

BOA SIGN REVIEW COVERSHEET

CASE: C16-2021-0008

BOA DATE: June 14th, 2021

ADDRESS: 715 W 23rd St

COUNCIL DISTRICT: 9

OWNER: The Standard at Austin, LLC

AGENT: Leah Bojo

ZONING: CS-NP (West University)

LEGAL DESCRIPTION: 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)

VARIANCE REQUEST: illuminate 6 signs

SUMMARY: install five (5) LED illuminated wall signs and one (1) internally illuminated cabinet wall sign

ISSUES: Uno Regulations were not intended or agreed to by stakeholders

	ZONING	LAND USES
<i>Site</i>	CS-NP	General Commercial Services
<i>North</i>	CS-NP	General Commercial Services
<i>South</i>	CS-NP	General Commercial Services
<i>East</i>	CS-NP	General Commercial Services
<i>West</i>	MF-4-NP	Multi-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District
 Austin Lost and Found Pets
 Austin Neighborhoods Council
 CANPAC (Central Austin Neigh Plan Area Committee)
 Central Austin Community Development Corporation
 Central Austin Urbanists
 Friends of Austin Neighborhoods
 Homeless Neighborhood Association
 Neighborhood Empowerment Foundation
 Preservation Austin
 SEL Texas
 Shoal Creek Conservancy
 Sierra Club, Austin Regional Group
 University Area Partners
 West Campus Neighborhood Association

DRENNER
GROUP

May 6, 2021

Via Electronic Delivery

City of Austin – Board of Adjustment

Re: 715 W 23rd Street – Sign variance application for the 1.34-acre piece of property located at 715 W 23rd Street in Austin, Travis County, Texas (the “Property”)

Dear Ms. Ramirez:

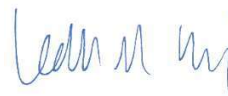
As representatives of the owner of the Property, we respectfully submit the enclosed sign variance application package. The requested variances are from Land Development Code, Sign Ordinance - Section 25-10-133 (University Neighborhood Overlay Zoning District Signs) (H) which does not allow illuminated signs, per changes to the code that Council approved in error in November 2019. In total, we are requesting permission to install five (5) LED illuminated wall signs, and one (1) internally illuminated cabinet wall sign.

These variances are necessary because the building’s surrounding area is dark at night and illuminated signs are required so that pedestrians and drivers can find the building. Notably, the granting of these variances ultimately will not conflict with the applicable sign ordinance, as the ordinance will likely be corrected in the future. A memorandum from Jerry Rusthoven, of the Housing and Planning Department, explains that the change to the UNO ordinance prohibiting illuminated signs was “not intended or agreed to by stakeholders.” For your convenience, we have attached that letter, dated May 22, 2020, hereto as Exhibit A.

Since the UNO sign regulations were changed, six variances from this code provision have been granted, including three (3) in the area surrounding the Property. Our variance requests are made on a similar basis, and we suffer from similar hardships, as it will be difficult to see the name of our proposed apartment building without the use of illuminated signs.

Please let me know if you or your team members require additional information or have any questions. Thank you for your time and attention to this project.

Sincerely,



Leah M. Bojo



MEMORANDUM

TO: Members of the Planning Commission

FROM: Jerry Rusthoven, Assistant Director/Interim Lead
Planning and Zoning Department

DATE: May 22, 2020

SUBJECT: UNO Sign Regulations

The Planning and Zoning Department is requesting the Commission initiate an amendment to the UNO ordinance to correct an inadvertent change made to the sign regulations in the ordinance.

In November 2019 the City Council approved changes to the UNO ordinance. One of those changes was intended to address signs above the second story of a building. Those signs were required to be cut in or engraved into the structure of the building. If the name of a building were placed on the facade this made it physically difficult to change the name in the future. It was agreed by the stakeholders to remove this requirement.

In making this change to the ordinance a mistake was made and the result is all illuminated signs were prohibited in the UNO area. This is not what was intended or agreed to by the stakeholders. Also, because the UNO sign regulations are also used in TODs and the North Burnet/Gateway Plan this mistake carries over to other areas.

Staff is asking for the opportunity to correct the ordinance. We will be working with the same stakeholders involved in the November revisions.

If you need additional information, please contact me by email or 512-974-3207.

Cc: Andy Linseisen, Assistant Director, DSD

Board of Adjustment Sign Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 715 W 23rd Street

Subdivision Legal Description:

1.2028 Acres of Lots 28-32 & 0.1402 Acres of Lots 25-27 Outlot 38, Division F, Wooldridge
Mary Ann Resubdivision Plus 1/2 Adj Vac Alley (Total Acreage: 1.3430)

Lot(s): _____ Block(s): _____

Outlot: _____ Division: _____

Zoning District: CS-NP

Sign District: University Neighborhood Overlay

I/We Leah Bojo on behalf of myself/ourselves as

authorized agent for The Standard at Austin, LLC affirm that on

Month May, Day 3, Year 2021, hereby apply for a hearing before the
 Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☒ Other: Install

Type of Sign: (5) LED illuminated wall signs, (1) internally illuminated cabinet wall sign

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

Land Development Code, Sign Ordinance - Section 25-10-133 (University Neighborhood
Overlay Zoning District Signs) (H) which does not allow illuminated signs. We would like to
illuminate six signs in order to provide adequate readable signage during the day and at night
for the multifamily apartment complex--The Standard--under construction at the site.

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. In order to grant your request for a variance, the Board must first make one or more of the findings described under 1, 2, and 3 below; the Board must then make the finding described in item 4 below. If the Board cannot make the required findings, it cannot approve a sign variance.

Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

I contend that my entitlement to the requested variance is based on the following findings:

1. The variance is necessary because strict enforcement of the Article prohibits any reasonable opportunity to provide adequate signs on the site, considering the unique features of the site such as dimensions, landscaping, or topography, because:

Many apartment buildings & retailers in the area have signage that is illuminated to help direct potential consumers to their front doors. The Commission has granted at least 6 other variances from the applicable sign rule as it was a text change to the code that was approved in error. The area is dark at night & requires an illuminated sign to identify the building.

—OR—

2. The granting of this variance will not have a substantially adverse impact upon neighboring properties, because:

The requested illuminated signs will be similar to other signs in UNO.

—OR—

3. The granting of this variance will not substantially conflict with the stated purposes of this sign ordinance, because:

The proposed signs are scaled to the size of the property and building and fall in line with the sign sizes of neighboring businesses. Furthermore, the current text of the ordinance was made in error. See attached letter from Jerry Rusthoven.

AND,

4. Granting a variance would not provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated, because:

As previously stated, many of the neighborhood's buildings have illuminated signs, and the Commission continues to grant variances to other similarly-situated businesses. The variance would not provide The Standard with a special privilege not enjoyed currently by its neighbors. The error will eventually be remedied such that denial would unfairly impair the project as compared to others.

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature:  Date: 5-3-2021

Applicant Name (typed or printed): Leah M. Bojo

Applicant Mailing Address: 200 Lee Barton Drive, Suite 100

City: Austin State: Texas Zip: 78704

Phone (will be public information): (512) 807-2900

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 5-3-21

Owner Name (typed or printed): The Standard at Austin, LLC

Owner Mailing Address: 315 Oconee Street

City: Athens State: Georgia Zip: 30601

Phone (will be public information): (706) 543-1910

Email (optional – will be public information): 

Section 5: Agent Information

Agent Name: Leah M. Bojo

Agent Mailing Address: 200 Lee Barton Drive, Suite 100

City: Austin State: Texas Zip: 78704

Phone (will be public information): (512) 807-2900

Email (optional – will be public information): 



MEMORANDUM

TO: Members of the Planning Commission

FROM: Jerry Rusthoven, Assistant Director/Interim Lead
Planning and Zoning Department

DATE: May 22, 2020

SUBJECT: UNO Sign Regulations

The Planning and Zoning Department is requesting the Commission initiate an amendment to the UNO ordinance to correct an inadvertent change made to the sign regulations in the ordinance.

In November 2019 the City Council approved changes to the UNO ordinance. One of those changes was intended to address signs above the second story of a building. Those signs were required to be cut in or engraved into the structure of the building. If the name of a building were placed on the facade this made it physically difficult to change the name in the future. It was agreed by the stakeholders to remove this requirement.

In making this change to the ordinance a mistake was made and the result is all illuminated signs were prohibited in the UNO area. This is not what was intended or agreed to by the stakeholders. Also, because the UNO sign regulations are also used in TODs and the North Burnet/Gateway Plan this mistake carries over to other areas.

Staff is asking for the opportunity to correct the ordinance. We will be working with the same stakeholders involved in the November revisions.

If you need additional information, please contact me by email or 512-974-3207.

Cc: Andy Linseisen, Assistant Director, DSD



City of Austin

Sign Permit

PERMIT NO: 2020-174175 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Final

Expiry Date: 05/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)	REVIEWED BY Cierra Beltran	ISSUED BY
--	-------------------------------	-----------

DESCRIPTION OF WORK Wall	PROPOSED SIGN Install LED illuminated channel letters reading "The Standard" on North elevation
VARIANCE 0.00	ZONING CS-NP
SIGN FACE DIMENSIONS 34' 5/8" x 2' 2"	TOTAL SIGN FACE AREA 74.00
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT

Sign District
UNO

Electric Inspection Required:

No

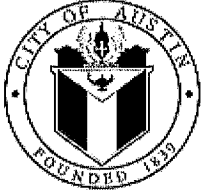
CONTACT	TELEPHONE
Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES	() -
Internet User, Jennifer Garcia	(512) 255-3887
Outdoor Advertising Contractor, Liberty Signs, Inc.	(512) 255-3887
Online Applicant, Jennifer Garcia	(512) 255-3887

Fee Description	Fee Amount	Payment Date
Technology Surcharge-DSD	\$2.72	11/23/2020 9:19:56AM
Sign Review Fee	\$68.00	11/23/2020 9:19:56AM
Total Fees:	\$70.72	

Comment	Date	User
Sign Permit Review	11/23/2020	Cierra Beltran
Sign Permit Review	12/21/2020	Cierra Beltran

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174180 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Final

Expiry Date: 05/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)	REVIEWED BY Cierra Beltran	ISSUED BY
--	-------------------------------	-----------

DESCRIPTION OF WORK Wall	PROPOSED SIGN Install non-illuminated channel letters reading "The Standard" on West elevation To be corrected to be "illuminated"
VARIANCE 0.00	ZONING CS-NP
SIGN FACE DIMENSIONS 3' 4-5/8" x 41' 1/8"	TOTAL SIGN FACE AREA 138.00
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 186.42' x 15' = 2,796.3
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT

Sign District

UNO

Electric Inspection Required:

No

<u>CONTACT</u>	<u>TELEPHONE</u>
Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES	() -
Internet User, Jennifer Garcia	(512) 255-3887
Outdoor Advertising Contractor, Liberty Signs, Inc.	(512) 255-3887
Online Applicant, Jennifer Garcia	(512) 255-3887

<u>Fee Description</u>	<u>Fee Amount</u>	<u>Payment Date</u>
Technology Surcharge-DSD	\$2.72	11/23/2020 9:19:57AM
Sign Review Fee	\$68.00	11/23/2020 9:19:57AM
<u>Total Fees:</u>	\$70.72	

<u>Comment</u>	<u>Date</u>	<u>User</u>
Sign Permit Review	11/23/2020	Cierra Beltran
Sign Permit Review	12/21/2020	Cierra Beltran

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174174 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Final

Expiry Date: 05/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)		REVIEWED BY Cierra Beltran	ISSUED BY
DESCRIPTION OF WORK Wall		PROPOSED SIGN Install internally illuminated cabinet reading "The Standard" on North elevation	
VARIANCE 0.00	ZONING CS-NP		
SIGN FACE DIMENSIONS 9' 2-5/8" x 2' 6"	TOTAL SIGN FACE AREA 23.00		
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05		
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN		
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE		
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT		

Sign District

UNO

Electric Inspection Required:

No

CONTACT

 Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES
 Internet User, Jennifer Garcia
 Outdoor Advertising Contractor, Liberty Signs, Inc.
 Online Applicant, Jennifer Garcia

TELEPHONE

 () -
 (512) 255-3887
 (512) 255-3887
 (512) 255-3887

Fee Description

 Technology Surcharge-DSD
 Sign Review Fee

Fee Amount

 \$2.72
 \$68.00

Payment Date

 11/23/2020 9:19:54AM
 11/23/2020 9:19:54AM

Total Fees:

\$70.72

Comment

 Sign Permit Review
 Sign Permit Review

Date

 12/21/2020
 11/23/2020

User

 Cierra Beltran
 Cierra Beltran

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174169 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Final

Expiry Date: 05/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR 1.3430)		REVIEWED BY Cierra Beltran	ISSUED BY
DESCRIPTION OF WORK Wall		PROPOSED SIGN Install LED illuminated channel letters reading "The Standard" located on West Elevation	
VARIANCE 0.00	ZONING CS-NP		
SIGN FACE DIMENSIONS 34' 5/8" x 2' 2"	TOTAL SIGN FACE AREA 74.00		
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 186.42' x 15' = 2,796.3		
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN		
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE		
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT		

Sign District

UNO

Electric Inspection Required:

No

CONTACT

 Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES
 Internet User, Jennifer Garcia
 Outdoor Advertising Contractor, Liberty Signs, Inc.
 Online Applicant, Jennifer Garcia

TELEPHONE

 () -
 (512) 255-3887
 (512) 255-3887
 (512) 255-3887

Fee Description

 Technology Surcharge-DSD
 Sign Review Fee

Fee Amount

 \$2.72
 \$68.00

Payment Date

 11/23/2020 9:19:52AM
 11/23/2020 9:19:52AM

Total Fees:

\$70.72

Comment

 Sign Permit Review
 Sign Permit Review

Date

 12/21/2020
 11/23/2020

User

 Cierra Beltran
 Cierra Beltran

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height



City of Austin

Sign Permit

PERMIT NO: 2020-174159 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Active

Expiry Date: 05/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)	REVIEWED BY Cierra Beltran	ISSUED BY
--	-------------------------------	-----------

DESCRIPTION OF WORK Wall	PROPOSED SIGN Install LED illuminated channel letters reading "STANDARD" on North elevation
VARIANCE 0.00	ZONING CS-NP
SIGN FACE DIMENSIONS 33'-4 5/8" x 4'-3/4"	TOTAL SIGN FACE AREA 135.00
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 4,840.05
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT

Sign District
UNO

Electric Inspection Required:

Yes

CONTACT	TELEPHONE
Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES	() -
Internet User, Jennifer Garcia	(512) 255-3887
Outdoor Advertising Contractor, Liberty Signs, Inc.	(512) 255-3887
Online Applicant, Jennifer Garcia	(512) 255-3887

Fee Description	Fee Amount	Payment Date
Sign Review Fee	\$68.00	11/23/2020 9:19:51AM
Technology Surcharge-DSD	\$2.72	11/23/2020 9:19:51AM
Technology Surcharge-DSD	\$2.08	
Electrical Sign Permit Fee	\$52.00	
Total Fees:	\$124.80	

Comment	Date	User
Sign Permit Review	11/23/2020	Cierra Beltran
Sign Permit Review	12/22/2020	Cierra Beltran



City of Austin

Sign Permit

PERMIT NO: 2020-190066 SB

715 W 23RD ST

Sign Type: Wall

Issue Date:
Status: Final

Expiry Date: 06/15/2021

LEGAL DESCRIPTION 1.2028 AC OF LOTS 28-32 & 0.1402 AC OF LOTS 25-27 OLT 38 DIV F WOOLDRIDGE MARY ANN RESUB PLUS 1/2 ADJ VAC ALLEY (TOTAL ACR: 1.3430)	REVIEWED BY Cierra Beltran	ISSUED BY
--	-------------------------------	-----------

DESCRIPTION OF WORK Wall	PROPOSED SIGN Install LED illuminated channel letters reading "THE" on the North elevation
VARIANCE 0.00	ZONING CS-NP
SIGN FACE DIMENSIONS 4' 3/4" x 11' 11"	TOTAL SIGN FACE AREA 46.40
TOTAL AREA OF EXISTING SIGNS ON FACADE	DIMENSIONS OF BUILDING FACADE 322.67' x 15 = 968.01
TOTAL HEIGHT OF SIGN	SETBACK OF SIGN
CLEARANCE ABOVE GRADE	LINEAR FEET OF STREET FRONTAGE
NUMBER OF OTHER FREESTANDING SIGNS ON PROPERTY	SIGN OF EACH SIGN SUPPORT

Sign District
UNO

Electric Inspection Required:

No

CONTACT	TELEPHONE
Owner, STANDARD AT AUSTIN LLC THE ATTN: J WESLEY ROGERS % LANDMARK PROPERTIES	() -
Internet User, Jennifer Garcia	(512) 255-3887
Outdoor Advertising Contractor, Liberty Signs, Inc.	(512) 255-3887
Online Applicant, Jennifer Garcia	(512) 255-3887

Fee Description	Fee Amount	Payment Date
Technology Surcharge-DSD	\$2.72	12/22/2020 11:55:46AM
Sign Review Fee	\$68.00	12/22/2020 11:55:46AM
Total Fees:	\$70.72	

Comment	Date	User
Sign Permit Review	12/22/2020	Cierra Beltran

Conditions:

Sign area may not exceed UNO-20% of facade area of first 15 ft. of bldg. height

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

NOT FOR PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

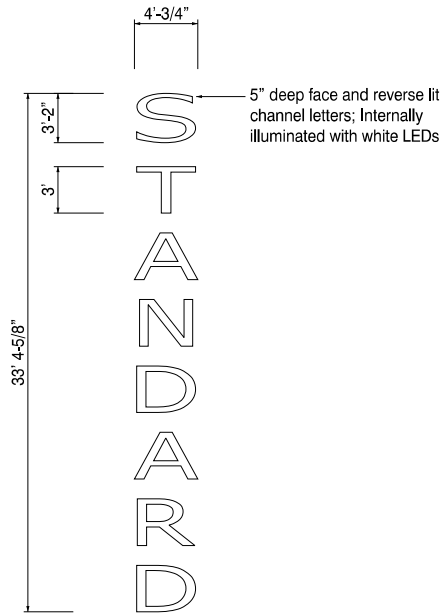
1.BID:
BUILDING ID - LARGE

REVISIONS
12.10.20 - KN

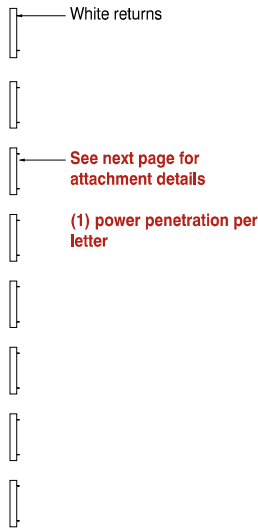
© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts, and accompanying information contained herein are the sole property of Custom Sign Factory and may not be copied or recreated without the written consent of Custom Sign Factory. Dimensions and colors may vary slightly due to the practical limitations inherent with fabrication. Colors shown on this drawing are approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

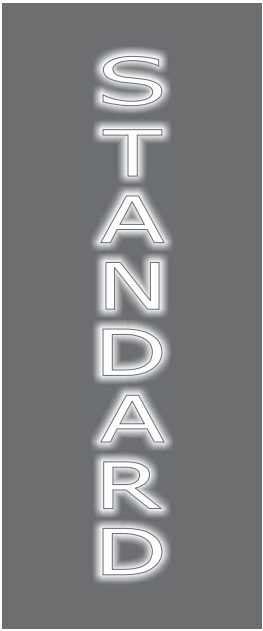
WO. 2002052.04



FRONT
SCALE: 1/8"= 1'



SIDE
SCALE: 1/8"= 1'



FRONT @ NIGHT VIEW
SCALE: 1/8"= 1'

**ILLUMINATION
PENDING VARIANCE
APPROVAL**



ELECTRICAL REQUIREMENTS	
1. (1) 120V 20A CIRCUIT REQUIRED.	
2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.	
3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.	
4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.	
5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.	

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

PROPOSED SIGN AREA: 135.74 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

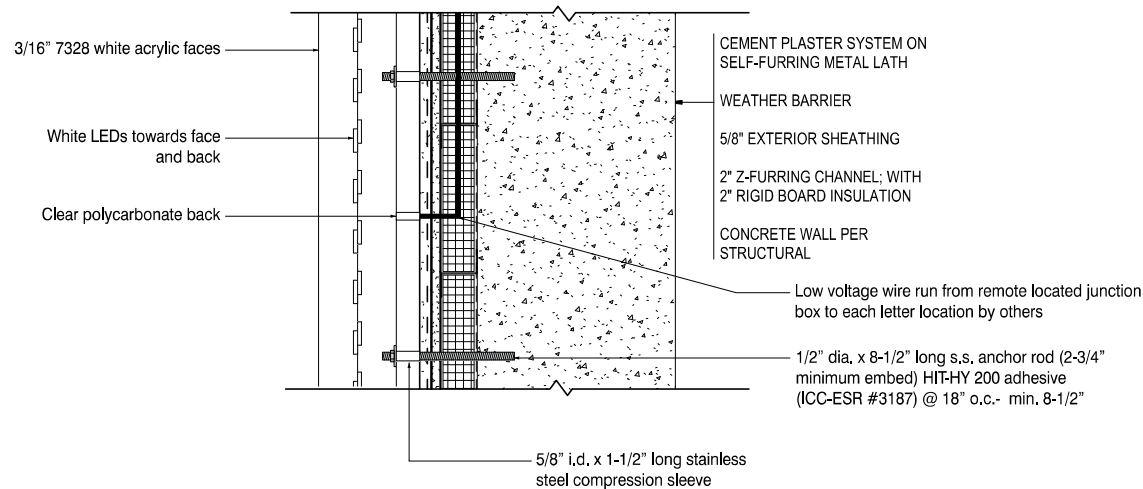
1.BID:
BUILDING ID - LARGE

REVISIONS
09.17.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT
SCALE: 1-1/2"=1'

NOT FOR
PRODUCTION

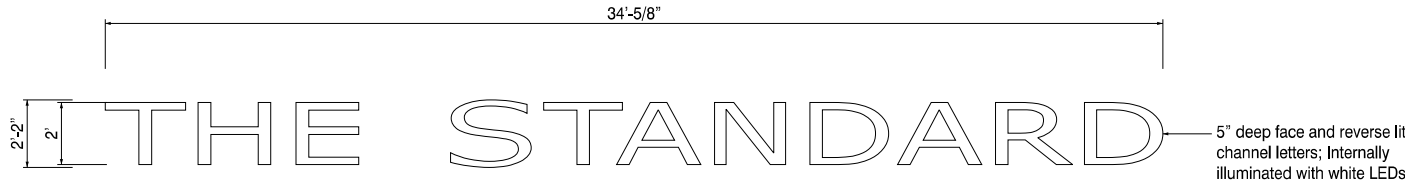


1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

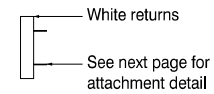
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

2.BID:
BUILDING ID - SMALL



FRONT
SCALE: 1/4" = 1'

5" deep face and reverse lit
channel letters; Internally
illuminated with white LEDs



SIDE
SCALE: 1/4" = 1'

(1) power penetration per
letter



NIGHT VIEW
SCALE: 1/4" = 1'

**ILLUMINATION
PENDING VARIANCE
APPROVAL**

ALL ELECTRICAL



ELECTRICAL REQUIREMENTS

1. (1) 120V 20A CIRCUIT REQUIRED.
2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROPOSED SIGN AREA: 73.78 SQ. FT.

SIGN CODE: WALL SIGN

SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.

HEIGHT LIMIT: N/A

ILLUMINATION: INTERNAL ONLY

PROJECT MATERIALS & COLORS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

2.BID:
BUILDING ID - SMALL

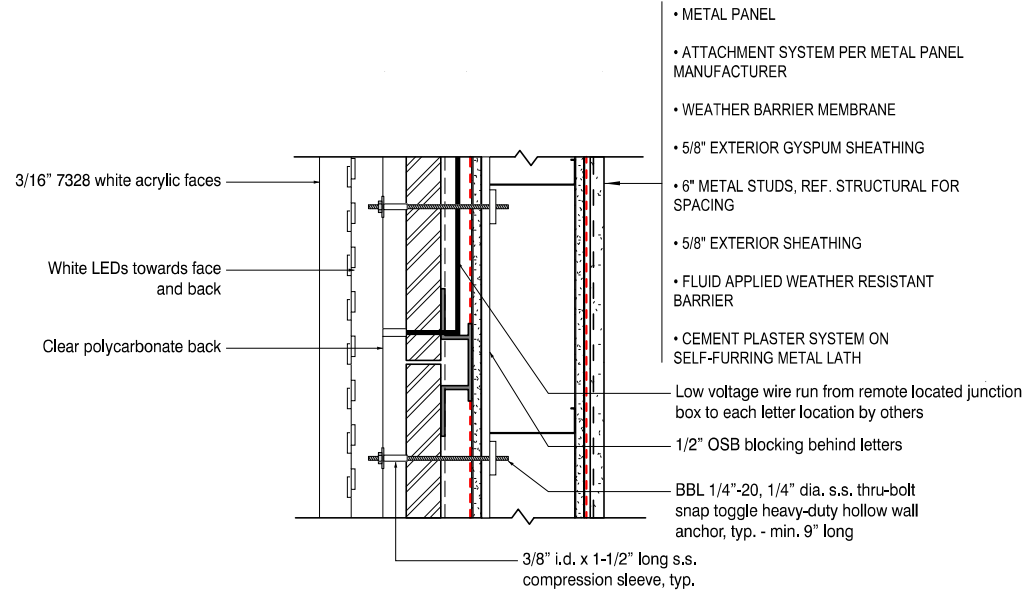
REVISIONS

07.22.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT

SCALE: 1-1/2"=1'

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

2.BID:
BUILDING ID - SMALL

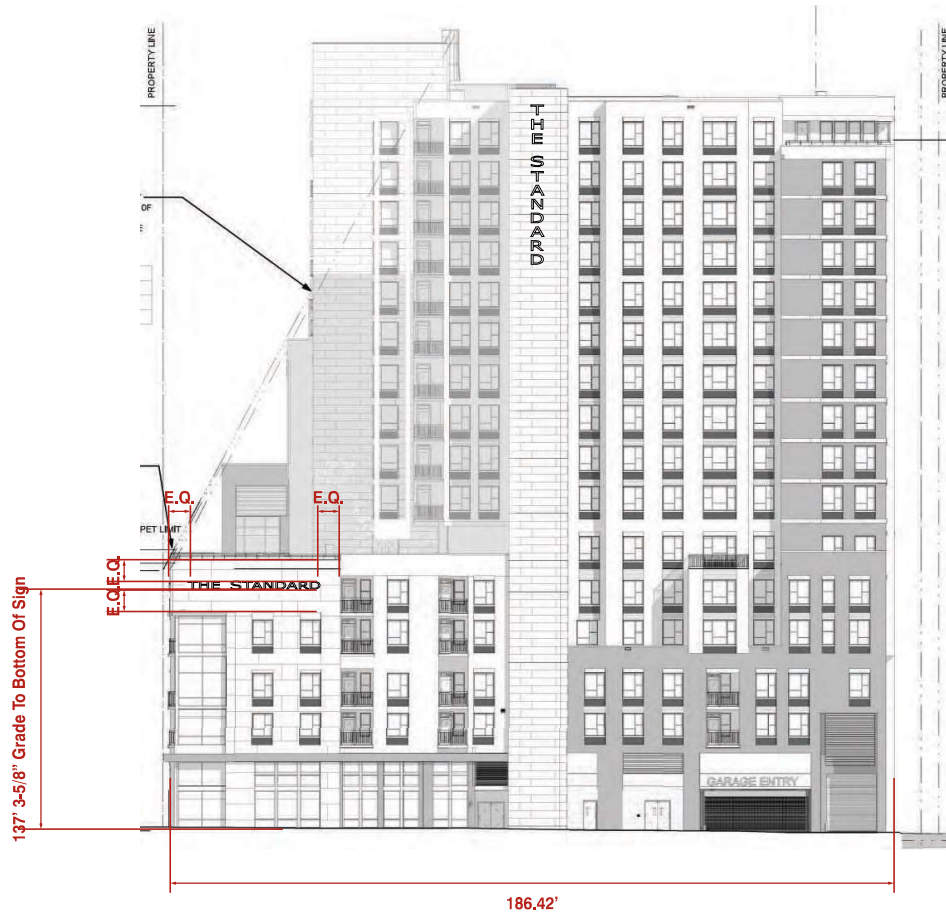
REVISIONS

07.22.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



WEST ELEVATION A4.35
SCALE: 1/32"=1'

186.42FT. X 15 X .2= 559.26
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

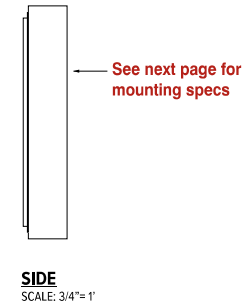
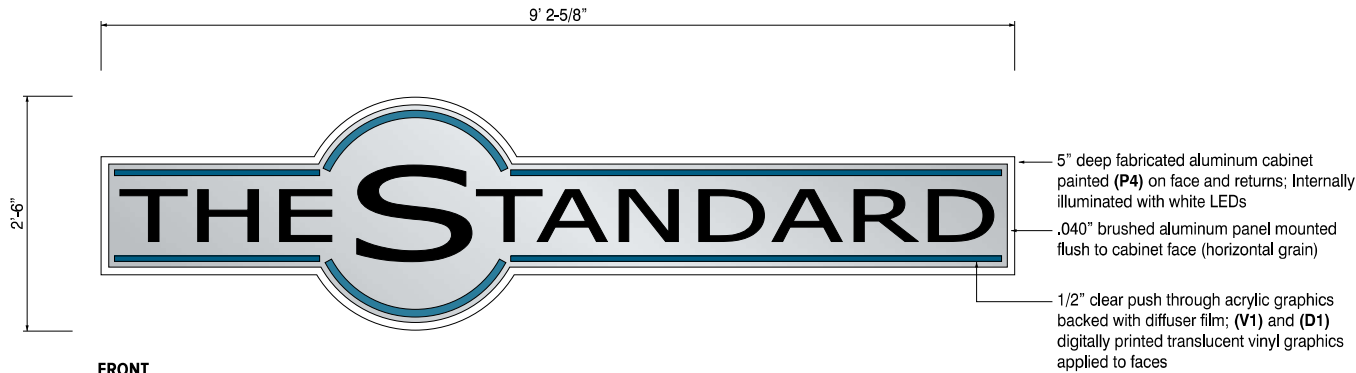
3.BID:
BUILDING ID - LEASING

REVISIONS
07.23.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



ELECTRICAL REQUIREMENTS	
ALL ELECTRICAL 	1. (1) 120V 20A CIRCUIT REQUIRED.
	2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
	3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
	4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
	5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.
NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN	

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROPOSED SIGN AREA: 24.5 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

PROJECT MATERIALS & COLORS



NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

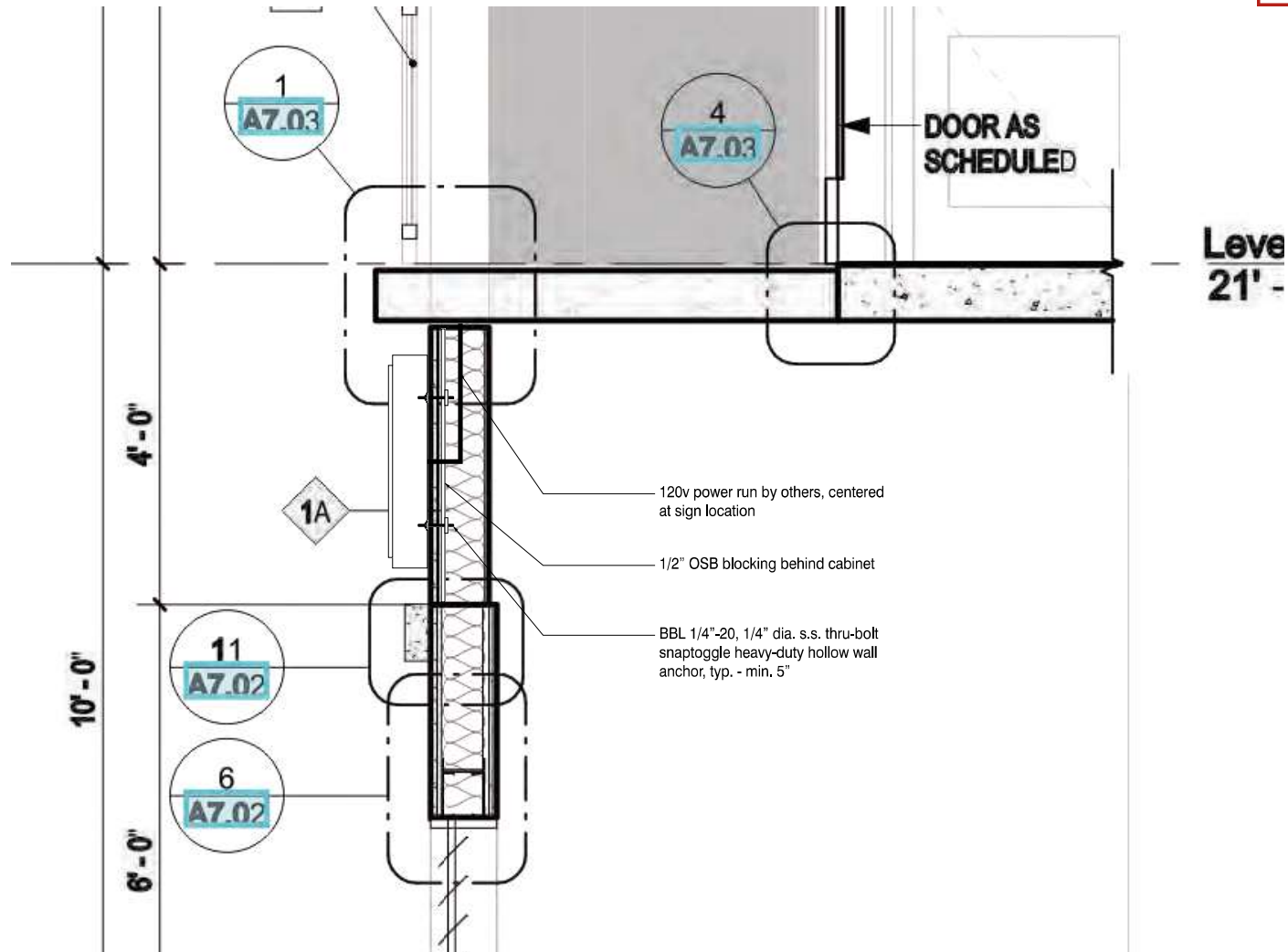
3.BID:
BUILDING ID - LEASING

REVISIONS
07.23.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT
SCALE: 3/4" = 1'

E-1/22

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

3.BID:
BUILDING ID - LEASING

REVISIONS
07.23.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



NORTH ELEVATION - A4.32
SCALE: 1/32"=1'

322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

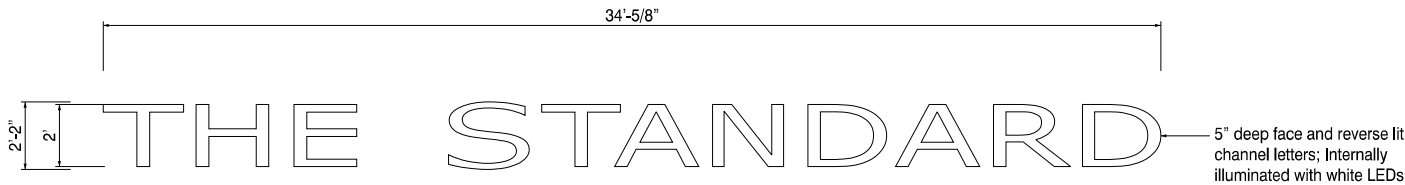
NOT FOR PRODUCTION



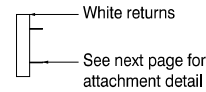
1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION



FRONT
SCALE: 1/4" = 1'



SIDE
SCALE: 1/4" = 1' (1) power penetration per letter



NIGHT VIEW
SCALE: 1/4" = 1'

**ILLUMINATION
PENDING VARIANCE
APPROVAL**

ALL ELECTRICAL

APPROVED

ELECTRICAL REQUIREMENTS

1. (1) 120V 20A CIRCUIT REQUIRED.
2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.
3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.
4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.
5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

PROPOSED SIGN AREA: 73.78 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

QTY: 1
SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

REVISIONS
12.10.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts, and accompanying information contained herein are the sole property of Custom Sign Factory and may not be copied or recreated without the written consent of Custom Sign Factory. Dimensions and colors may vary slightly due to the practical limitations inherent with fabrication. Colors shown on this drawing are approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

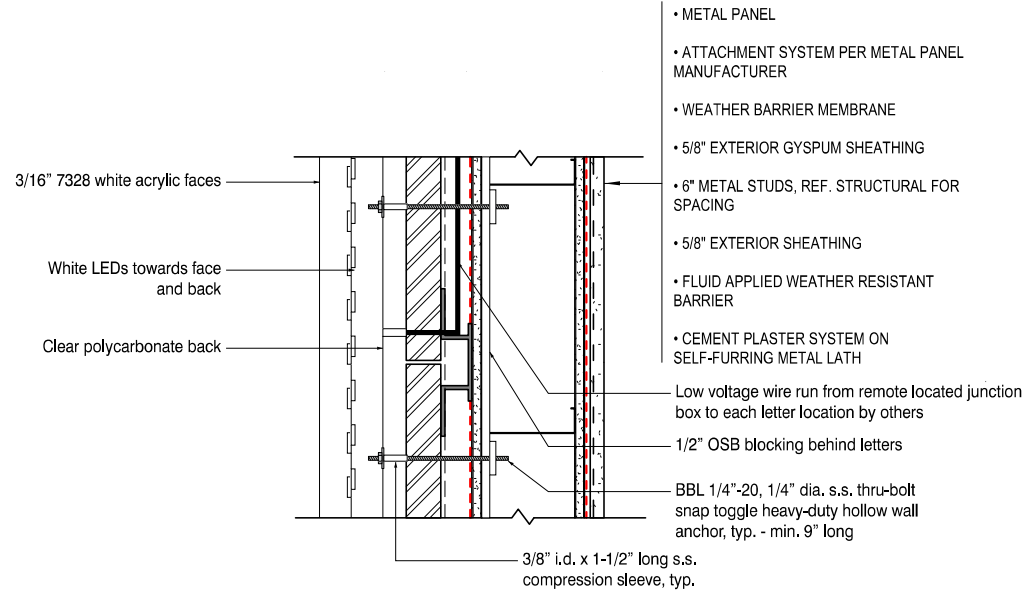
4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT

SCALE: 1-1/2"=1'

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

4.BID:
BUILDING ID - SMALL -
NORTH ELEVATION

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

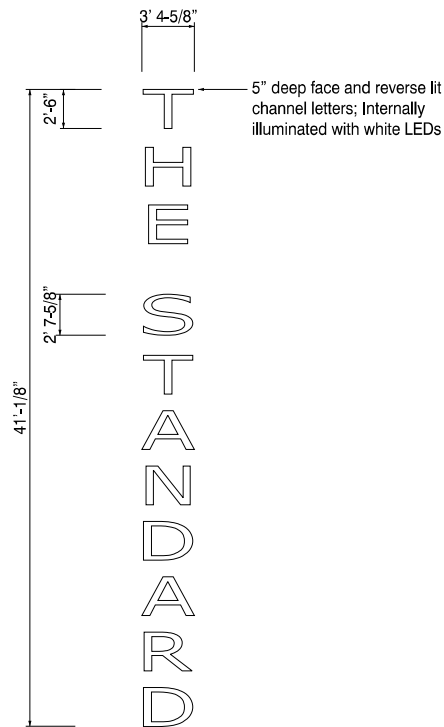
WO. 2002052.04



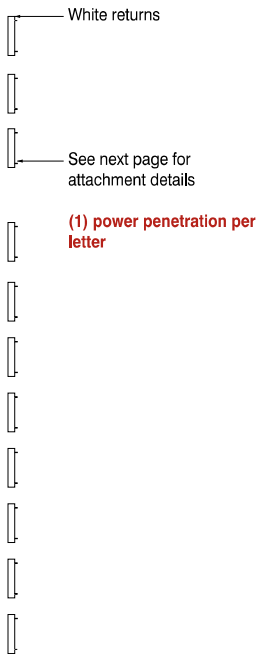
NORTH ELEVATION - A4.32
SCALE: 1/32"=1'

322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.
ACTUAL AREA OF ALL SIGNS ON NORTH ELEVATION: 197.66

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE



FRONT
SCALE: 1/8"= 1'



SIDE
SCALE: 1/8"= 1'



FRONT @ NIGHT VIEW
SCALE: 1/8"= 1'



ELECTRICAL REQUIREMENTS	
1. (1) 120V 20A CIRCUIT REQUIRED.	
2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.	
3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.	
4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.	
5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN; POWER MUST BE SHUT OFF FOR FINAL CONNECTION.	

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK
PROPERTIES
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

5.BID:
BUILDING ID - VERTICAL -
WEST ELEVATION

REVISIONS
12.10.20 - KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts, and accompanying information contained herein are the sole property of Custom Sign Factory and may not be copied or recreated without the written consent of Custom Sign Factory. Dimensions and colors may vary slightly due to the practical limitations inherent with fabrication. Colors shown on this drawing are approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

PROPOSED SIGN AREA: 138.92 SQ. FT.

SIGN CODE: WALL SIGN
SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.
HEIGHT LIMIT: N/A
ILLUMINATION: INTERNAL ONLY

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

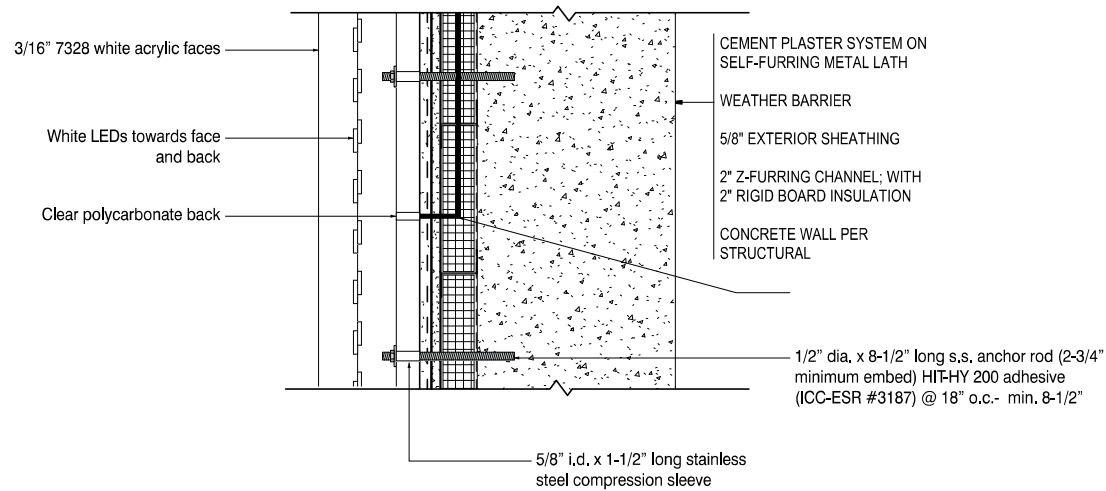
5.BID: BUILDING ID - VERTICAL - WEST ELEVATION

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT

SCALE: 1-1/2"=1'

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

LANDMARK PROPERTIES

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

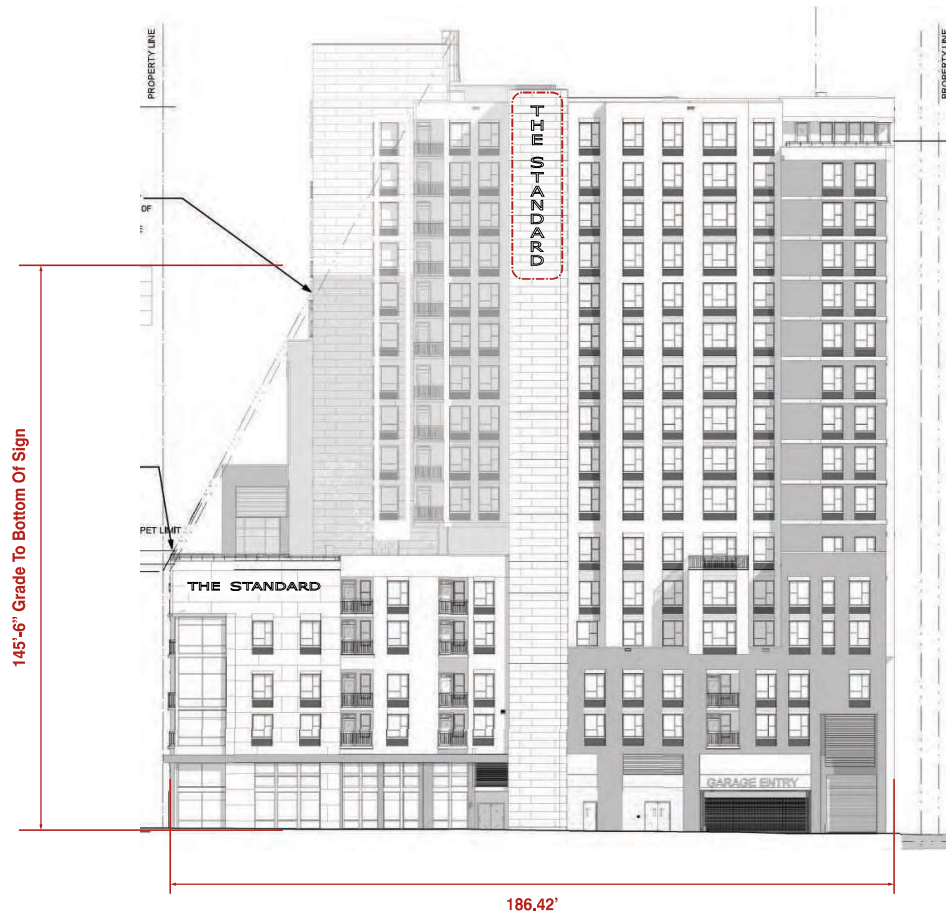
5.BID:
BUILDING ID - VERTICAL -
WEST ELEVATION

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



WEST ELEVATION A4.35
SCALE: 1/32"=1'

186.42FT. X 15 X .2= 559.26
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOTE: ALL PENETRATIONS WILL BE TREATED WITH SILICONE TO PREVENT WATER AND MOISTURE LEAKAGE

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

6.BID:
BUILDING ID - LARGE

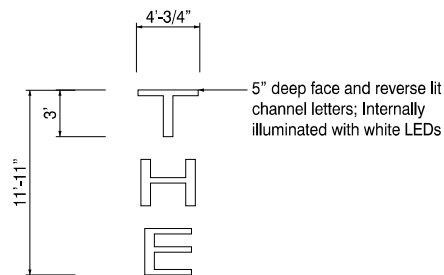
REVISIONS

12.10.20 - KN

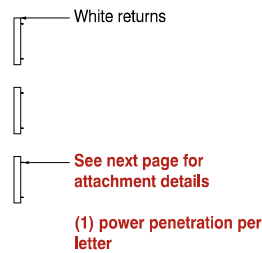
© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts, and accompanying information contained herein are the sole property of Custom Sign Factory and may not be copied or recreated without the written consent of Custom Sign Factory. Dimensions and colors may vary slightly due to the practical limitations inherent with fabrication. Colors shown on this drawing are approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

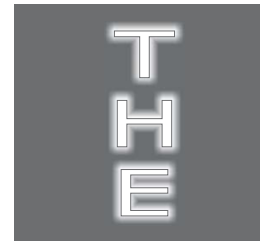
WO. 2002052.04



FRONT
SCALE: 1/8"= 1'



SIDE
SCALE: 1/8"= 1'



FRONT @ NIGHT VIEW
SCALE: 1/8"= 1'



ALL ELECTRICAL



ELECTRICAL REQUIREMENTS	
1. (1) 120V 20A CIRCUIT REQUIRED.	
2. UL LABELS REQUIRED AWAY FROM PUBLIC VIEW.	
3. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OTHER.	
4. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMER LOCATION FOR INSTALLATION AND SERVICE.	
5. ALL ELECTRICAL RUNS AND INTERNAL CONNECTIONS TO BE DONE BY CERTIFIED ELECTRICIAN. CSF WILL MAKE FINAL CONNECTION TO SIGN. POWER MUST BE SHUT OFF FOR FINAL CONNECTION.	

NOTE: DISCONNECT SWITCH INCLUDED WITH SIGN

PROPOSED SIGN AREA: 46.4SQ. FT.

SIGN CODE: WALL SIGN

SIGN FACE SQ. FOOTAGE (ALLOWED): 150 SQ. FT.

HEIGHT LIMIT: N/A

ILLUMINATION: INTERNAL ONLY

QTY: 1

SEE NEXT PAGE FOR ADDITIONAL DETAILS

PROJECT MATERIALS & COLORS

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFSigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

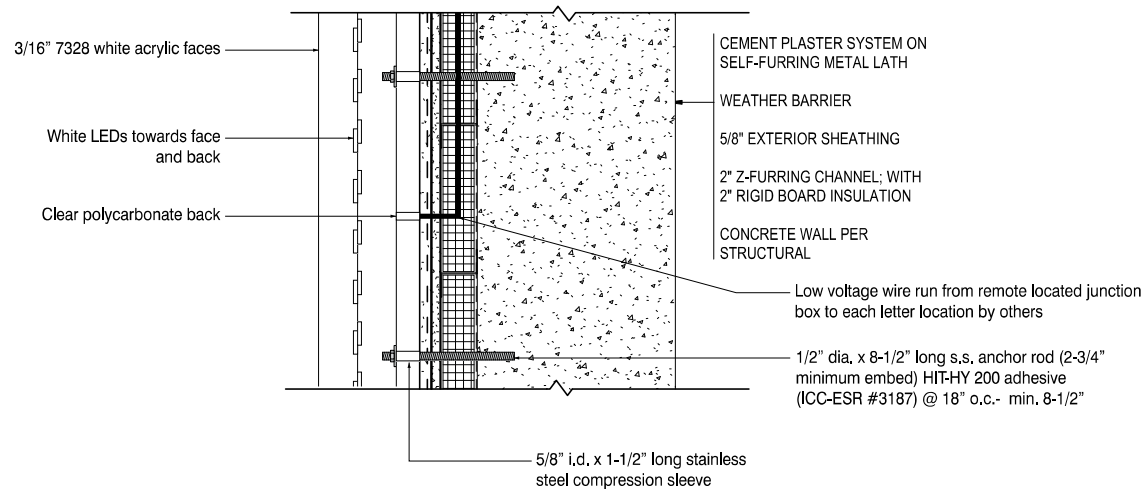
6.BID:
BUILDING ID - LARGE

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04



SIDE SECTION AT ATTACHMENT

SCALE: 1-1/2"=1'



NORTH ELEVATION - A4.32
SCALE: 1/32"=1'

322.67FT. X 15 X .2= 968.01
ALLOWED AREA OF ALL SIGNS: 150 SQ. FT.

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**

THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

**1.BID AND 6.BID:
BUILDING ID - LARGE**

REVISIONS

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: JB / DESIGN: KN
DATE: 09/09/20

WO. 2002052.04

NOT FOR
PRODUCTION



1610-A SATELLITE BLVD.
DULUTH, GA 30097
770.717.7755
www.CSFsigns.com

**LANDMARK
PROPERTIES**
THE STANDARD
715 W. 23RD STREET
AUSTIN, TX 78705

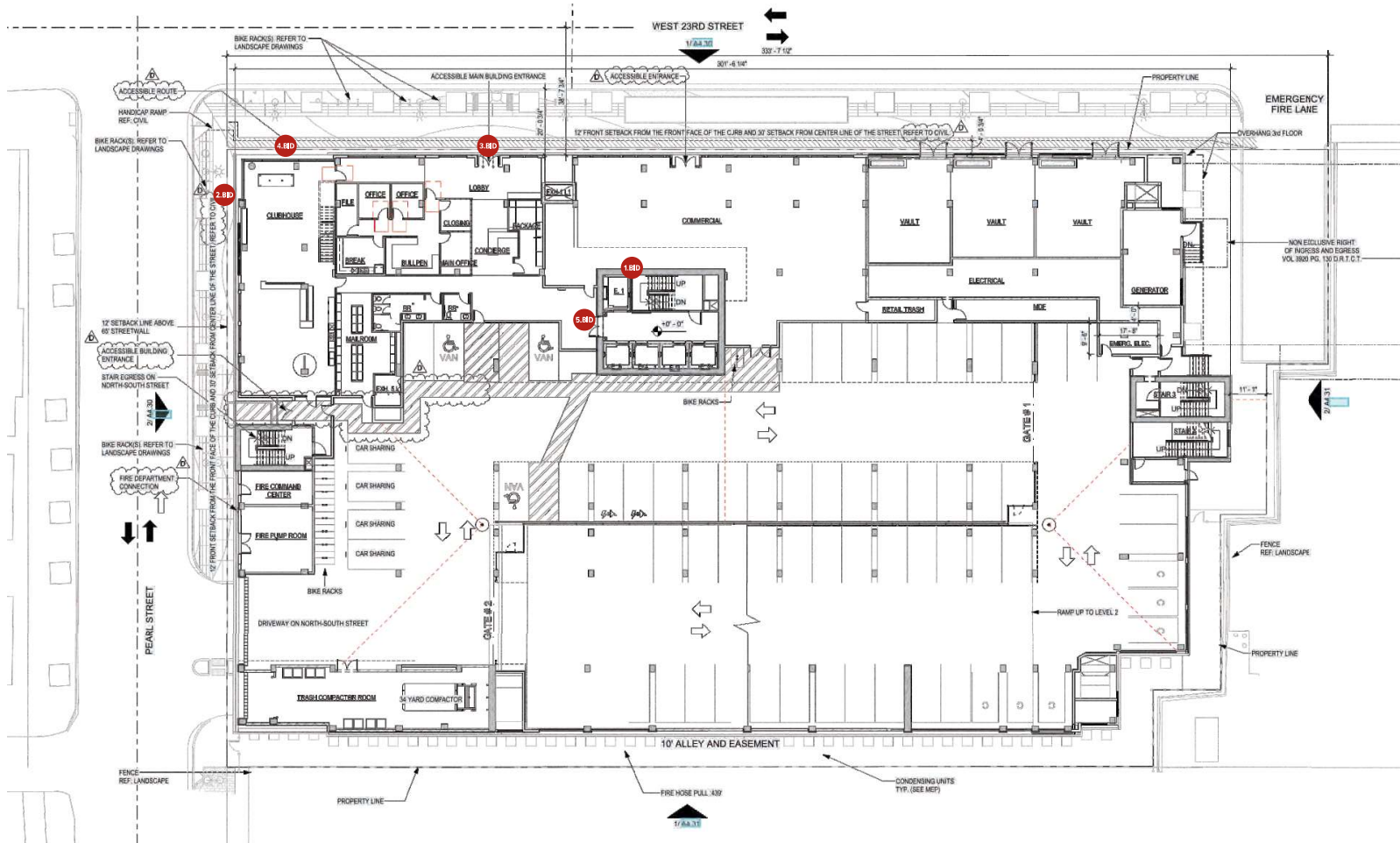
SITE PLAN

REVISIONS
07.23.20 • KN

© 2020 Custom Sign Factory
This drawing and the designs, plans, layouts,
and accompanying information contained
herein are the sole property of Custom Sign
Factory and may not be copied or recreated
without the written consent of Custom Sign
Factory. Dimensions and colors may vary
slightly due to the practical limitations inherent with
fabrication. Colors shown on this drawing are
approximations.

BD: LR / PM: LR / DESIGN: KN
DATE: 05/15/20

WO. 2002052.01



SITE PLAN
SCALE: NTS