless Neighborhood Association
 Neighborhood Empowerment Foundation
 Neighbors United for Progress
 Parque Zaragosa Neighborhood Association
 Preservation Austin
 SEL Texas
 Sierra Club, Austin Regional Group



January 5, 2021

Daniel Salazar
2810 Gonzales St
Austin TX, 78702

Property Description: LOT 3 BLK 1 *LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11

Re: C15-2020-0083

Dear Daniel,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from the following section of the Land Development Code –

Section 25-2-774 (Two-Family Residential Use); (C) 2 a. The second dwelling unit must be located at least 10 feet to the rear or side of the principal structure; (required); to allow for a second dwelling unit to be five (5) ft. from the principal structure; (requested);

In order to erect a Secondary Dwelling Unit in an "SF-3-NP", Single-Family Residence-Neighborhood Plan zoning district. (Govalle Neighborhood Plan);

Austin Energy does not oppose the above variance request provided any proposed and existing improvements follow Austin Energy's clearance criteria requirements, the National Electric Safety Code and OSHA. Any removal or relocation of existing electric facilities will be at owners /applicants' expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action: <https://austinenergy.com/wcm/connect/8bb4699c-7691-4a74-98e7-56059e9be364/Design+Criteria+Manual+Oct+2015.pdf?MOD=AJPERES>

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

Eben Kellogg, Property Agent

Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
(512) 322-6050

D-1/48



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: C15-2020-0083
LOCATION: 2810 GONZALES STREET



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 175'



Board of Adjustment General/Parking Variance Application

D-1/49

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 2810 Gonzales St. Austin, TX 78702

Subdivision Legal Description:

LOT 3 BLK 1 *LESS SW TRI OLT 26-27 DIV A CHERNOSKY NO 11

Lot(s): 3 Block(s): 1

Outlot: _____ Division: _____

Zoning District: _____

I/We Daniel Salazar on behalf of myself/ourselves as

authorized agent for _____ affirm that on

Month November, Day 12, Year 2020, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☒ Other: _____

Type of Structure: New construction of 2-story secondary dwelling unit.

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

I am requesting a variance from the Land Development Code section 25-2-774 Two-Family Residential Use (C) (2) (a) for a SF-3-NP Two-Family location at least 10ft. (required) to rear of principal structure to 5ft (requested).

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because: the setback requirements do not allow reasonable utilization of this lot and many of the other homes in the area have similar accessory structures that were built before the code went into effect.

Hardship

- a) The hardship for which the variance is requested is unique to the property in that: All of the other commercial blocks on the south side of Cesar Chavez have an alley on the back side that would soften the compatibility standard. This block does not. This lot also has a 35" DBH tree on the property which all limit the development footprint. It is an over-mature, over-extended tree with a spread about as wide as it is tall. The height is about 35-40' tall.

- b) The hardship is not general to the area in which the property is located because: All other blocks on the south side of East Cesar Chavez have an alley. In addition the tree is located in the middle of the property.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Due to the age of the neighborhood there are numerous other lots on this block that have similarly configured accessory structures that are “existing non complying” so this accessory structure will not affect the character of the neighborhood. In addition the zoning district (Govalle Neighborhood Plan) only regulates property use and this variance would not impair those regulations.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature:  Date: 11/12/2020

Applicant Name (typed or printed): Daniel Salazar

Applicant Mailing Address: 2810 Gonzales St

City: Austin State: TX Zip: 78702

Phone (will be public information): 512-619-8154

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 11/12/2020

Owner Name (typed or printed): Enez Salinas

Owner Mailing Address: 2810 Gonzales St.

City: Austin State: TX Zip: 78702

Phone (will be public information): 512-619-8154

Email (optional – will be public information): 

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).
