

# FOWLER RESIDENCE - HISTORIC REVIEW

## CONCEPT RENDERING



FOR REFERENCE ONLY

VIEW THROUGH KITCHEN

## VICINITY MAP



## SYMBOL LEGEND

	ELEVATION	ROOM NAME	ROOM NAME
	BUILDING SECTION		DOOR NUMBER
	WALL SECTION		WINDOW TYPE
	SECTION DETAIL		PARTITION TYPE
	DETAIL		PLUMBING FIXTURE TYPE
			TOILET ACCESSORY TYPE

## PROJECT TEAM

**OWNER** WILLIAM & DEBORAH FOWLER  
2109 KENWOOD AVE.  
AUSTIN, TEXAS 78704

**ARCHITECT** CLAYTON KORTE  
2201 N LAMAR BLVD  
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## ZONING & CODE ANALYSIS

<b>LEGAL DESCRIPTION</b>	LOT 5 BLK 37 TRAVIS HEIGHTS & ADJ VACANT ALLEY
<b>PARCEL ID</b>	285258
<b>ZONING</b>	SF3
<b>BUILDING CODES</b>	2015 INTERNATIONAL RESIDENTIAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRIC CODE
<b>BUILDING DESCRIPTION</b>	REMODEL AND REAR ADDITION TO A WOOD FRAMED SINGLE STORY RESIDENCE
<b>LEGAL JURISDICTION</b>	AUSTIN, TEXAS, TRAVIS
<b>OCCUPANCY CLASSIFICATION</b>	SINGLE FAMILY

## SITE INFORMATION

SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY SURVEY WORKS ON 07.21.2021, DEREK KINSAUL, R.P.L.S. NO. 6356.

## AREA CALCULATIONS

LOT SIZE - 7,228 SF	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	866 SF	722 SF	1,588 SF
2ND FLOOR CONDITIONED	0 SF	0 SF	0 SF
BASEMENT	0 SF	0 SF	0 SF
COVERED PARKING	0 SF	360 SF	360 SF
COVERED PATIO	91 SF	52 SF	143 SF
BALCONY	0 SF	0 SF	0 SF
OTHER	0 SF	0 SF	0 SF
<b>TOTAL BUILDING COVERAGE</b>	957 SF	1,134 SF	2,091 SF
% BUILDING COVERAGE (2,091 SF / 7,228 SF) = 28.9%			
GRAVEL DRIVEWAY	0 SF	946 SF	946 SF
SIDEWALKS	0 SF	0 SF	0 SF
UNCOVERED WOOD DECK	0 SF	103 SF	103 SF
AC PADS	6 SF	6 SF	12 SF
OTHER	21 SF	0 SF	21 SF
<b>TOTAL NON-BUILDING COVERAGE</b>	27 SF	1,055 SF	1,082 SF
<b>TOTAL SITE COVERAGE (IMPERVIOUS)</b>	984 SF	2,189 SF	3,173 SF
% IMPERVIOUS COVER (3,173 / 7,228) = 43.9%			

## DRAWING INDEX

### GENERAL

G1.0 PROJECT DATA

### DEMOLITION

D1.0 DEMOLITION SITE PLAN  
D1.1 DEMOLITION PLAN  
D1.2 DEMOLITION ROOF PLAN  
D1.3 DEMOLITION PHOTOS - GARAGE  
D1.4 DEMOLITION PHOTOS - MAIN HOUSE

### ARCHITECTURAL

A1.0 SITE PLAN  
A1.1 GROUND FLOOR PLAN  
A1.2 ROOF PLAN  
A2.0 EXTERIOR ELEVATIONS  
A2.1 EXTERIOR ELEVATIONS  
A6.0 SCHEDULES  
A9.0 EXISTING SITE PLAN  
A9.1 EXISTING GROUND FLOOR PLAN  
A9.2 EXISTING ROOF PLAN  
A9.3 EXISTING EXTERIOR ELEVATIONS  
A9.4 EXISTING EXTERIOR ELEVATIONS

## GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
2. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
3. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
4. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERRABLE FROM THEM.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
7. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
8. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITEHAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
9. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
11. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
12. CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
13. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
14. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
15. IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.
16. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. ALL WORK NOTED AS "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
18. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
19. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

### PRELIMINARY NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

ISSUED DATE 09-07-2021  
PROJECT NUMBER 21003

### HISTORIC REVIEW

**FOWLER RESIDENCE**

2109 KENWOOD AVENUE  
AUSTIN, TEXAS 78704

**G1.0**

PROJECT DATA

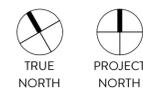
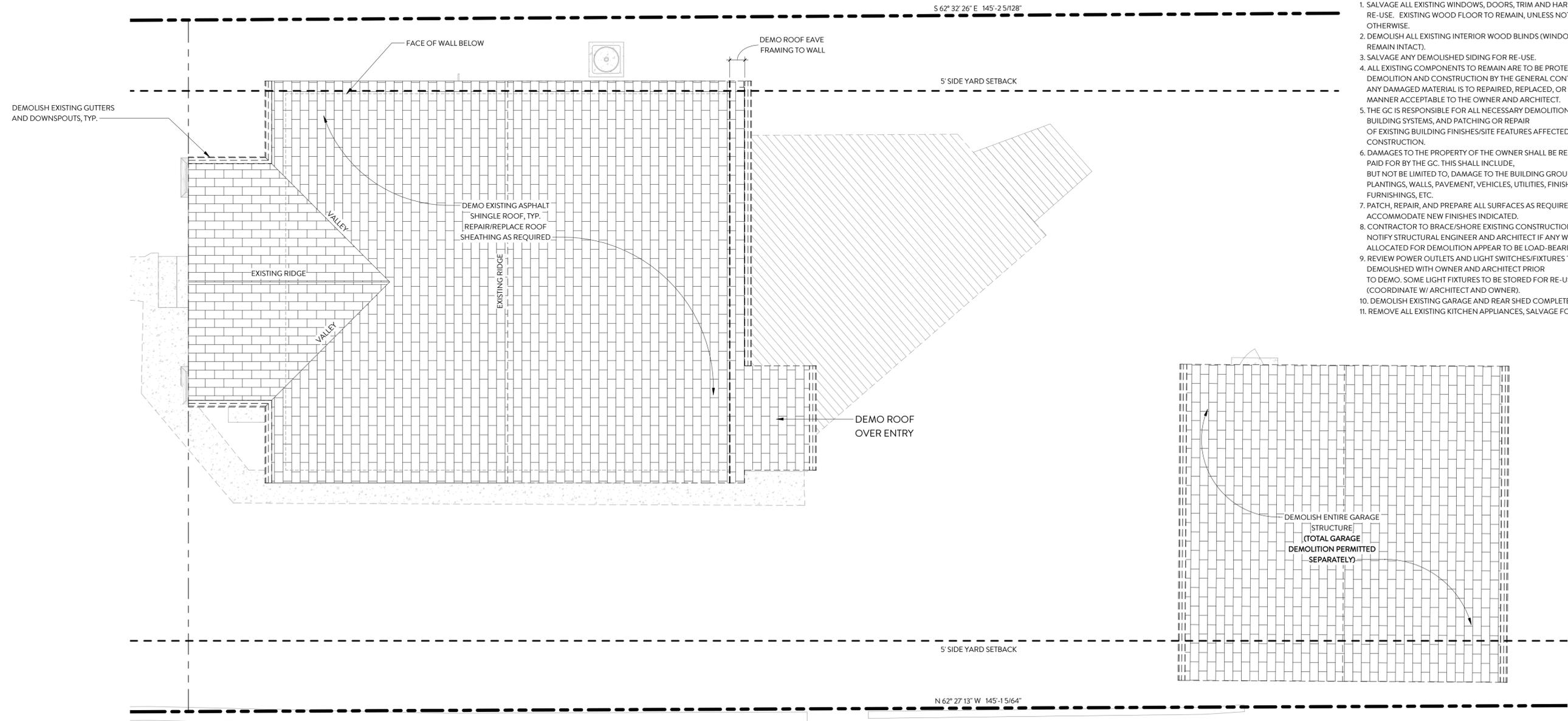


**PLAN LEGEND**

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  NEW CONSTRUCTION
-  WOOD FLOORING
-  WOOD DECKING
-  TILE FLOORING
-  CONCRETE FLOORING

**DEMOLITION NOTES**

1. SALVAGE ALL EXISTING WINDOWS, DOORS, TRIM AND HARDWARE FOR RE-USE. EXISTING WOOD FLOOR TO REMAIN, UNLESS NOTED OTHERWISE.
2. DEMOLISH ALL EXISTING INTERIOR WOOD BLINDS (WINDOWS TO REMAIN INTACT).
3. SALVAGE ANY DEMOLISHED SIDING FOR RE-USE.
4. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (GC). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED, OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
5. THE GC IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
6. DAMAGES TO THE PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GC. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.
7. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE NEW FINISHES INDICATED.
8. CONTRACTOR TO BRACE/SHORE EXISTING CONSTRUCTION TO REMAIN. NOTIFY STRUCTURAL ENGINEER AND ARCHITECT IF ANY WALLS ALLOCATED FOR DEMOLITION APPEAR TO BE LOAD-BEARING.
9. REVIEW POWER OUTLETS AND LIGHT SWITCHES/FIXTURES TO BE DEMOLISHED WITH OWNER AND ARCHITECT PRIOR TO DEMO. SOME LIGHT FIXTURES TO BE STORED FOR RE-USE (COORDINATE W/ ARCHITECT AND OWNER).
10. DEMOLISH EXISTING GARAGE AND REAR SHED COMPLETELY.
11. REMOVE ALL EXISTING KITCHEN APPLIANCES, SALVAGE FOR DONATION.



**1 DEMOLITION ROOF PLAN**  
1/4" = 1'-0"

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**ISSUED DATE** 09-07-2021  
**PROJECT NUMBER** 21003

**HISTORIC  
REVIEW**



SOUTH GARAGE ELEVATION - WHOLE GARAGE TO BE DEMOLISHED



EAST GARAGE ELEVATION - WHOLE GARAGE TO BE DEMOLISHED

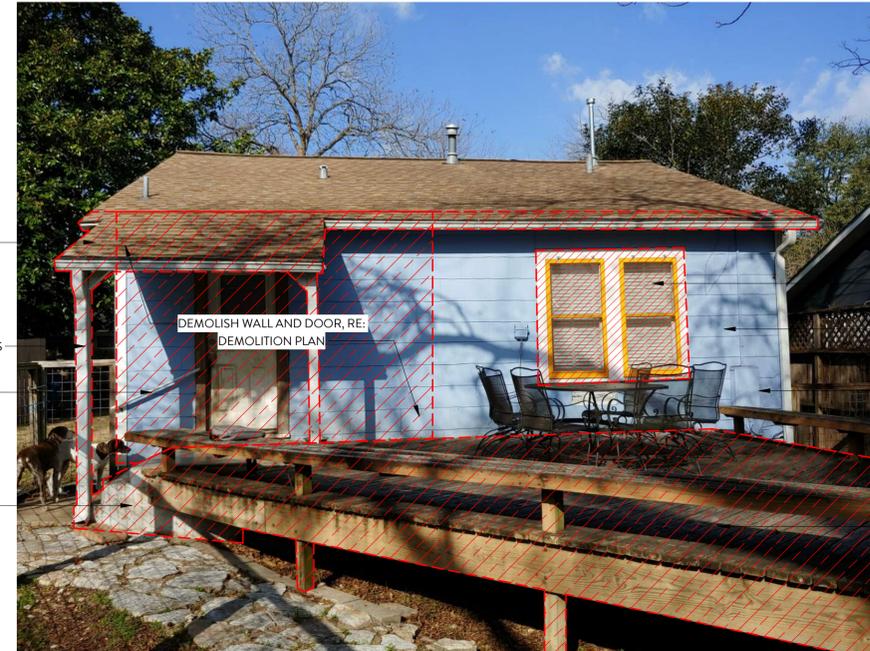


NORTH GARAGE ELEVATION - WHOLE GARAGE TO BE DEMOLISHED



WEST GARAGE ELEVATION - WHOLE GARAGE TO BE DEMOLISHED

EXISTING GARAGE STRUCTURE - TOTAL DEMOLITION SCOPE (PERMITTED SEPARATELY - INCLUDED FOR REFERENCE)



DEMOLISH ROOF OVERHANG AND EAVES  
DEMOLISH WOOD POSTS  
DEMOLISH HANDRAIL  
DEMOLISH CONCRETE STOOP AND STEPS

DEMOLISH WALL AND DOOR, RE-DEMOLITION PLAN

SALVAGE EXISTING WINDOWS FOR REUSE  
SALVAGE EXISTING SIDING (THIS ENTIRE WALL) FOR REUSE  
RELOCATE ELECTRICAL PANEL  
DEMOLISH WOOD DECK

EAST ELEVATION - ENTIRE WOOD DECK TO BE DEMOLISHED



EAST ELEVATION - ENTIRE WOOD DECK TO BE DEMOLISHED



NORTH ELEVATION - NO DEMOLITION SCOPE ON THIS ELEVATION



DEMOLISH EXISTING WINDOW  
SHIFT EXISTING WINDOWS AND INSTALL SALVAGED WINDOW (FROM EAST FACADE)  
DEMO WALL TO ACCOMMODATE RELOCATED SALVAGED WINDOW (FROM EAST FACADE)

SOUTH ELEVATION - SELECTIVE DEMOLITION FOR RECONFIGURED WINDOWS AS NOTED



WEST (STREET) ELEVATION - NO DEMOLITION SCOPE ON THIS ELEVATION

EXISTING MAIN HOUSE STRUCTURE - PARTIAL DEMOLITION SCOPE

**SITE PLAN LEGEND**

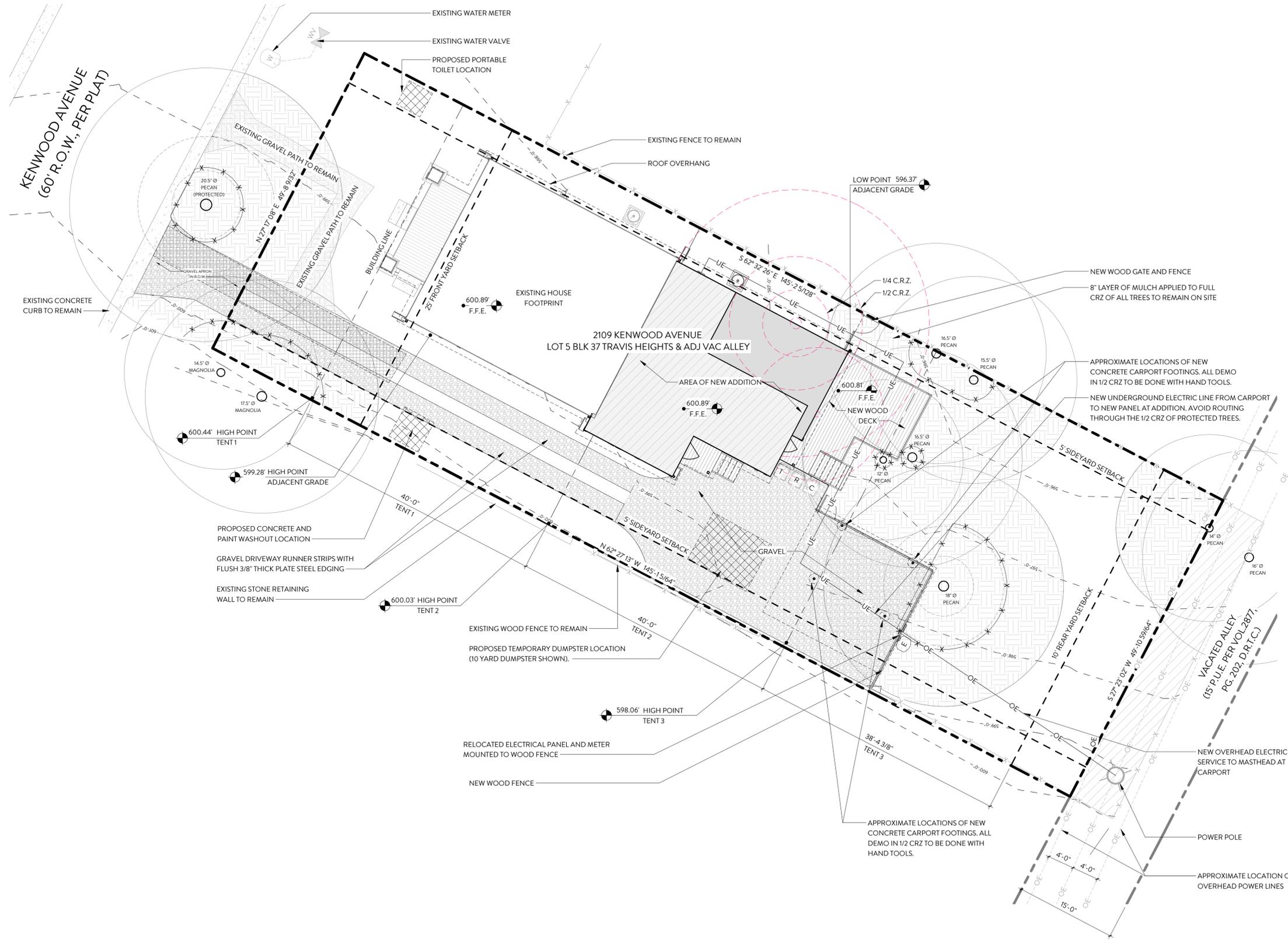
-  PROPOSED ADDITION
-  6' TALL TEMPORARY CHAIN LINK FENCE OR VERTICAL 2x4 BOARDS AROUND TREE TRUNKS
-  8" LAYER OF MULCH
-  WORKER WALKWAY CONSTRUCTED WITH PLYWOOD ON TOP OF PALLETS, PER CoA REQUIREMENTS
-  TREE TRUNK DIAMETER
-  FULL CRITICAL ROOT ZONE
-  1/2 CRITICAL ROOT ZONE
-  1/4 CRITICAL ROOT ZONE
-  -OE-OE- OVERHEAD ELECTRIC LINE
-  -UE-UE- UNDERGROUND ELECTRIC LINE

**GENERAL TREE PROTECTION NOTES**

1. PROVIDE TREE PROTECTION AND FENCING PER CITY OF AUSTIN REQUIREMENTS AND 8" MULCH GROUND COVER DURING CONSTRUCTION AROUND ALL TREES.
2. WRAP 2x4 BOARDS AROUND THE TRUNKS OF ALL TREES (TO REMAIN) DURING CONSTRUCTION.
3. WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
4. ALL PERSONNEL ACCESS PATHS, HEAVY EQUIPMENT AND CONCRETE TO REMAIN ON EXISTING GRAVEL DRIVEWAY OUTSIDE OF CRZ OF TREES. IF/WHEN HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION.
5. ALL TREES (TO REMAIN) ON SITE ARE TO BE TREATED AS IF PROTECTED (INCLUDING THOSE UNDER 19" IN DIAMETER).
6. AFTER CONSTRUCTION IS COMPLETED, REMOVE EXCESS MULCH FROM CRZs TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
7. CONTRACTOR TO DESIGNATE CONCRETE WASHOUT AREA AND PORTABLE TOILET LOCATION THAT ARE NOT WITHIN THE CRZ OF ANY PROTECTED TREES. PROPOSED AREAS MARKED ON PLAN.
8. EXCAVATION IN THE 1/4 AND 1/2 CRZs OF PROTECTED TREES MUST BE DONE WITH HAND TOOLS.
9. IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL HAVE TO BE AIR SPADED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER AND THE PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
10. TOPOGRAPHY SHOWS EXISTING GRADE. NEW GRADING TO SLOPE AWAY FROM BUILDING, TYP.
11. CONTRACTOR TO WALK SITE BEFORE CONSTRUCTION AND DECIDE IF PRUNING OF ANY PROTECTED TREES IS NECESSARY. IF SO, CERTIFIED ARBORIST TO ASSESS THE PRUNING NEEDS AND PROVIDE A WRITTEN ASSESSMENT OF ESTIMATED PERCENTAGE OF CANOPY PROPOSED TO BE REMOVED. ALL LIMBS AND TREE TRIMMING TO BE PERFORMED BY OWNER APPROVED ARBORIST.

**SITE INFORMATION**

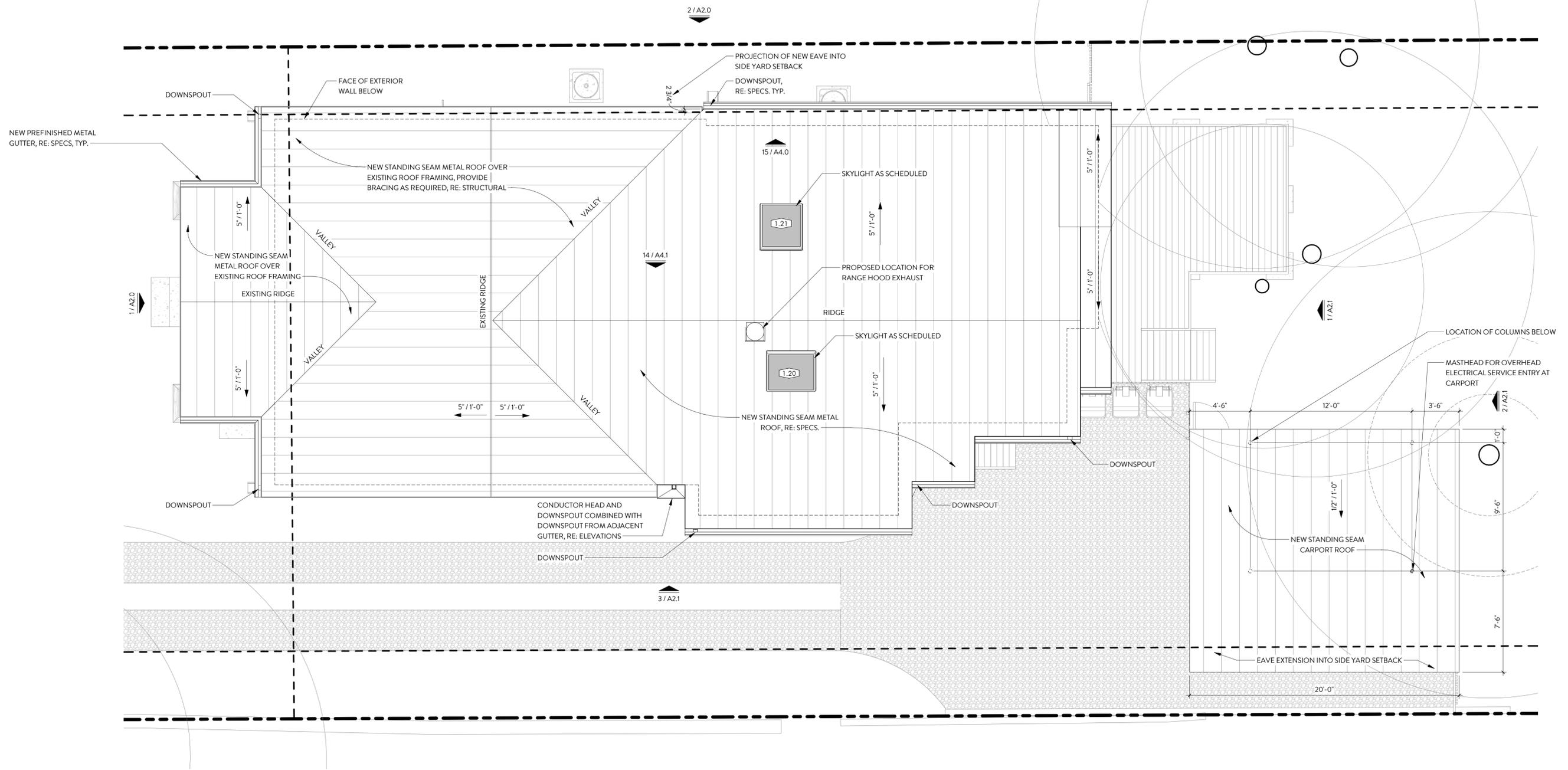
SITE INFORMATION TAKEN FROM SURVEY PERFORMED BY SURVEY WORKS ON 07.21.2021, DEREK KINSAUL, R.P.L.S. NO. 6356.



TRUE NORTH  
PROJECT NORTH  
**1 SITE PLAN**  
1/8" = 1'-0"

**PLAN LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD FLOORING
- WOOD DECKING
- TILE FLOORING
- CONCRETE FLOORING

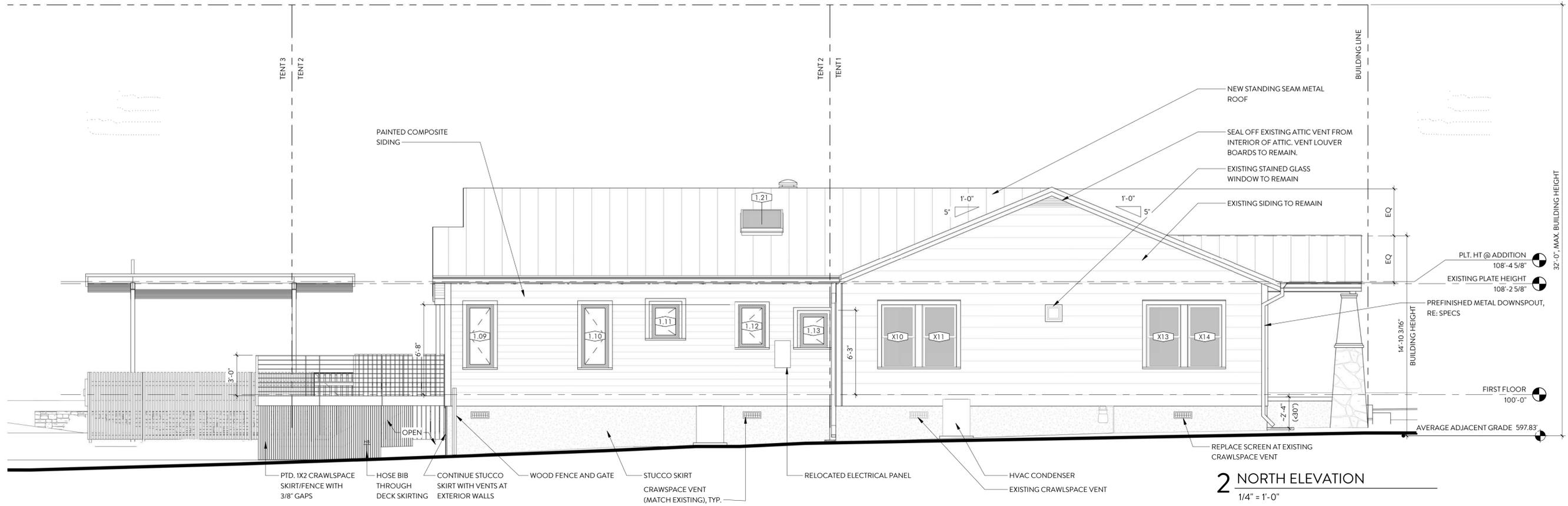


PRELIMINARY  
NOT FOR CONSTRUCTION

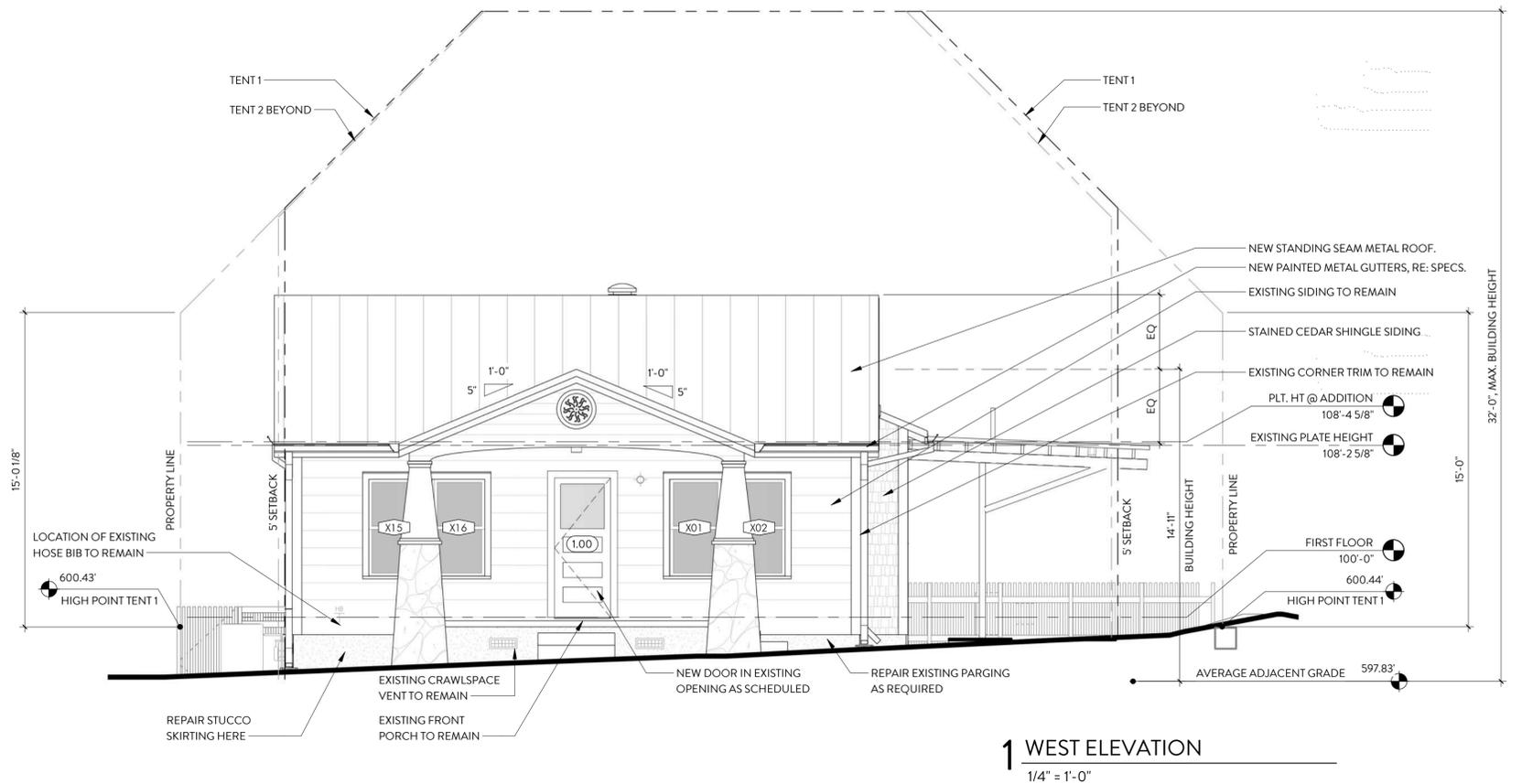
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ISSUED DATE 09-07-2021  
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**HISTORIC REVIEW**



**2 NORTH ELEVATION**  
1/4" = 1'-0"

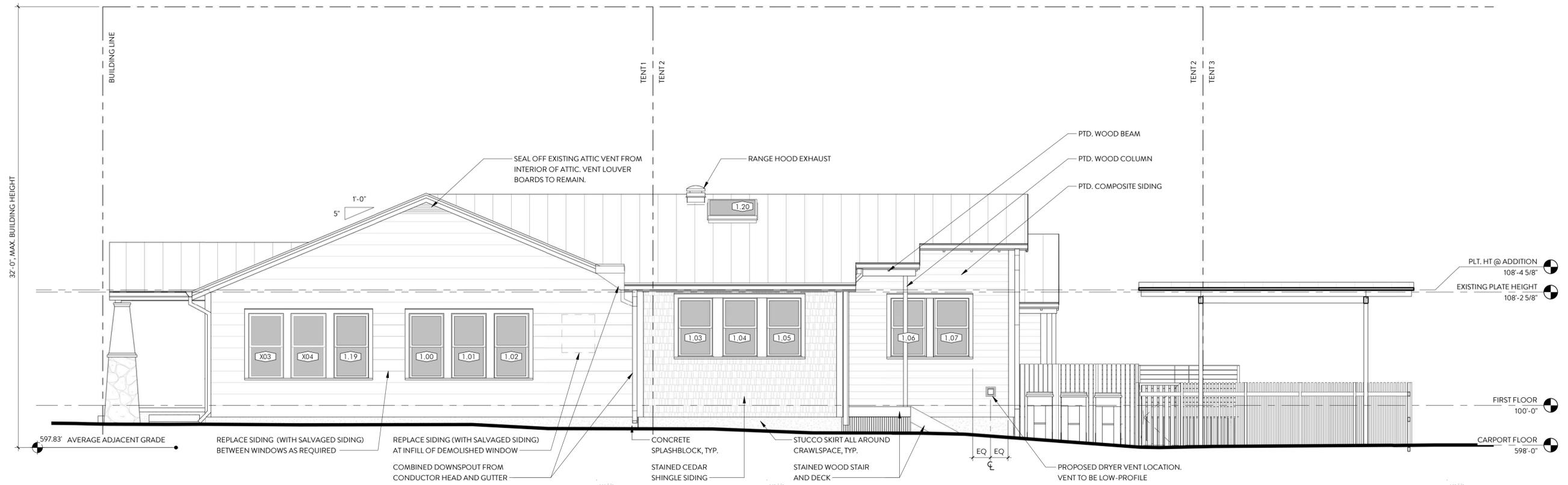


**1 WEST ELEVATION**  
1/4" = 1'-0"

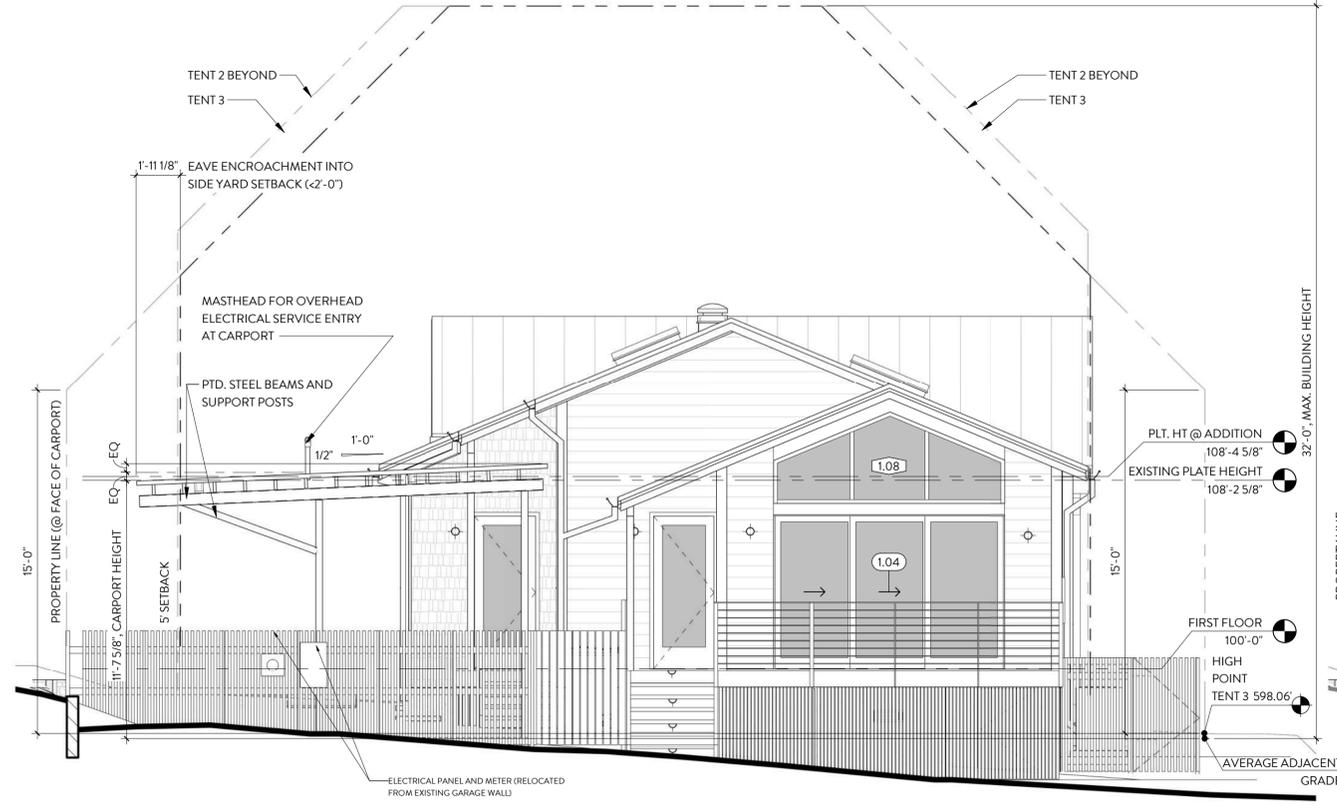
**FOWLER RESIDENCE**

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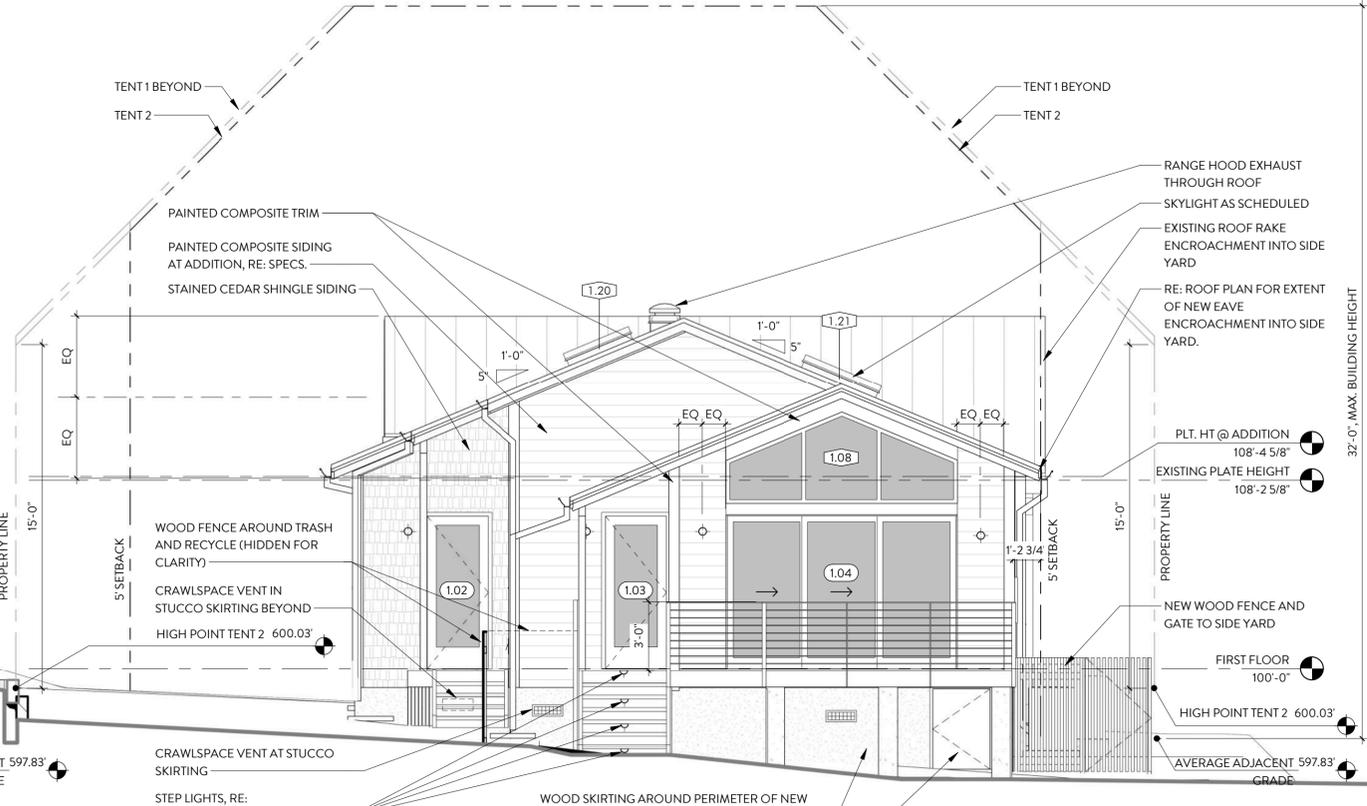
**A2.0**  
EXTERIOR ELEVATIONS



**3 SOUTH ELEVATION**  
1/4" = 1'-0"



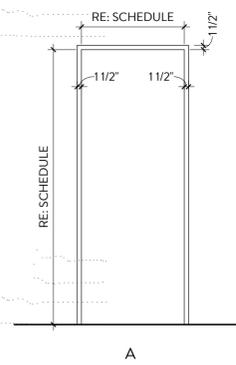
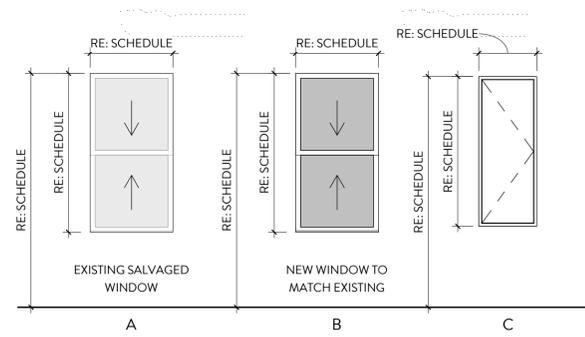
**2 EAST ELEVATION - CARPORT**  
1/4" = 1'-0"



**1 EAST ELEVATION - MAIN HOUSE**  
1/4" = 1'-0"

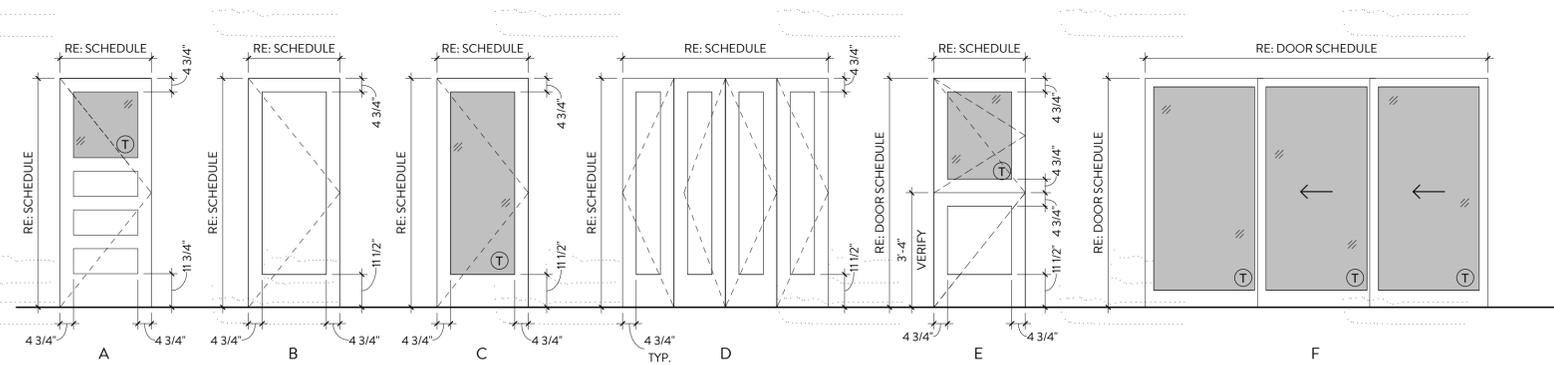
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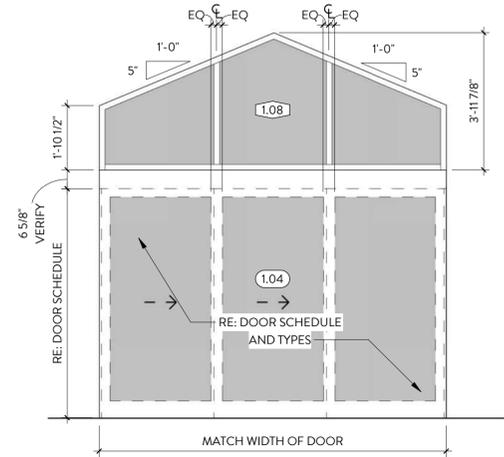
**DOOR FRAME TYPES**

3/8" = 1'-0"



**DOOR TYPES**

3/8" = 1'-0"



**WINDOW TYPES**

3/8" = 1'-0"

**WINDOW SCHEDULE**

NUMBER	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	MATERIAL	COMMENTS
1.00	A	2'-7"	4'-9"	6'-8"	WOOD	RELOCATED WINDOW "X05" RE: DEMO PLAN
1.01	A	2'-7"	4'-9"	6'-8"	WOOD	RELOCATED WINDOW "X06" RE: DEMO PLAN
1.02	A	2'-7"	4'-9"	6'-8"	WOOD	RELOCATED WINDOW "X09" RE: DEMO PLAN
1.03	B	2'-7"	4'-4"	7'-10"	ALUM. CLAD WOOD	
1.04	B	2'-7"	4'-4"	7'-10"	ALUM. CLAD WOOD	
1.05	B	2'-7"	4'-4"	7'-10"	ALUM. CLAD WOOD	
1.06	B	2'-7"	4'-4"	7'-10"	ALUM. CLAD WOOD	
1.07	B	2'-7"	4'-4"	7'-10"	ALUM. CLAD WOOD	
1.08	N/A	RE: WINDOW TYPES			ALUM. CLAD WOOD	ALUM. CLAD WOOD

**WINDOW SCHEDULE (CONTINUED)**

NUMBER	TYPE	WIDTH	HEIGHT	HEAD HEIGHT	MATERIAL	COMMENTS
1.09	C	2'-0"	4'-8"	6'-8"	ALUM. CLAD WOOD	
1.10	C	2'-0"	4'-8"	6'-8"	ALUM. CLAD WOOD	
1.11	C	2'-0"	2'-6"	6'-8"	ALUM. CLAD WOOD	
1.12	C	2'-0"	3'-2"	6'-8"	ALUMINUM	
1.13	C	2'-0"	2'-6"	6'-0"	ALUM. CLAD WOOD	
1.19	A	2'-7"	4'-9"	6'-8"	ALUM. CLAD WOOD	RELOCATED WINDOW "X08" RE: DEMO PLAN
1.20	E	3'-0"	3'-6"		RE: SPECS	CURB-MOUNTED SKYLIGHT
1.21	E	3'-0"	3'-6"		RE: SPECS	CURB-MOUNTED SKYLIGHT

**WINDOW NOTES:**

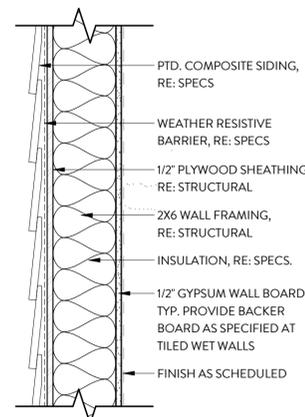
1. VERIFY ALL EXISTING EGRESS WINDOWS ARE FULLY OPERABLE. REPAIR AS REQUIRED.
2. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL SIZES OF EXISTING WINDOWS TO BE RELOCATED ARE TO BE VERIFIED IN THE FIELD.
3. ALL WINDOWS TO MEET CURRENT ENERGY CODES.
4. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQ'D BY CODE - TO BE VERIFIED WITH CONTRACTOR.
5. ALL INTERIOR WINDOW TRIM TO BE PAINTED (COLOR TBD)
6. ALL SHOWER WINDOWS TO HAVE APPLIED PRIVACY FILM.

**DOOR SCHEDULE**

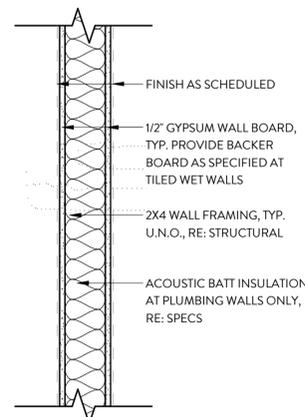
NUMBER	WIDTH	HEIGHT	DOOR		FRAME		HARDWARE GROUP	COMMENTS
			TYPE	MATERIAL	TYPE	MATERIAL		
1.00	2'-8"	6'-8"	A	WOOD/GLASS	A	WOOD	(none)	NEW DOOR IN EXISTING LOCATION
1.02	2'-8"	6'-8"	C	ALUM. CLAD WOOD/GLASS	A	ALUM. CLAD WOOD	(none)	WITH SCREENED DOOR
1.03	2'-8"	6'-8"	C	ALUM. CLAD WOOD/GLASS	A	ALUM. CLAD WOOD	(none)	FROSTED GLAZING; WITH SCREENED DOOR
1.04	10'-0"	6'-8"	F	ALUM. CLAD WOOD/GLASS	A	ALUM. CLAD WOOD	(none)	
1.10	2'-8"	6'-8"	B	WOOD	A	WOOD	(none)	
1.11	2'-0"	6'-8"	B	WOOD	A	WOOD	(none)	INSTALL EXISTING SALVAGED DOOR "X08" (RE: DEMO PLAN)
1.12	2'-8"	6'-8"	B	WOOD	A	WOOD	(none)	INSTALL EXISTING SALVAGED DOOR "X 01" (RE: DEMO PLAN) IN EXISTING FRAME
1.13	6'-0"	6'-8"	D	WOOD	A	WOOD	(none)	
1.14	2'-8"	6'-8"	B	WOOD	A	WOOD	(none)	
1.15	2'-8"	6'-8"	E	WOOD/GLASS	A	WOOD	(none)	FROSTED GLAZING
1.16	2'-8"	6'-8"	B	WOOD	A	WOOD	(none)	
1.17	2'-8"	6'-8"	B	WOOD	A	WOOD	(none)	INSTALL EXISTING SALVAGED DOOR "X 07" (RE: DEMO PLAN) IN EXISTING FRAME
1.18	2'-6"	6'-8"	B	WOOD	A	WOOD	(none)	

**DOOR NOTES:**

1. ALL SIZES TO BE VERIFIED ON SITE BY DOOR FABRICATOR, SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
2. ALL EXTERIOR DOORS TO MEET CURRENT ENERGY CODES.
3. PROVIDE TEMPERED GLAZING AS REQ'D BY CODE - TO BE VERIFIED WITH CONTRACTOR.
4. INTERIOR DOORS TO BE SOLID-CORE WOOD, PAINTED (COLOR TBD)
5. FOR PANEL AND LITE CONFIGURATION, RE: DOOR TYPES.
6. ALL INTERIOR DOOR TRIM TO BE PAINTED (COLOR TBD)
7. SAVE EXISTING DOOR HARDWARE FOR POTENTIAL RE-USE IN NEW CONSTRUCTION



<b>A</b>	FIRE RATING	N/A HR
	UL LISTING	N/A
	STC RATING	N/A



<b>B</b>	FIRE RATING	N/A HR
	UL LISTING	N/A
	STC RATING	N/A

**WALL TYPES**

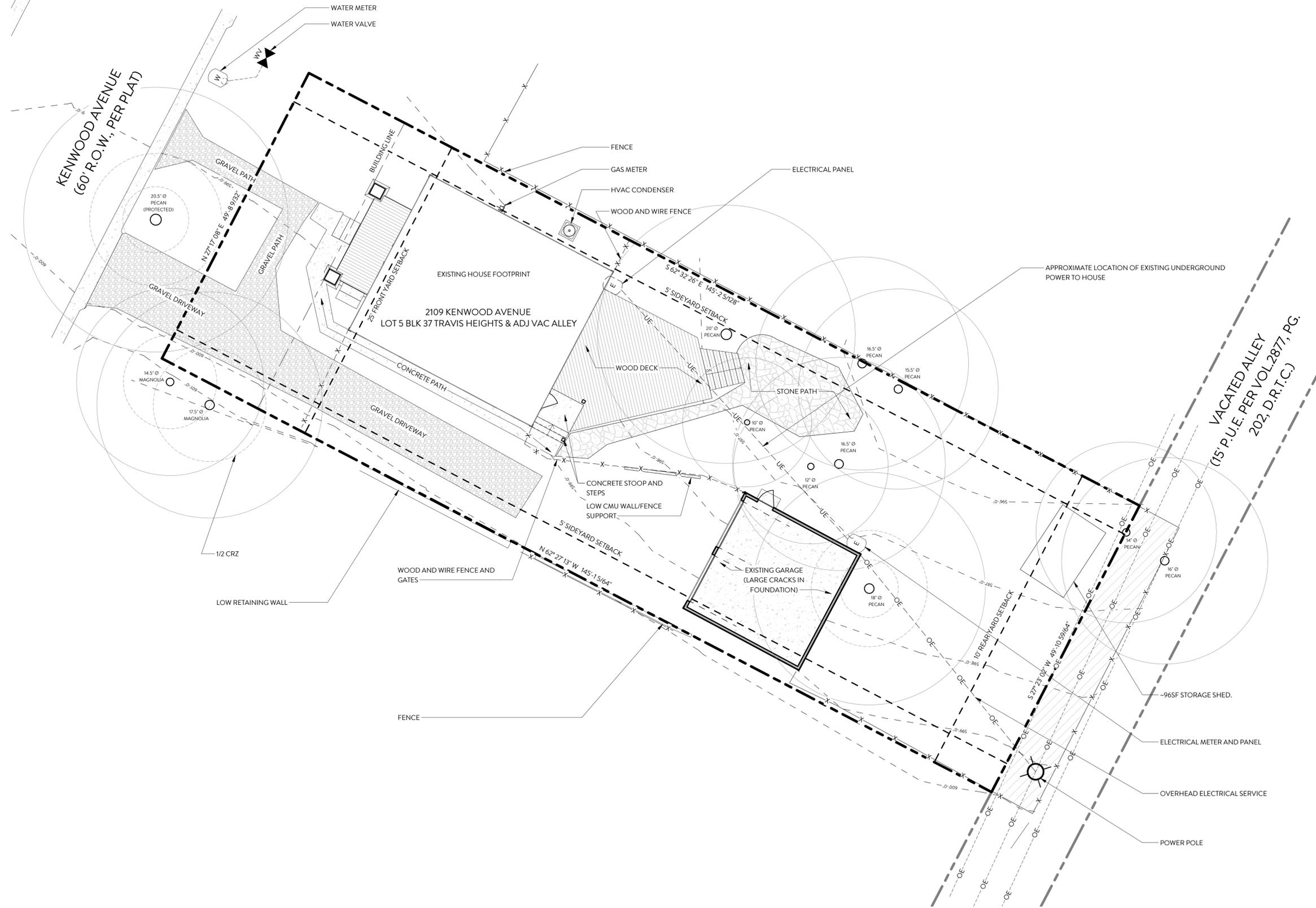
11/2" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

ISSUED DATE 09-07-2021 PROJECT NUMBER 21003

HISTORIC REVIEW

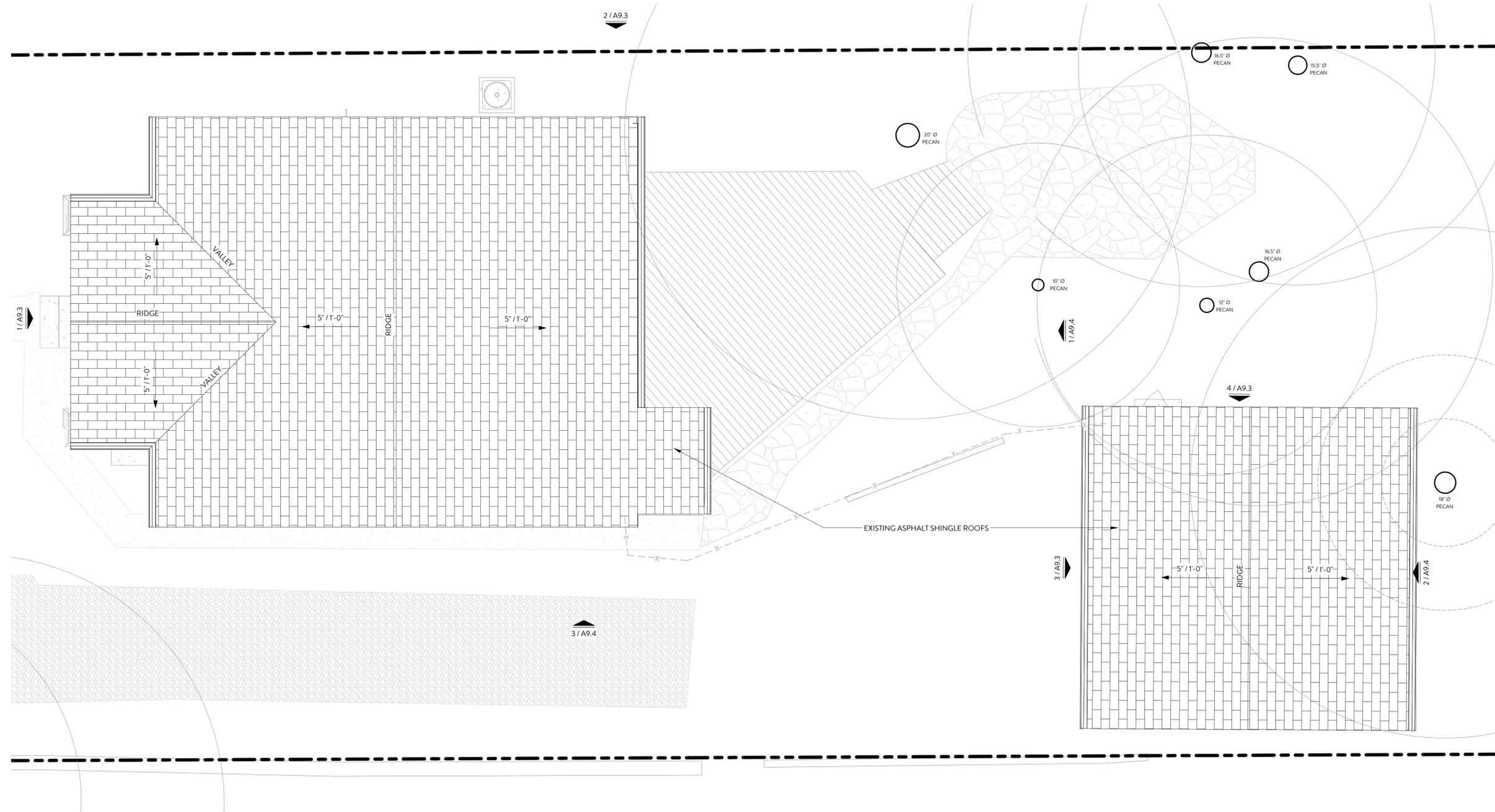


 TRUE NORTH  
 PROJECT NORTH  
**1** EXISTING SITE PLAN  
 1/8" = 1'-0"

**FOWLER RESIDENCE**

2109 KENWOOD AVENUE  
AUSTIN, TEXAS 78704

**A9.0**  
EXISTING SITE  
PLAN



TRUE  
NORTH



PROJECT  
NORTH

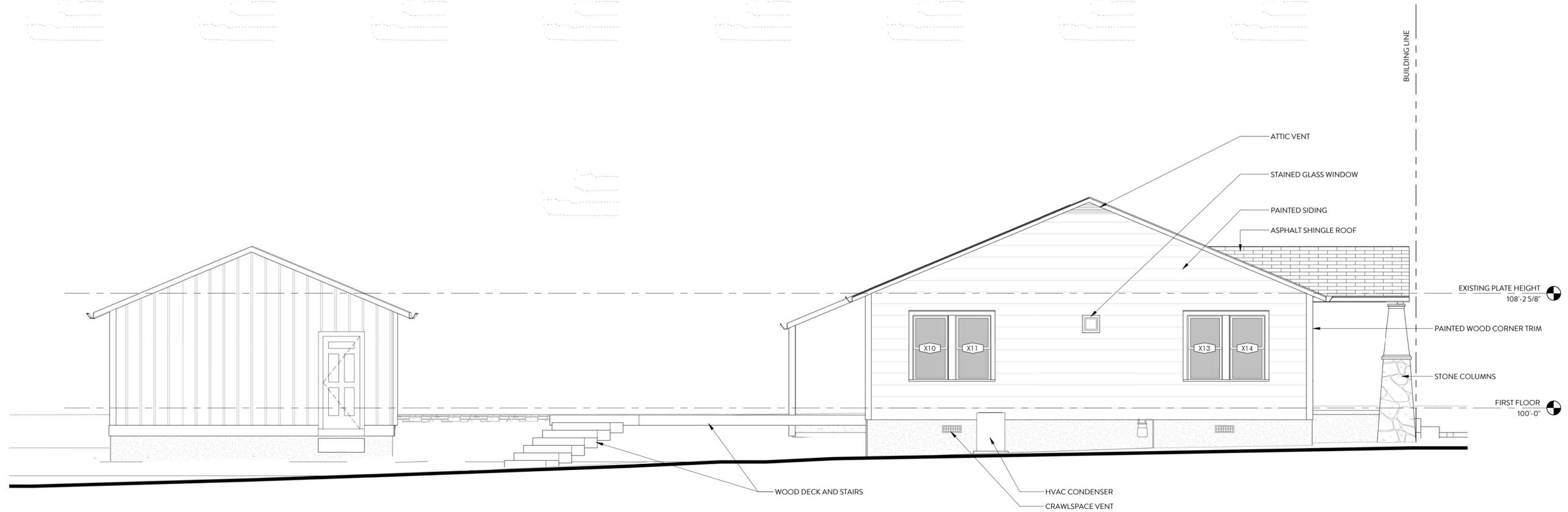
1 EXISTING ROOF PLAN  
1/4" = 1'-0"

**PRELIMINARY  
NOT FOR CONSTRUCTION**

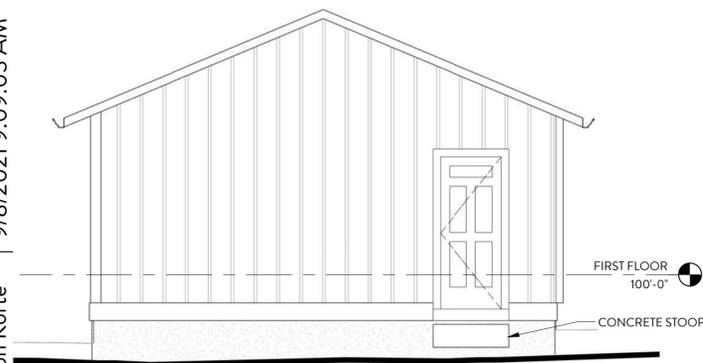
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ISSUED DATE 09-07-2021  
PROJECT NUMBER 21003

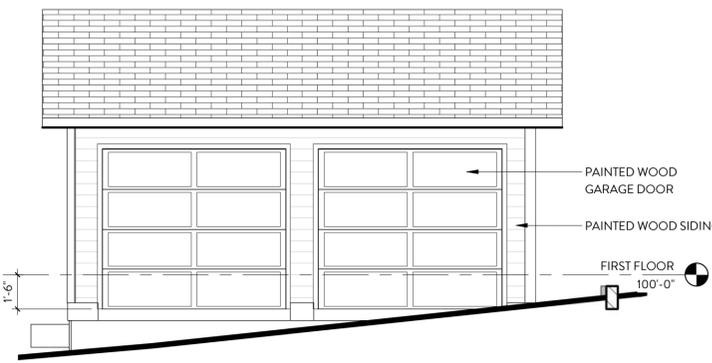
**HISTORIC  
REVIEW**



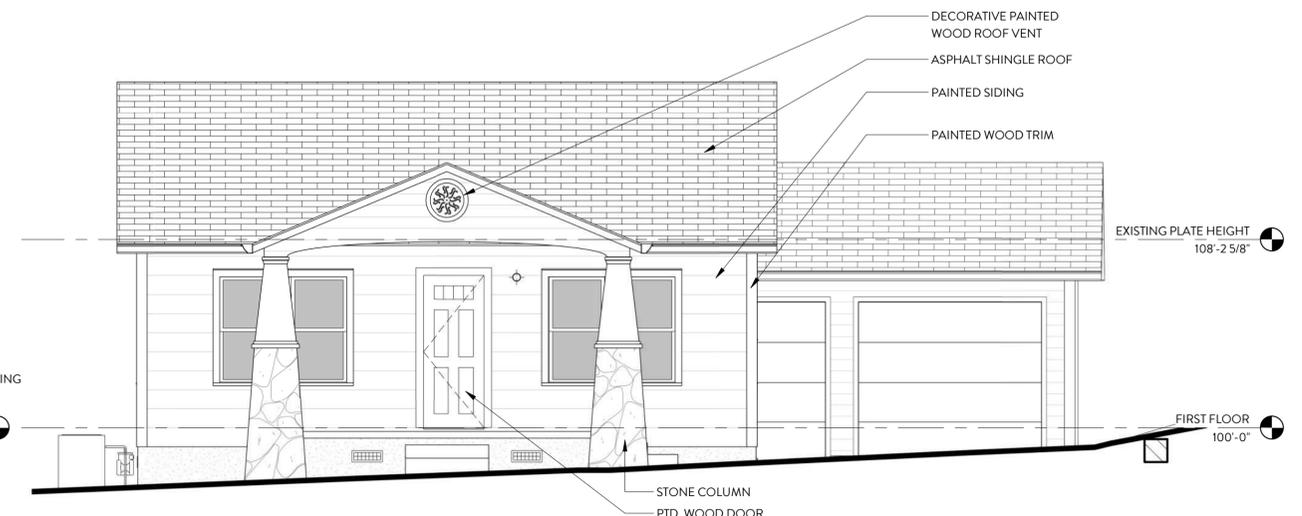
**2 EXISTING NORTH ELEVATION**  
1/4" = 1'-0"



**4 EXISTING GARAGE NORTH**  
1/4" = 1'-0"



**3 EXISTING GARAGE WEST ELEVATION**  
1/4" = 1'-0"



**1 EXISTING WEST ELEVATION**  
1/4" = 1'-0"

**FOWLER RESIDENCE**

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AUSTIN, TEXAS 78704

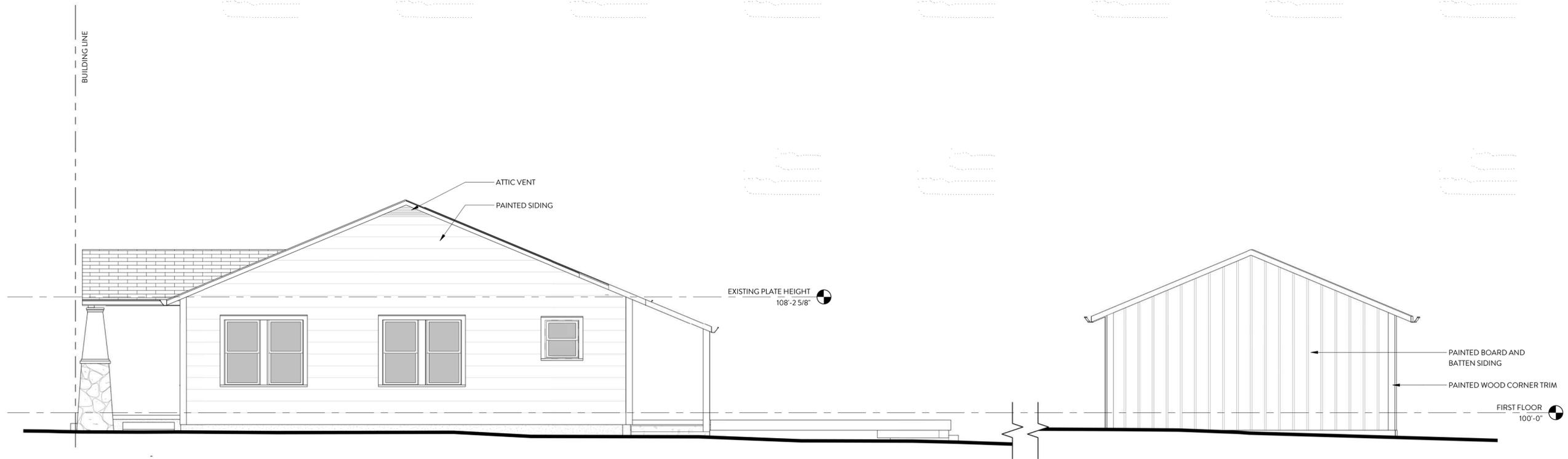
**A9.3**  
EXISTING  
EXTERIOR  
ELEVATIONS

**PRELIMINARY  
NOT FOR CONSTRUCTION**

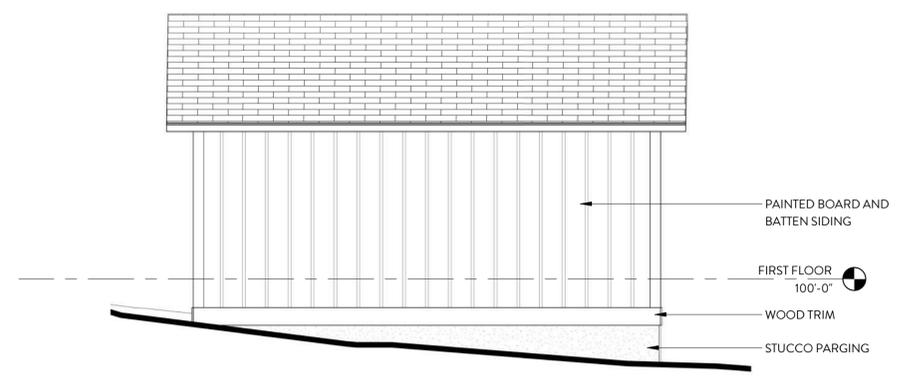
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ISSUED DATE 09-07-2021  
PROJECT NUMBER 21003

**HISTORIC  
REVIEW**



**3 EXISTING SOUTH ELEVATION**  
1/4" = 1'-0"



**2 EXISTING GARAGE EAST**  
1/4" = 1'-0"



**1 EXISTING EAST ELEVATION**  
1/4" = 1'-0"

**FOWLER RESIDENCE**

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**A9.4**  
EXISTING  
EXTERIOR  
ELEVATIONS