

**SUBDIVISION REVIEW SHEET****CASE NO.:** C8-2020-0033**COMMISSION DATE:** August 3, 2021**SUBDIVISION NAME:** Saddle Ridge at Wildhorse Ranch Preliminary Plan**ADDRESS:** 10621 Blue Bluff Road**APPLICANT:** Heart of Manor LP**AGENT:** Kimley-Horn and Associates (Kevin Burks)**ZONING:** Wildhorse Ranch PUD**NEIGHBORHOOD PLAN:** Wildhorse Ranch PUD**AREA:** 82.24 acres**LOTS:** 248**COUNTY:** Travis**DISTRICT:** 1**WATERSHED:** Gilleland Creek**JURISDICTION:** Full Purpose**SIDEWALKS:** Sidewalks will be constructed along all internal streets and the subdivision side of Blue Bluff Road.**VARIANCES:** Variances from LDC § 25-8-341, to allow cut over four feet, and LDC § 25-8-342, to allow fill over four feet.**DEPARTMENT COMMENTS:**

The request is for the approval of Saddle Ridge at Wildhorse Ranch Preliminary Plan, consisting of 248 lots on 82.24 acres. The variances from LDC § 25-8-341, to allow cut over four feet, and LDC § 25-8-342, to allow fill over four feet, were approved by the Planning Commission on June 22, 2021. However, the preliminary plan was disapproved at that time.

The recent update for this preliminary plan now complies with the criteria for approval in LDC 25-4-84(B) and staff recommends approval.

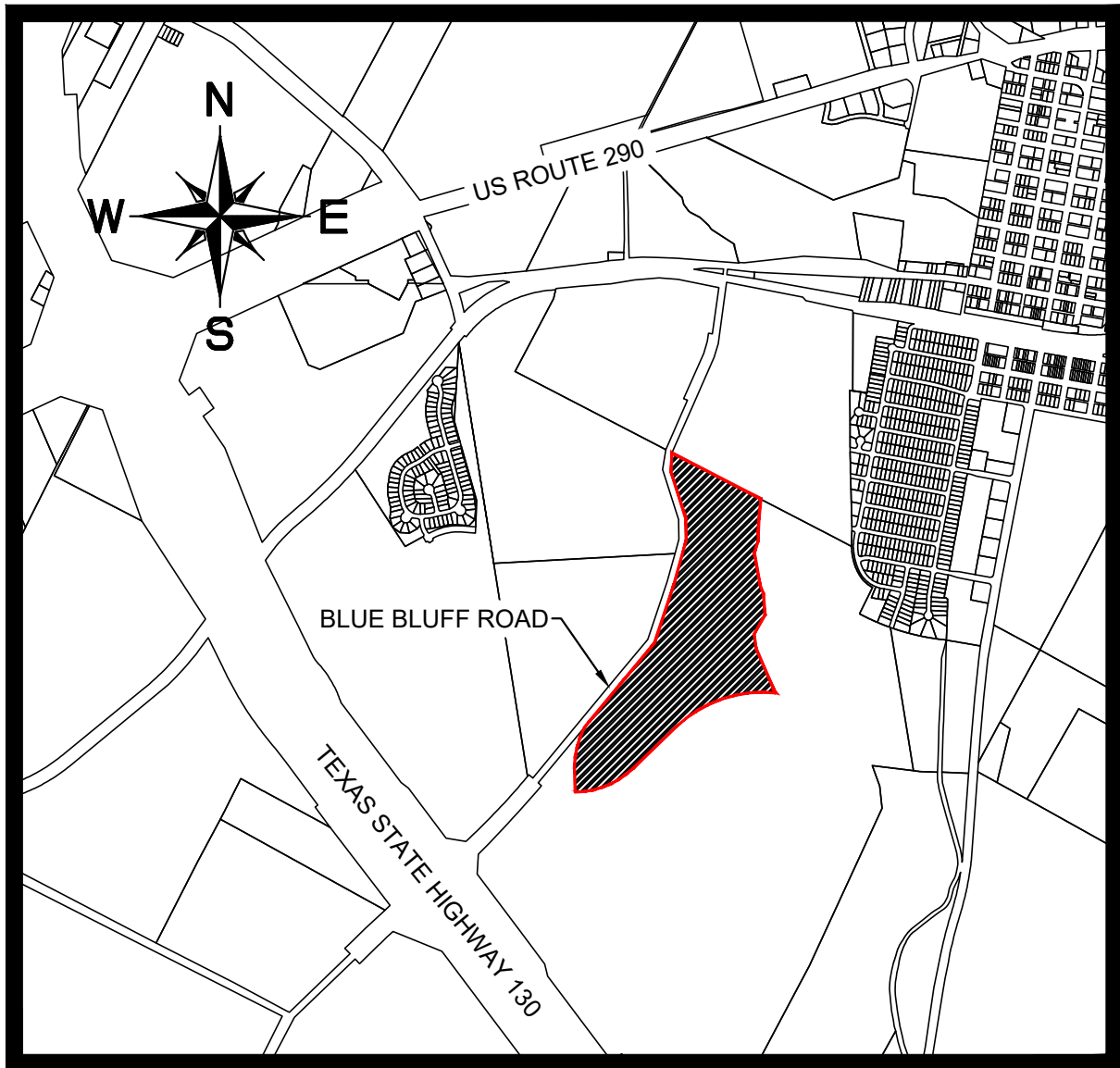
**STAFF RECOMMENDATION:**

The staff recommends approval of the plat. This plat meets all applicable State and City of Austin LDC requirements.

**CASE MANAGER:** Jennifer Bennett**PHONE:** 512-974-9002**EMAIL:** [jennifer.bennett-reumuth@austintexas.gov](mailto:jennifer.bennett-reumuth@austintexas.gov)**ATTACHMENTS**

Exhibit A: Vicinity map

Exhibit B: Proposed preliminary plan



## LOCATION MAP

SCALE: 1" = 2,000'

C:\A. TRAVIS 10/28/2019 9:50 AM  
 K:\AUS.CIVIL\089244619-WILDHORSE BLUE BLUFF\PRELIMINARY\CAD\EXHIBITS\PLANS\EXHIBITS\LOCATION MAP.DWG  
 10/25/2019 10:23 AM

PLOTTED BY  
 DWG NAME  
 LAST SAVED

# BLUE BLUFF AT WILDHORSE RANCH

AUSTIN, TEXAS  
 OCTOBER 2019

**Kimley»Horn**

10814 Jollyville Road  
 Campus IV, Suite 300  
 Austin, Texas 78759  
 737-471-0157  
 State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY. TOPOGRAPHY, UTILITIES, CONTACT WITH THE CITY, ETC.

CIVIL CONSTRUCTION PLANS

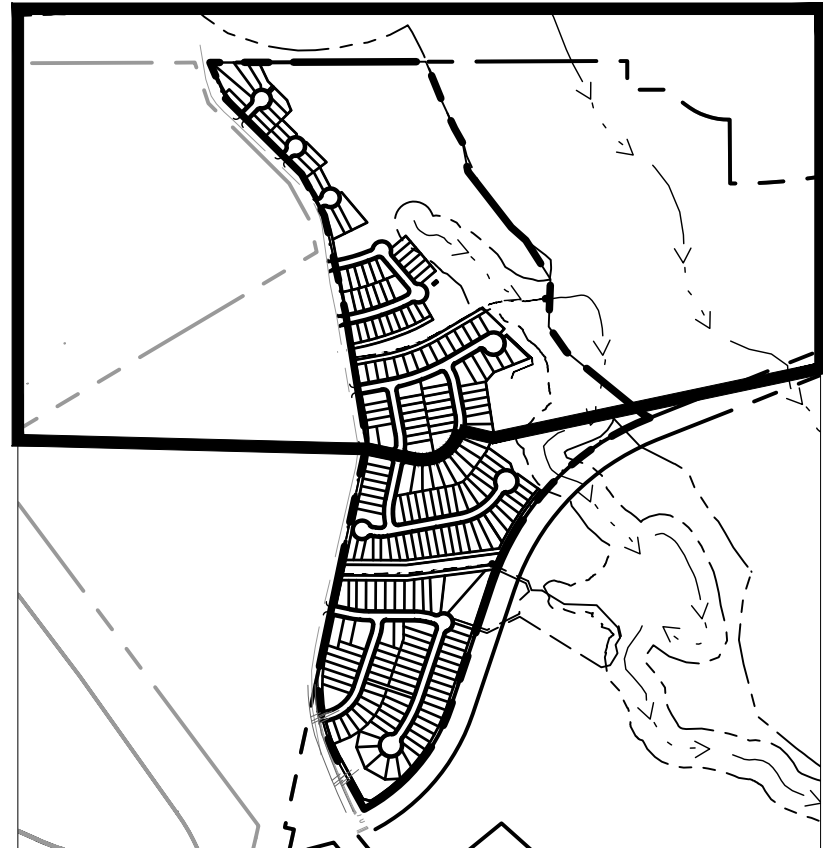
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10814 JOLLYVILLE ROAD, AVALON IV, SUITE 200, AUSTIN, TX 78759  
PHONE: 512-418-1771 FAX: 512-418-1791  
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TEXAS REGISTERED ENGINEERING FIRM F-928

SHEET NUMBER  
1 OF 3

## CIVIL CONSTRUCTION PLANS

C8-2020-0033

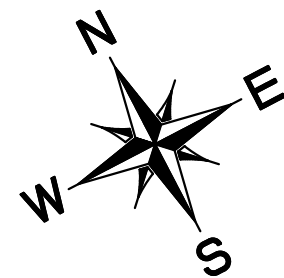
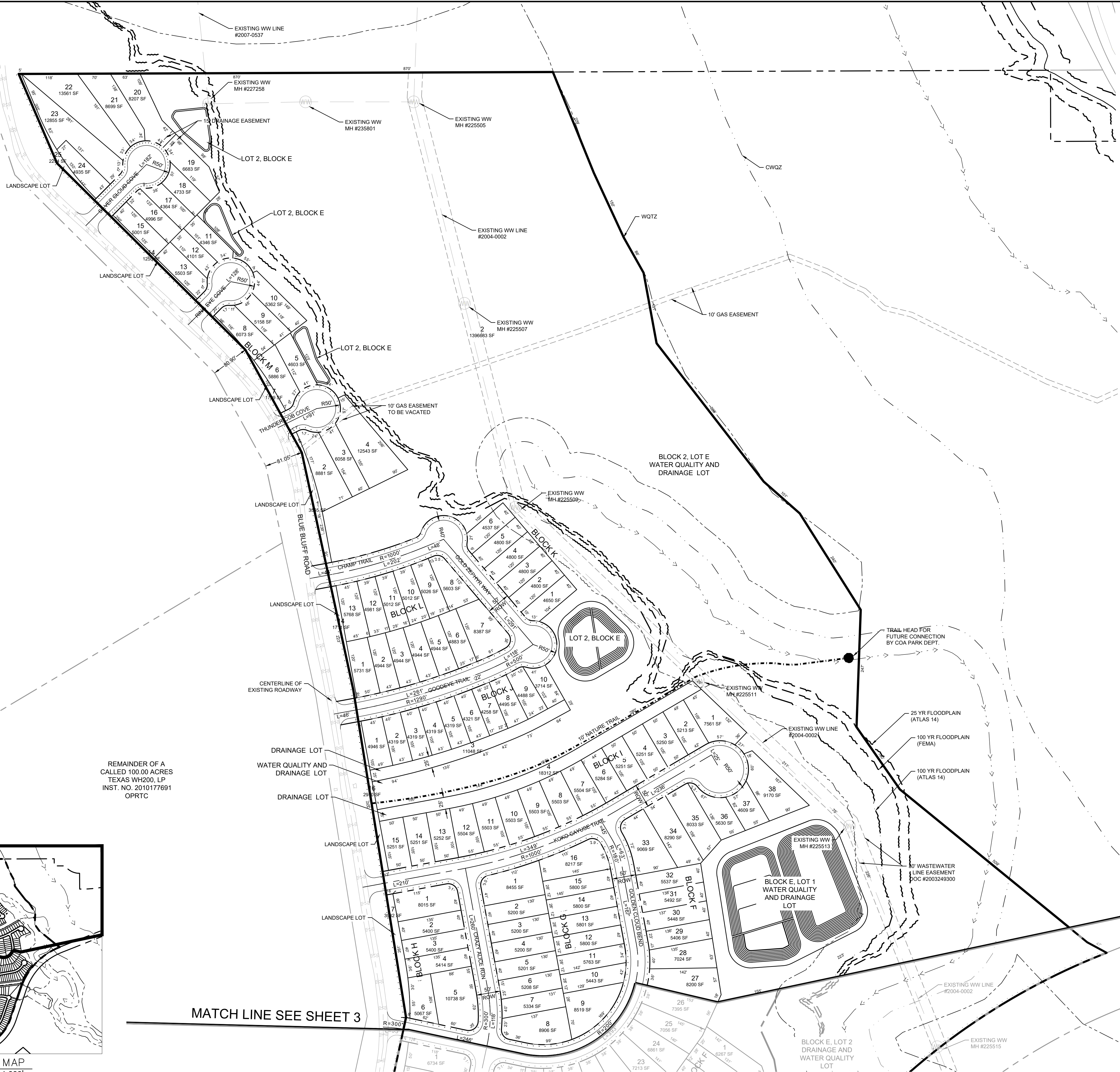
Plotted By: Costey, Mesopam Date: July 27, 2021 03:30:57pm File Path: K:\Aous-ctail\069244519-wildhorse blue bluff\preliminary\Cad\plansheets\B-6- Preliminary Plan.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



KEY MAP  
1" = 1,000'

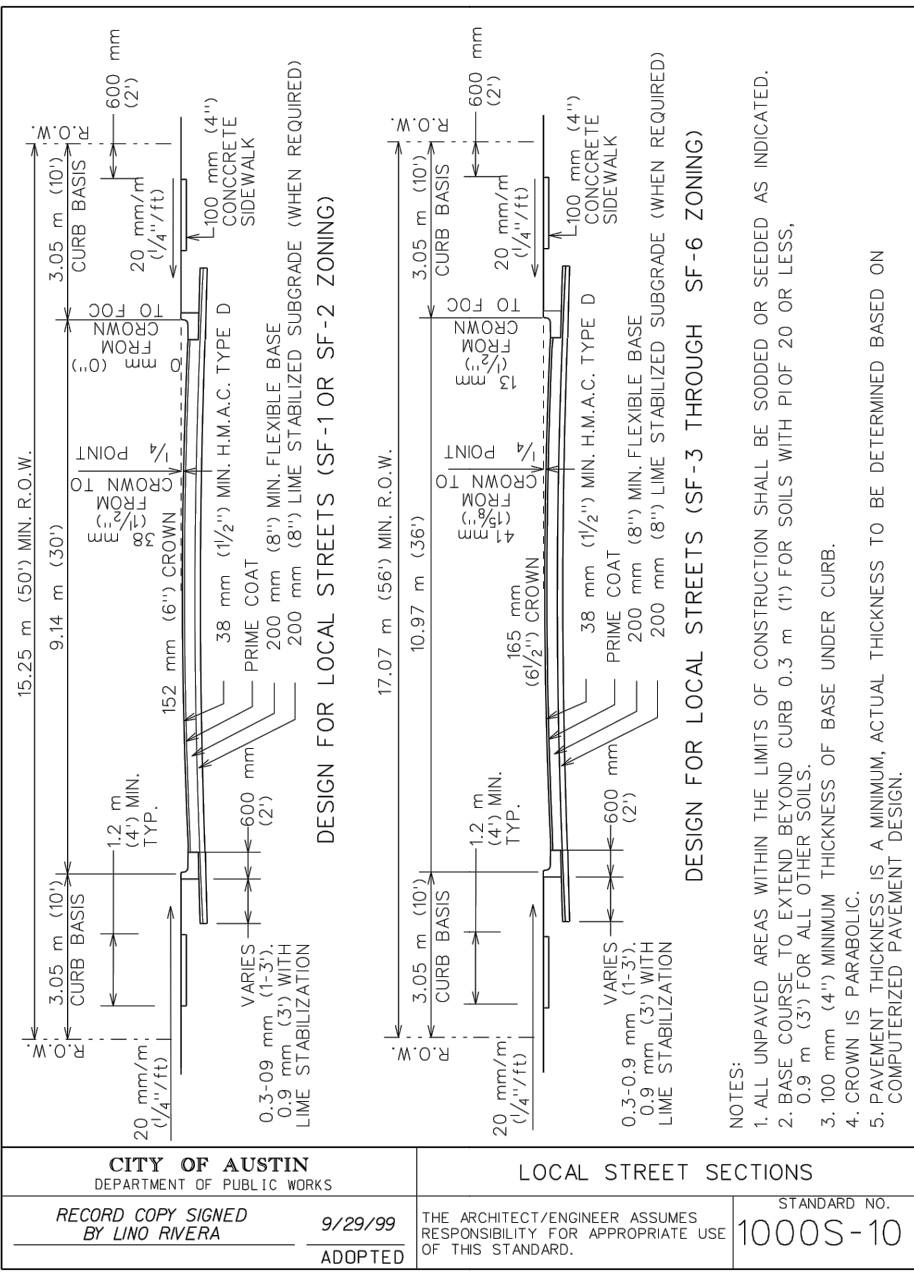
REMAINDER OF A  
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TEXAS WH200, LP  
INST. NO. 2010177691  
OPRTC

MATCH LINE SEE SHEET 3



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- PROPOSED SIDEWALK
- EXISTING CEF TO REMAIN
- EXISTING CEF BUFFER
- CRITICAL WATER QUALITY ZONE
- WATER QUALITY TREATMENT ZONE
- CREEK CENTERLINE
- EXISTING CONTOUR
- ATLAS 14 25 YEAR FLOODPLAIN
- ATLAS 14 100 YEAR FLOODPLAIN
- FEMA 100 YEAR FLOODPLAIN
- CRITICAL WATER QUALITY ZONE
- WATER QUALITY TRANSITION ZONE
- TRAIL
- SIDEWALK



PRELIMINARY SUBDIVISION APPROVAL SHEET 2 OF 3  
FILE NUMBER C8-2020-0033 APPLICATION DATE 02-25-2021  
APPROVED BY THE LAND USE COMMISSION ON \_\_\_\_\_, 2021.  
EXPIRATION DATE (LDC 25-4-62)  
CASE MANAGER:  
  
Denise Lucas, Director, Development Services Department  
Final plans must be recorded by the Expiration Date. Subsequent Site Plans which do not comply with the Code current at the time of filing, and require Building Permits or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



Know what's below.  
Call before you dig.  
BENCHMARKS

BM #27 10' SET ON SOUTHEAST CORNER OF TRANSMISSION TOWER LEG BASE 182' SOUTH OF THE END OF CURB ON THE SOUTH SITE OF WILDHORSE TRAIL. ELEV. = 640.40'

**Kimley»Horn**



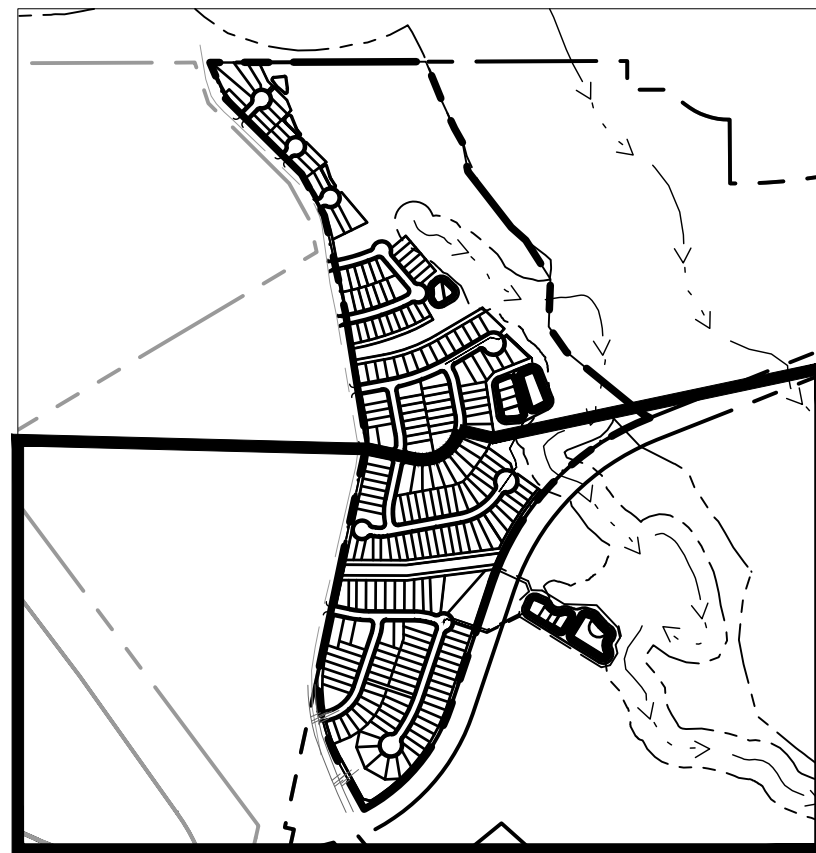
07/27/2021

KHA PROJECT 069244519  
DATE JULY 2021  
SCALE: AS SHOWN  
DESIGNED BY: KJB  
DRAWN BY: AJF  
CHECKED BY: KJB

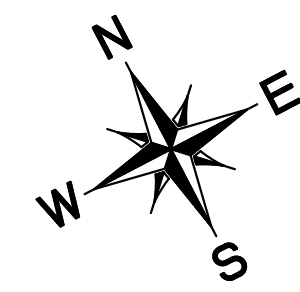
PRELIMINARY PLAN  
(1 OF 2)

SADDLE RIDGE AT  
WILDHORSE RANCH  
CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

SHEET NUMBER  
2 OF 3




















KEY MAP  
1" = 1,000'



0 100' 200'

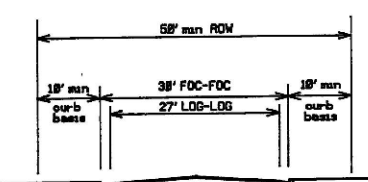
GRAPHIC SCALE 100'

-  PROPERTY LINE  
 LOT LINE  
 EASEMENT LINE  
 PROPOSED SIDEWALK  
 EXISTING CEF TO REMAIN  
 EXISTING CEF BUFFER  
 CRITICAL WATER QUALITY ZONE  
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 CRITICAL WATER QUALITY ZONE  
 WATER QUALITY TRANSITION ZONE  
 TRAIL  
 SIDEWALK

Typical ADT Range, less than 1000

Design Speed, 25, 30 mph  
General Length, less than 1500'  
Minimum Centerline Radius, See Page 1-8  
Minimum Tangent Length Between Horizontal Curves, 50'  
Minimum Curb Basis, 18"  
Zoning, SF-1 or SF-2 (for comparable land use)\*

**TYPICAL CROSS-SECTION**



\* NOTE: See Figure 1-23, for design criteria for local street where SF-3 thru SF-6 zoning is proposed

Source: U.S. Army, Department of the Army, and Public Services Department.

TCM FIG. 1-22

PRELIMINARY SUBDIVISION APPROVAL SHEET 3 OF 3  
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[illegible]

# Kimley»»Horn

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07/27/202

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PRELIMINARY PLAN  
(2 OF 2)

# SADDLE RIDGE AT WILDHORSE RANCH

CITY OF AUSTIN  
TRAVIS COUNTY, TEXAS

SHEET NUMBER

3 OF 3

C8-2020-0033