

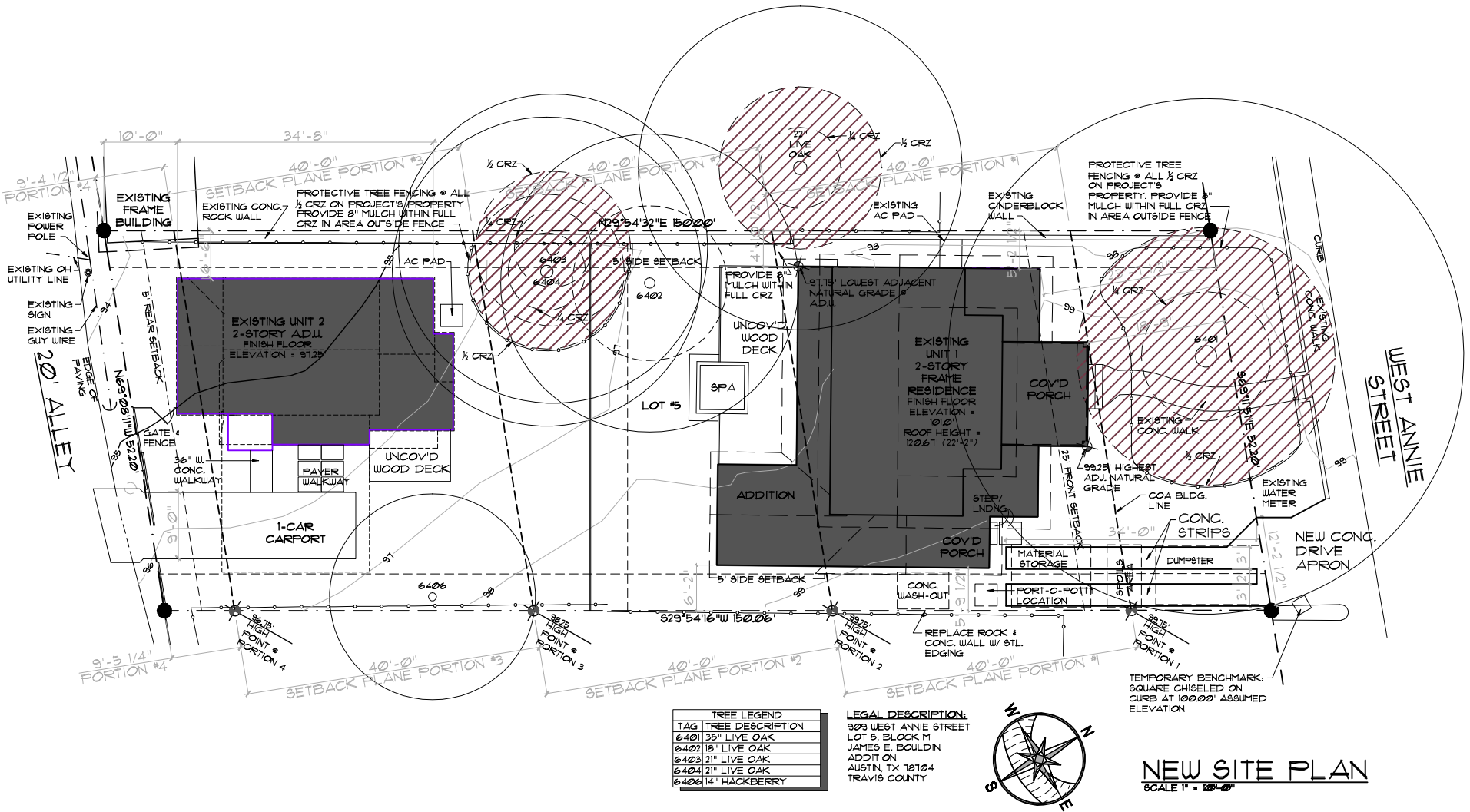
GENERAL SITE NOTES:

1. BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AND ROOF RUN-OFF AWAY FROM ALL SIDES OF BUILDING. REWORK SURROUNDING GRADE AS REQUIRED. NEW DRAINAGE PATTERNS SHALL NOT ADVERSELY AFFECT SURROUNDING PROPERTIES.
2. FINAL BUILDING LOCATION AND ELEVATION OF FINISHED FLOOR TO BE VERIFIED BY BUILDER AND OWNER AND BE IN COMPLIANCE WITH ALL LOCAL ORDINANCES AND REQUIREMENTS.
3. AT STAKE-OUT CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS, LOCATION OF ALL LOT LINES, EASEMENTS, BUILDING SETBACKS AND SIDE AND REAR YARD REQUIREMENTS (WHETHER INDICATED ON DRAWINGS OR NOT) AND SHALL BE RESPONSIBLE FOR COMPLIANCE.
4. SCREEN ALL EXTERIOR HVAC EQUIPMENT IN ACCORDANCE WITH MUNICIPAL CODE, SUBDIVISION, NEIGHBORHOOD ASSOCIATION OR DEED REQUIREMENTS.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY LINES, LOCATIONS, AND METERS, SUCH INFORMATION ON DRAWINGS IS FOR GRAPHICAL REPRESENTATION AND LOCATIONS ARE APPROXIMATE.
6. CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/ NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK INCLUDING CLEARING, GRUBBING, OR EXCAVATION.
7. ALL WALKWAYS, DRIVEWAYS, AND PVC LOCATIONS/ LAYOUT TO BE CONFIRMED PRIOR TO CONSTRUCTION.
8. ALL CONCRETE DRIVE, WALKS, AND PATIOS TO HAVE EXPANSION AND CONTROL JOINTS AS REQUIRED.
9. UNLESS SUBDIVISION OR LOCAL ORDINANCES DICTATE OTHERWISE, CONTRACTOR SHALL LEAVE A MINIMUM OF 8" AND A MAXIMUM OF 24" OF EXPOSED FOUNDATION AND SHALL PROVIDE UNDERPINNING FOR ALL EXPOSED FOUNDATIONS.
10. VERIFY EXTERIOR DRIVEWAY LIGHTING AND MAILBOX LOCATION WITH OWNER OF PROPERTY.
11. CONTRACTOR TO STORE ALL MATERIALS AND WASTE ON SITE DURING CONSTRUCTION.
12. ANY REQUIRED LANDSCAPE PLANS OR PERMITS TO BE ACQUIRED SEPARATELY FROM THESE PLANS.
13. ALL TREES TO BE PROTECTED DURING CONSTRUCTION. VERIFY REMOVAL OR ALTERATION OF ANY TREES WITH OWNER. TREE PROTECTION AND REMOVAL TO BE CONDUCTED PER LOCAL ORDINANCES AND BEST PRACTICES.
14. CONTRACTOR TO MAINTAIN A CLEAN AND ORDERLY JOB SITE DURING CONSTRUCTION BY CLEANING AREAS AFFECTED BY DAILY WORK. AT COMPLETION OF CONSTRUCTION ALL DEBRIS AND MATERIALS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED.
15. BASED ON PROVIDED SURVEY THERE ARE NO STORM WATER INLETS ALONG LOT FRONTAGE OR ON ADJACENT PROPERTIES WITHIN 10' OF SIDE PROPERTY LINES.

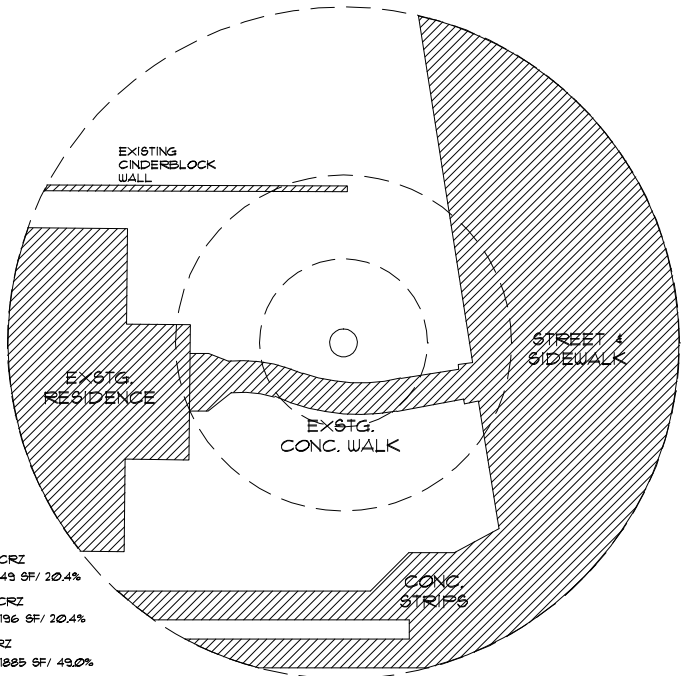
SITE DEVELOPMENT INFORMATION						EXISTING SQ. FT. TO REMAIN		NEW/ ADDED SQ. FT.		TOTAL SQ. FT.			
AREA DESCRIPTION						BLDG 1	BLDG 2	BLDG 1	BLDG 2	BLDG 1	BLDG 2		
A.) 1st FLOOR CONDITIONED AREA						361	144	435		1402	144		
B.) 2nd FLOOR CONDITIONED AREA							356	566		566	356		
C.) 3rd FLOOR CONDITIONED AREA													
D.) BASEMENT													
E.) COVD PARKING (GARAGE OR CARPORT)							289				289		
F.) COVD PATIO, DECK, PORCH AND/ OR BALCONY AREA(S)						93		28		121			
G.) OTHER COVD OR ROOFED AREA						11				11			
H.) UNCOVD WOOD DECKS							11	259		259	11		
I.) TOTAL BUILDING AREA (TOTAL A THROUGH H)						1011	1466	1288		2365	1466		
J.) POOL													
K.) SPA								64		64			
L.) REMODELED FLOOR AREA, EXCLUDING ADDITION/ NEW CONSTRUCTION						361	-	-	-	-	-		
TOTAL BUILDING COVERAGE (SQ. FT.): 2513#						% OF LOT SIZE: 33.3%							
M.) DRIVEWAY						223	81			223	81		
N.) SIDEWALKS						16		12		88			
O.) UNCOVD PATIO													
P.) UNCOVD WOOD DECKS (COUNTED AT 50%)							39	130		130	39		
Q.) AC PADs AND OTHER CONCRETE FLATWORK						12	9			12	9		
R.) OTHER (POOL COPING, OVERHANGS BEYOND 24")						132				132			
TOTAL IMPERVIOUS COVERAGE (SQ. FT.): 3293#						% OF LOT SIZE: 42.6%						REMAINING I.C. = 181#	
TOTAL LOT AREA (SQ. FT.): 1734#						MAXIMUM I.C. @ 45%: 3480#							

SUBCHAPTER F - GROSS FLOOR AREA					
	EXISTING TO REMAIN	NEW/ ADDED	PROPOSED EXEMPTION	APPLIED EXEMPT	TOTAL SQ. FT.
1st FLOOR	1711	435			2146
2nd FLOOR	356	566			922
3rd FLOOR					
AREA W/ CEILINGS TALLER THAN 15'					
GROUND FLOOR PORCH (CHECK ARTICLE IF UTILIZED)					
BASEMENT					
ATTIC					
GARAGE: CHECK ARTICLE UTILIZED	ATTACHED		☐ 200 SQ. FT.		
	DETACHED		☐ 450 SQ. FT.		
			☐ 200 SQ. FT.		
CARPORT: CHECK ARTICLE UTILIZED	ATTACHED	289	☐ 450 SQ. FT.	289	0
	DETACHED		☐ 200 SQ. FT.		
DETACHED ACCESSORY BUILDING(S)					
TOTALS					
TOTAL GROSS FLOOR AREA (ADD TOTAL SQ. FT. COLUMNS): 3,085					
(TOTAL GROSS FLOOR AREA / LOT AREA) X 100 = 39.9% FLOOR-TO-AREA RATIO (FAR) REMAINING FAR = 8#					

CITY OF AUSTIN - ARBORIST NOTES:
IF A CONCRETE TRUCK AND/ OR LINE PUMP WILL BE USED TO POUR THE NEW FOUNDATIONS:
CONCRETE LINE PUMP.
WRAP CONCRETE LINE PUMP CONNECTIONS W/ PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND & NEAR ROOTS OF TREES
CONCRETE TRUCK:
IF HEAVY EQUIPMENT OF ANY KIND WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES,
PROVIDE ¾" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS & PREVENT SOIL/ ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.



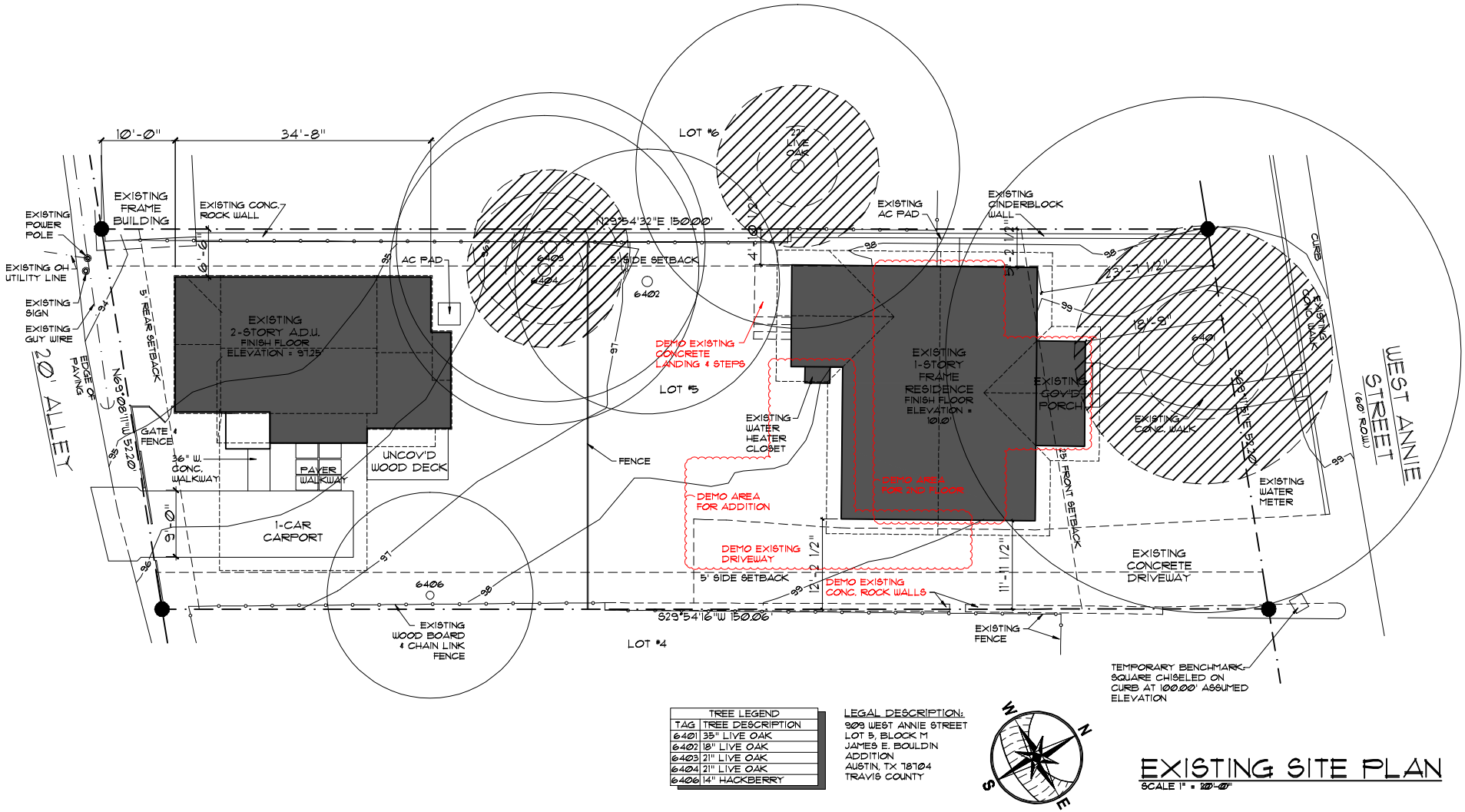
PERMIT APPLICATION INFORMATION		
SETBACKS	Y	N
ARE ANY EXISTING STRUCTURES ON THIS SITE A NON-COMPLIANT STRUCTURE BASED ON YARD SETBACK REQUIREMENT (LDC 25-2-492)	☒	☐
DOES ANY STRUCTURE (OR AN ELEMENT OF A STRUCTURE) EXTEND OVER OR BEYOND A REQUIRED YARD? (LDC 25-2-513)	☒	☐
IS FRONT YARD SETBACK AVERAGING BEING UTILIZED ON THIS PROPERTY? (LDC 25-2 SUBCHAPTER F, SEC. 2.3 OR 25-2-118)	☐	☒
HEIGHT INFORMATION (LDC 25-1-21 OR 25-2 SUBCHAPTER F, SEC. 3.4)		
BUILDING HEIGHT: 22 FT. 2 IN. NUMBER OF FLOORS: 2		
PARKING (LDC 25-6 APPENDIX A & 25-6-478)		
* OF SPACES REQUIRED: 3 * OF SPACES PROVIDED: 3		
RIGHT-OF-WAY INFORMATION	Y	N
IS A SIDEWALK REQUIRED FOR THE PROPOSED CONSTRUCTION? (LDC 25-6-353)	☐	☒
WILL THE OWNER PAY THE FEE-IN-LIEU OF SIDEWALK CONSTRUCTION? (NOT ON PERMIT APPLICATION - FILE "FEE-IN-LIEU" APPLICATION IF YES)	☐	☒
WILL A TYPE I DRIVEWAY APPROACH BE INSTALLED, RELOCATED, REMOVED OR REPAIRED AS PART OF THE PROJECT?	☒	☐
WIDTH OF APPROACH (MEASURED AT PROPERTY LINE): 12.0'		
DISTANCE FROM INTERSECTION (FOR CORNER LOTS ONLY):		
ARE STORM SEWER INLETS LOCATED ALONG THE PROPERTY OR WITHIN TEN (10) FEET OF THE BOUNDARIES OF THE PROPERTY?	☐	☒
SUB-CHAPTER F INFORMATION	Y	N
IS A SIDEWALL ARTICULATION REQUIRED FOR THIS PROJECT?	☐	☒
DOES ANY PORTION OF THE STRUCTURE EXTEND BEYOND A SETBACK PLANE, EXEMPTION EXHIBIT (AKA "TENT")?	☒	☐



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TREE PROTECTION NOTES:

- 1.0 ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED.
- 2.0 ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
- 4.0 PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- 5.0 EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
- 6.0 PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIPLINE), OR, FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIAL;
 - B. ROOT ZONE DISTURBANCE DUE TO GRADE CHANGE;
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;
 - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- 7.0 EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROX. 2 TO 4 FEET BEHIND THE AREA IN QUESTION;
 - B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIPLINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE;
 - C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT A FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN FENCE AND BUILDING.
- 8.0 WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- 9.0 ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- 10.0 NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
- 11.0 NO PRUNING OF THE PROTECTED TREES IS EXPECTED TO BE NECESSARY.
- 12.0 IF A CONCRETE LINE PUMP IS TO BE USED ON SITE, WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
- 13.0 IF A CONCRETE TRUCK OR HEAVY EQUIPMENT IS TO BE USED ON SITE OR WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
- 14.0 IF TRENCHING WITHIN 1 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL HAVE TO BE AIR SPADED BY A QUALIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 15"+ IN DIAMETER AND THE PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR



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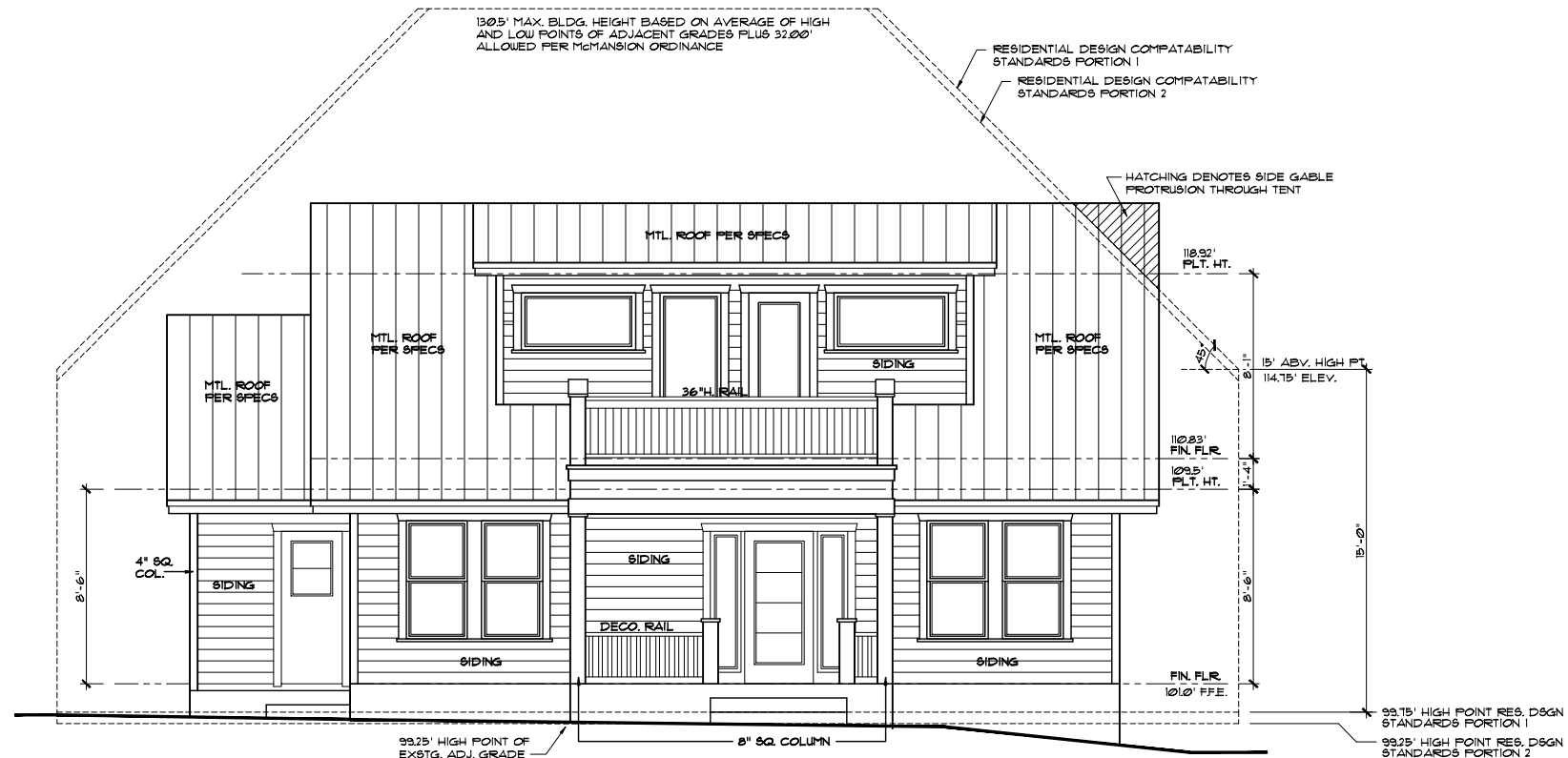
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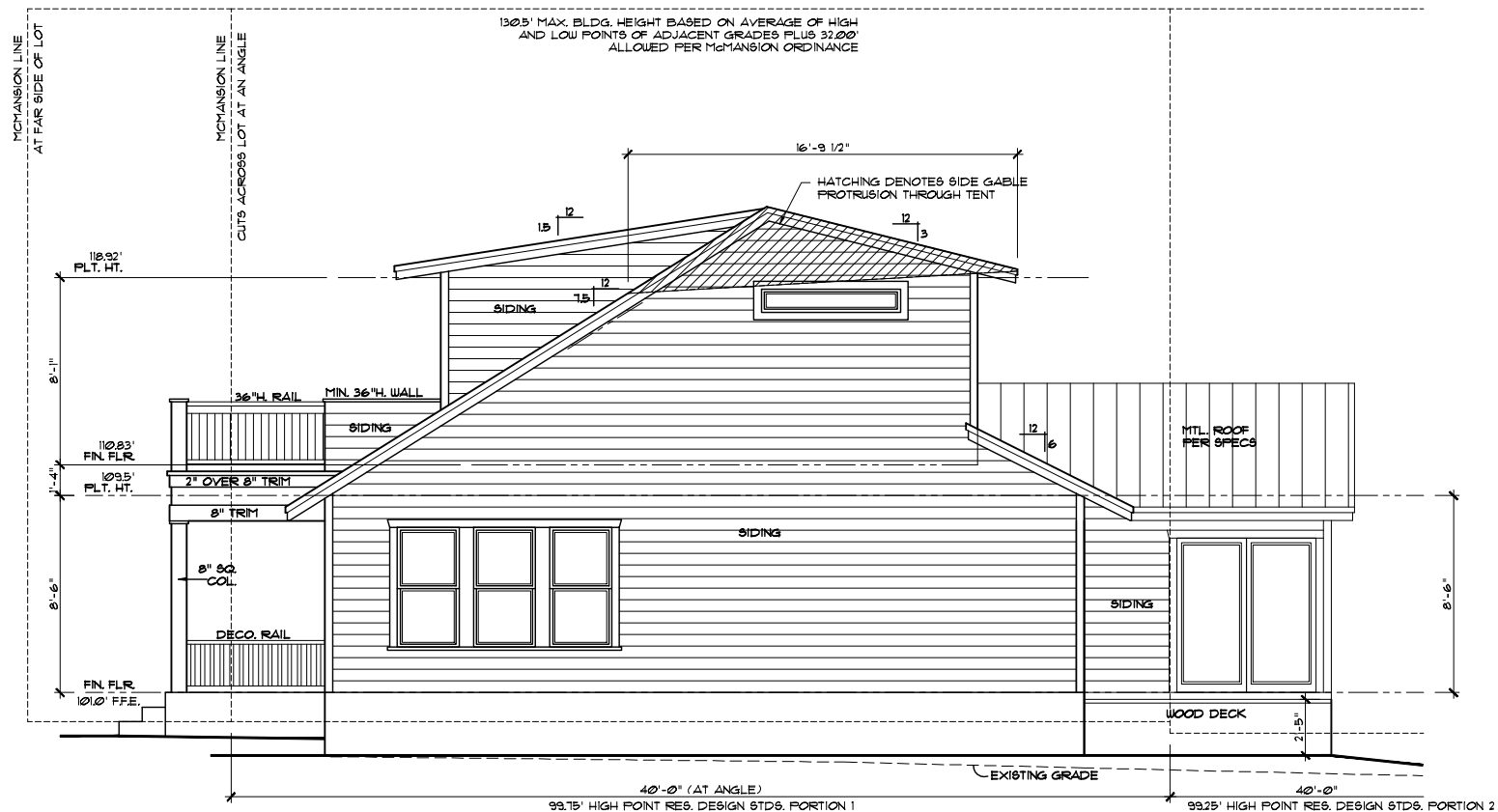
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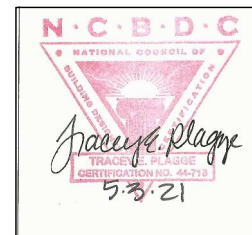
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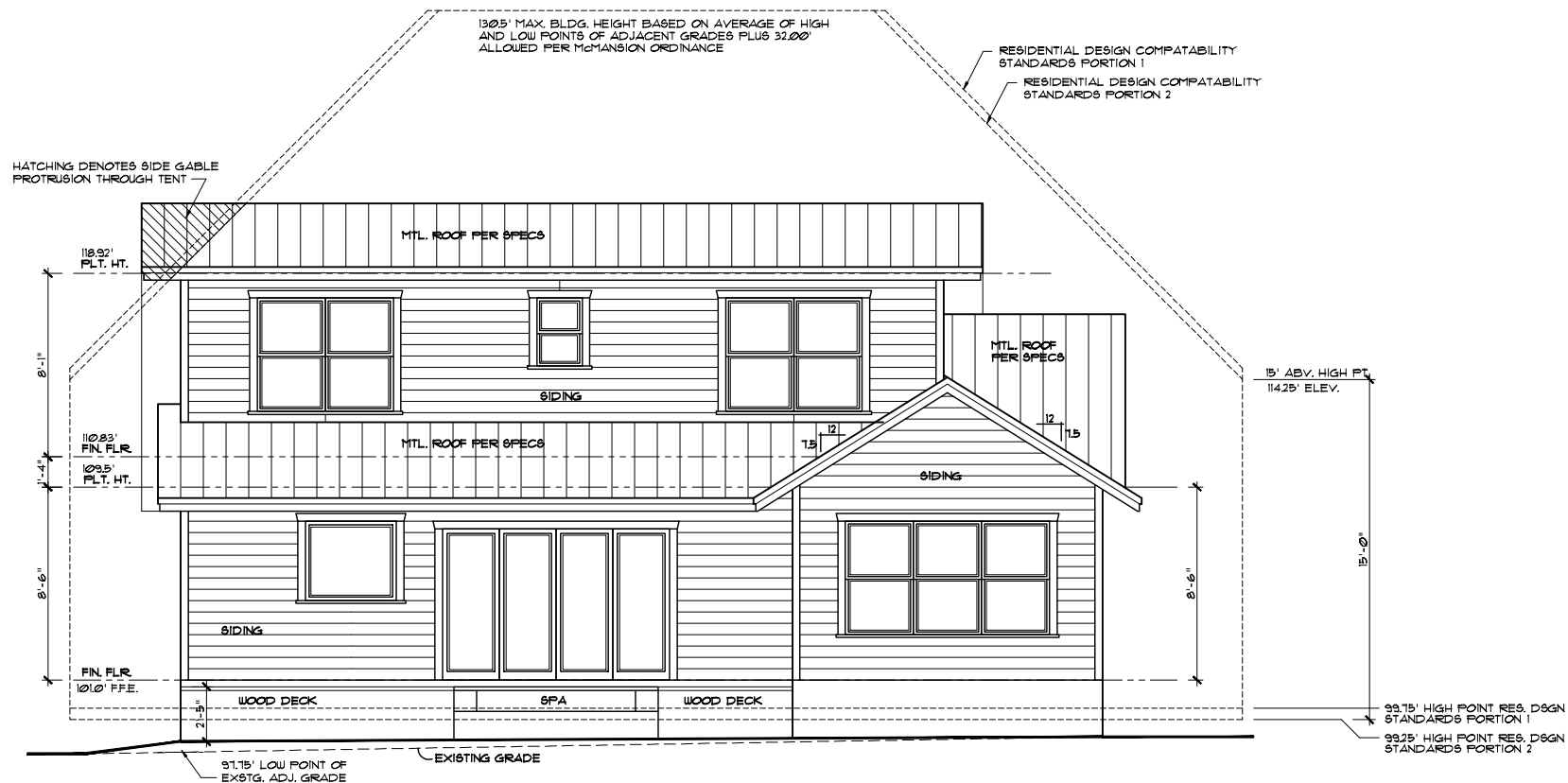
NEW
FRONT ELEVATION
SCALE 1/8" = 1'-0"



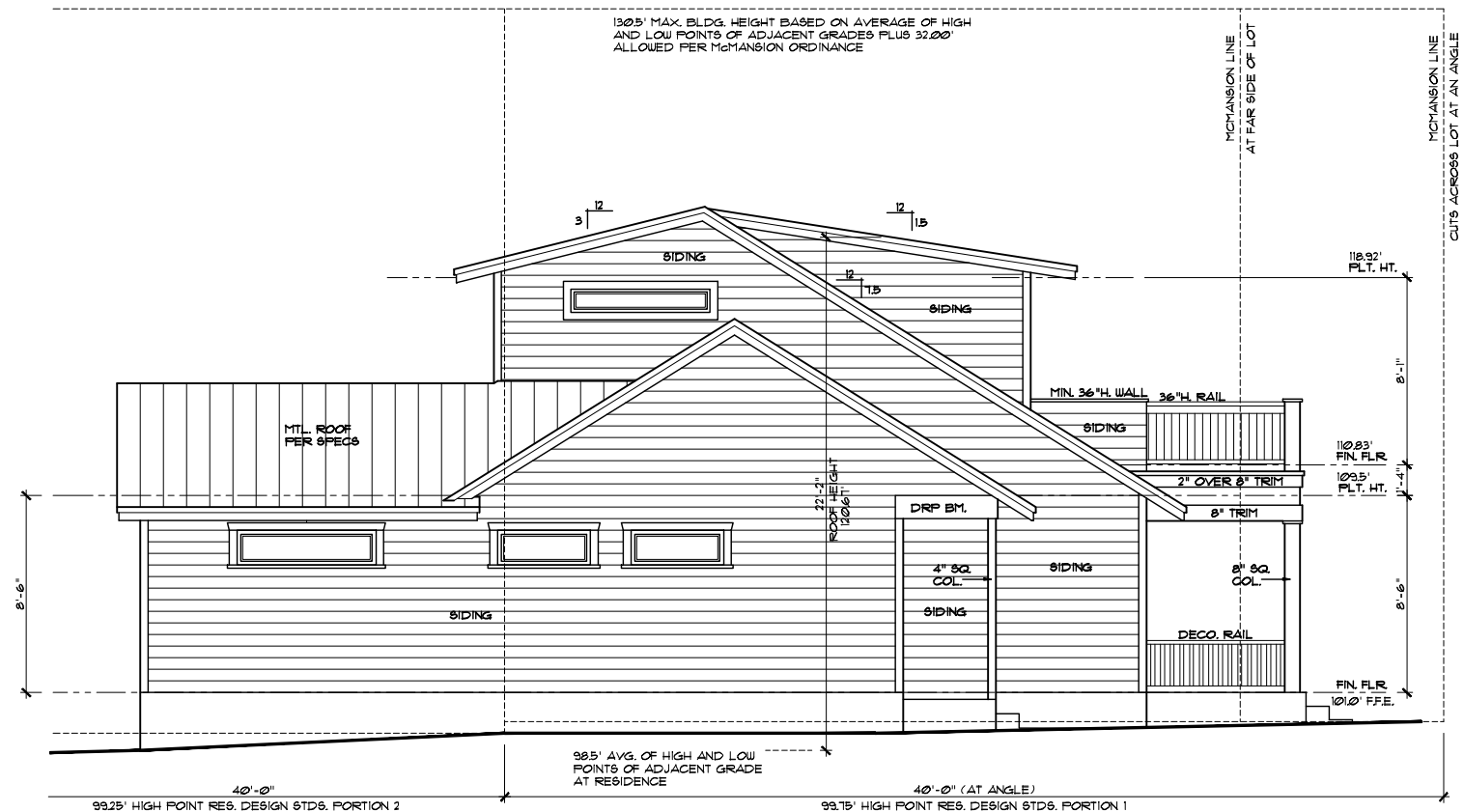
NEW
RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



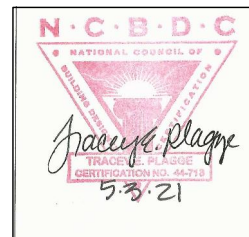
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NEW
REAR ELEVATION
SCALE 1/8" = 1'-0"



NEW
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



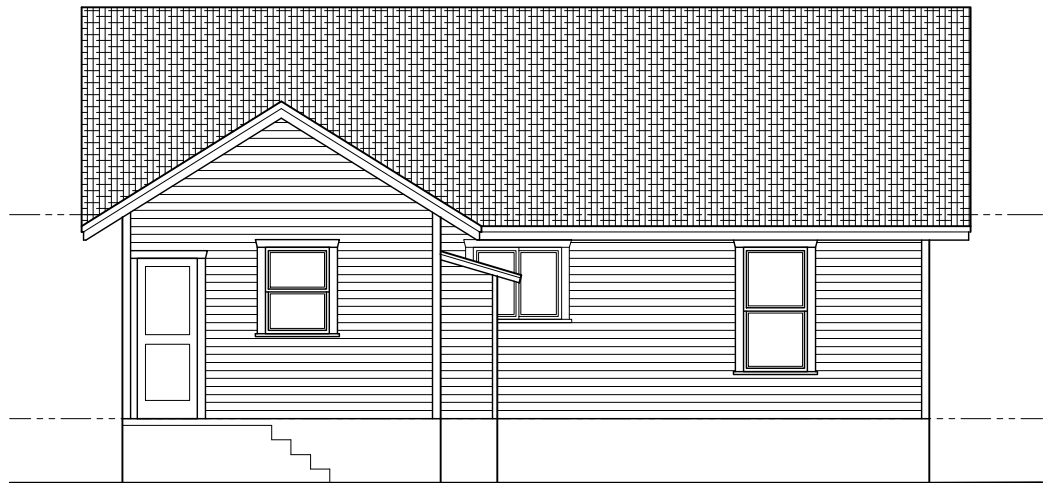
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EXISTING
FRONT ELEVATION
SCALE 1/8" = 1'-0"



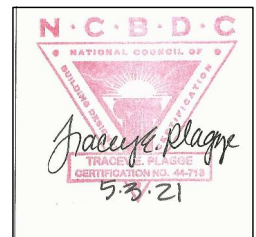
EXISTING
RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



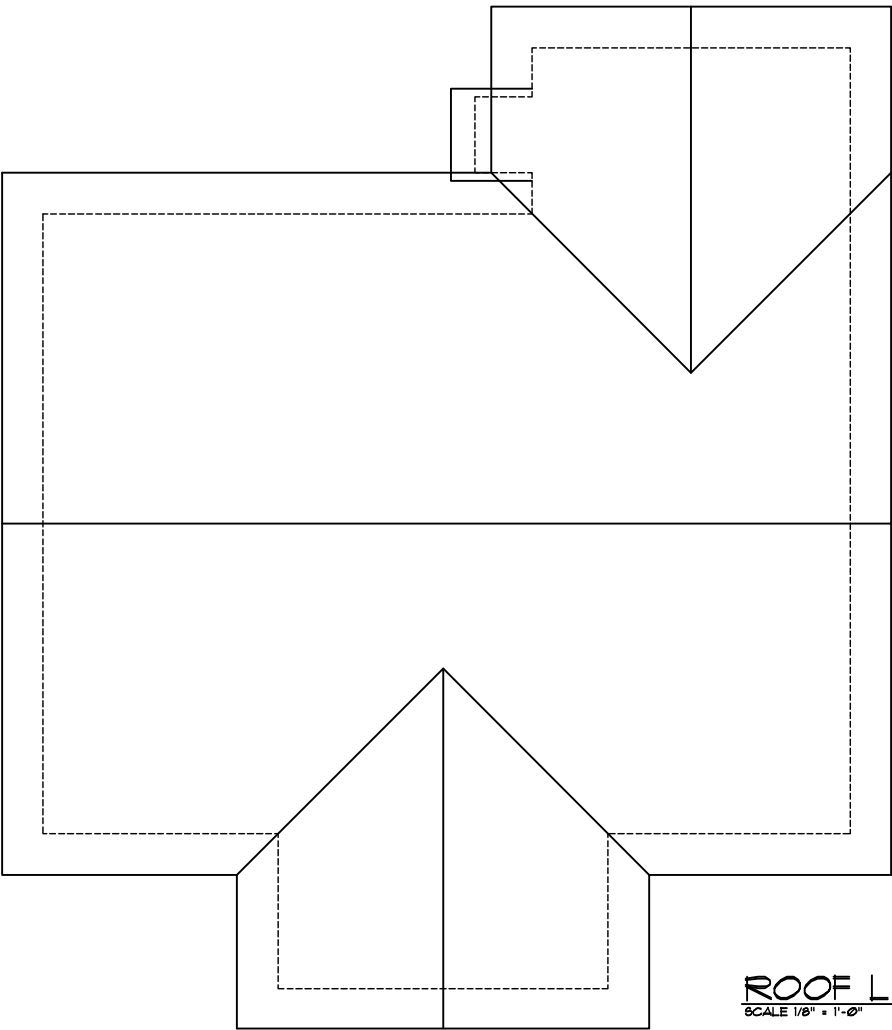
EXISTING
REAR ELEVATION
SCALE 1/8" = 1'-0"



EXISTING
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



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ROOF LAYOUT
SCALE 1/8" = 1'-0"



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