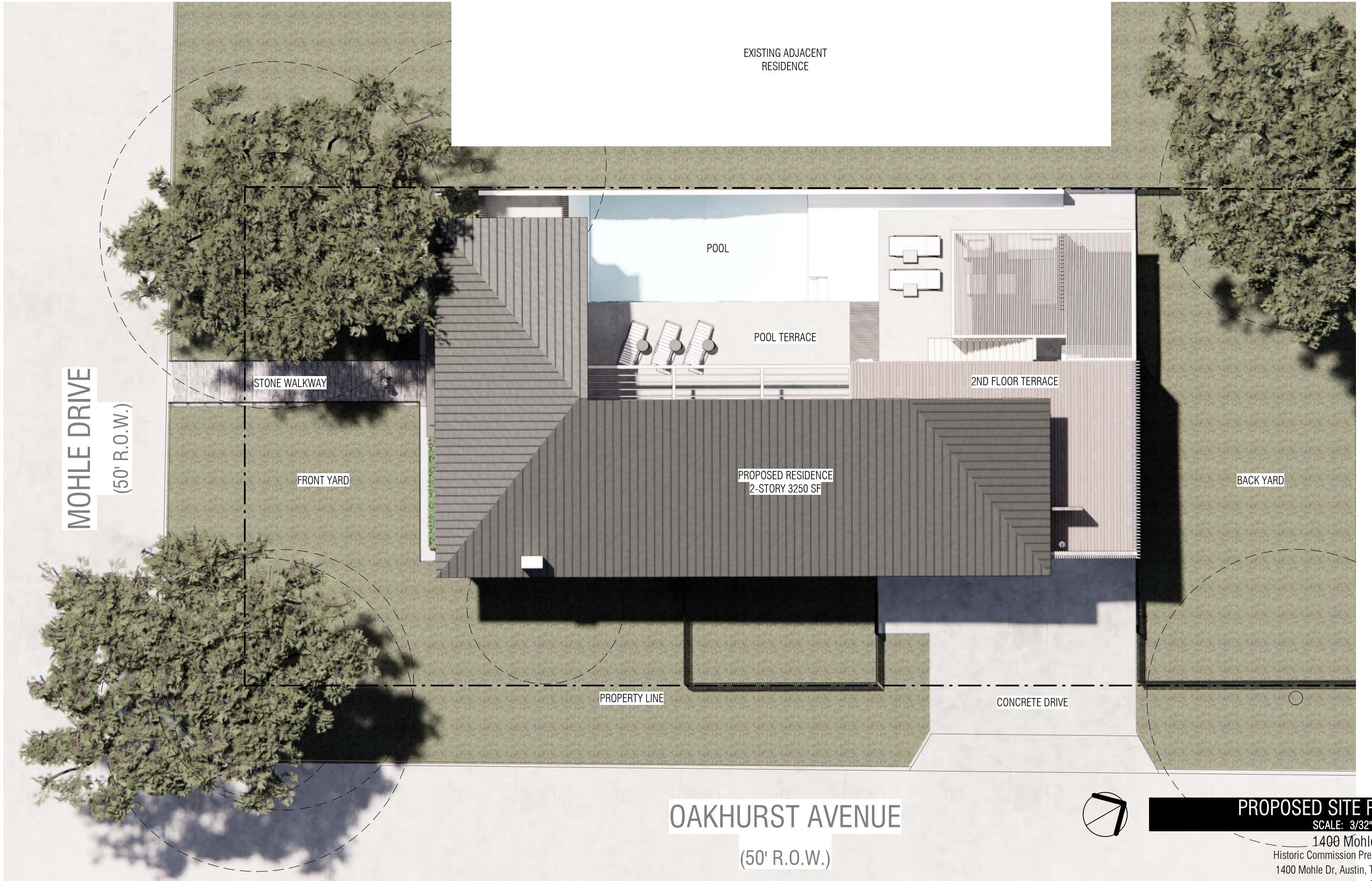


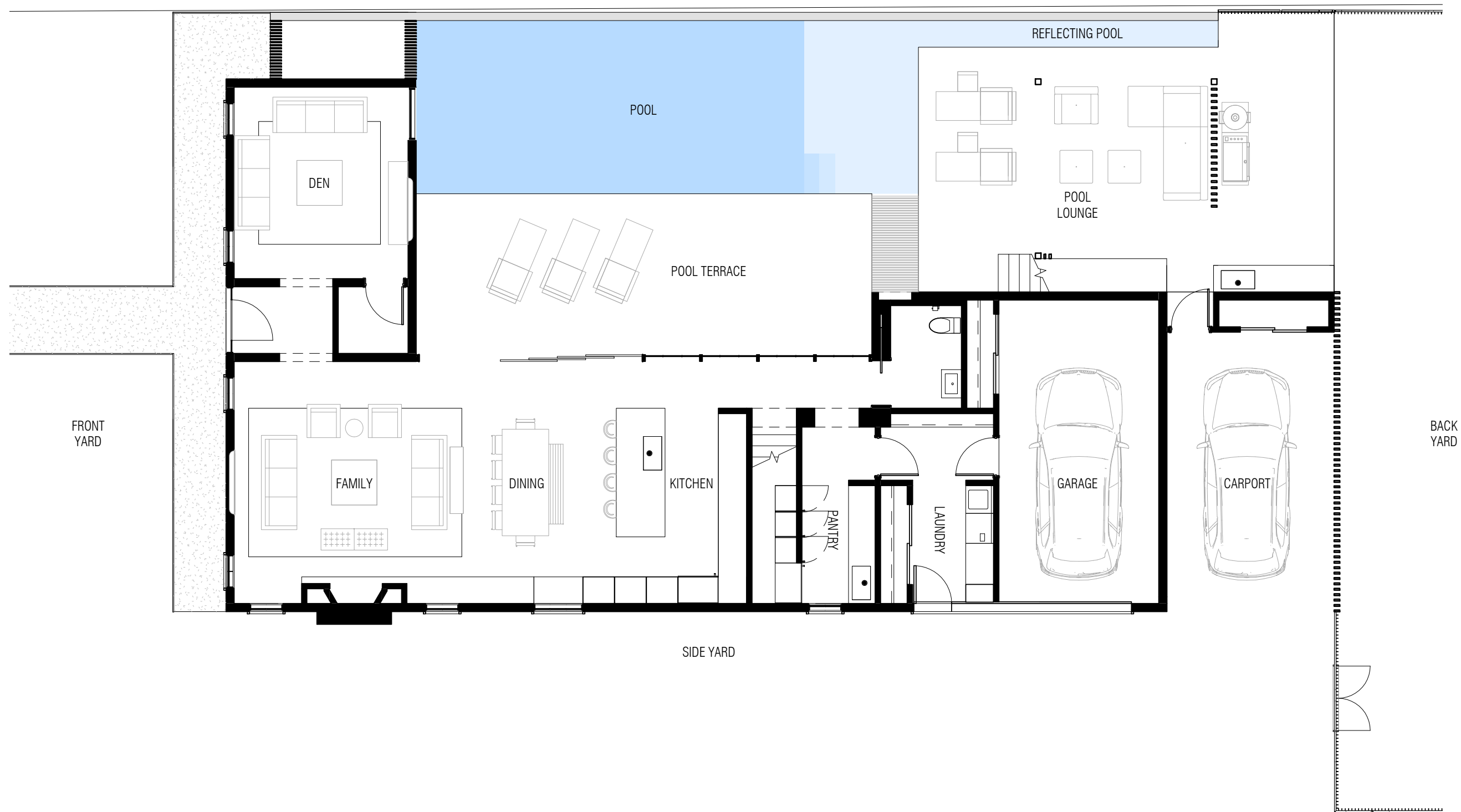
1400 MOHLE DRIVE
DESIGN PROPOSAL PRESENTATION
HISTORIC LANDMARK COMMISSION
25 OCTOBER 2021



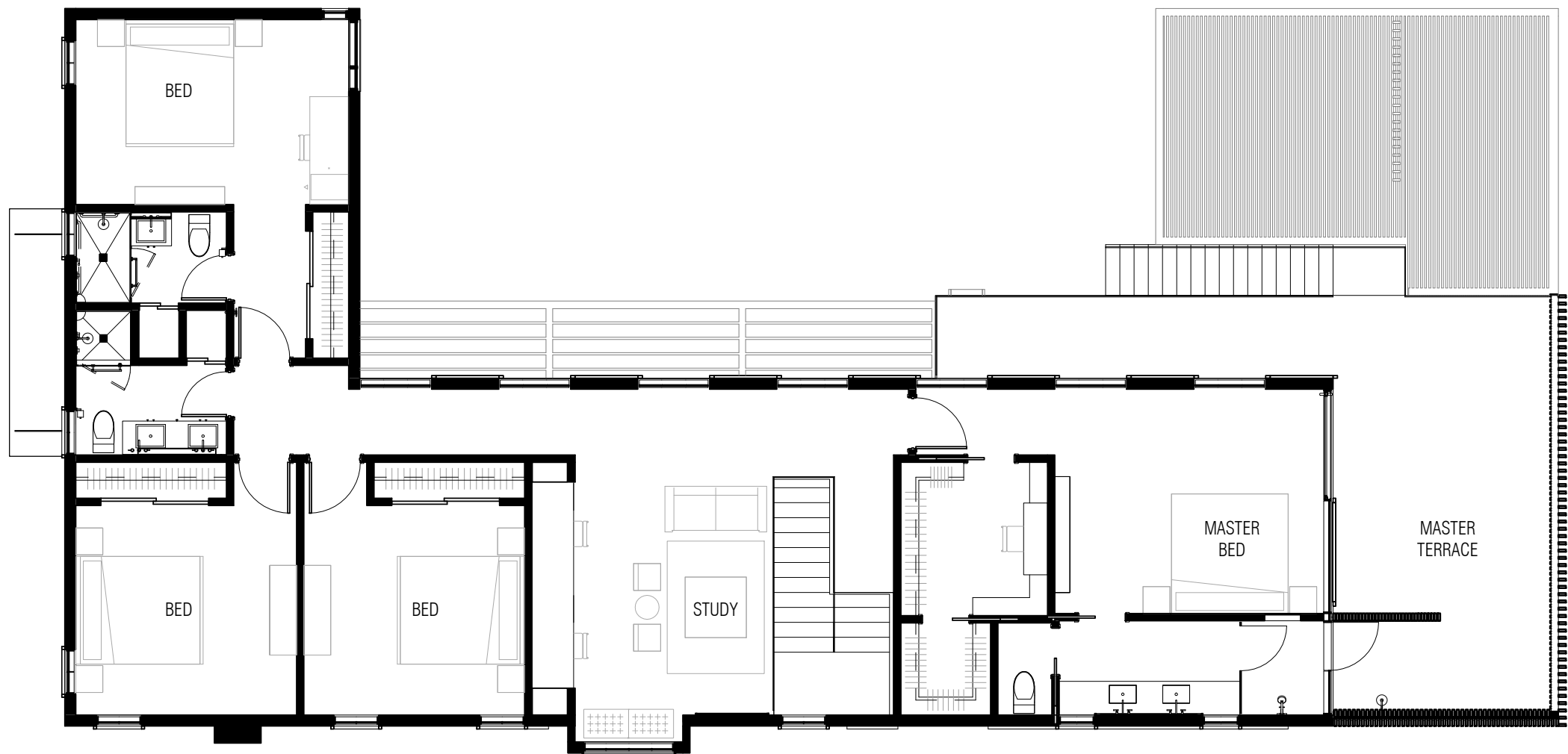
PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"

1400 Mohle Drive
Historic Commission Presentation
1400 Mohle Dr, Austin, TX 78703
10/25/21



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
1400 Mohle Drive
Historic Commission Presentation
1400 Mohle Dr, Austin, TX 78703
10/25/21



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

1400 Mohle Drive
Historic Commission Presentation
1400 Mohle Dr, Austin, TX 78703
10/25/21

HISTORIC DESIGN STANDARD CONSIDERATIONS

- 1. LOCATION AND SETBACKS
Front and side setbacks consistent with required zoning and neighborhood context
- 2. BUILDING ORIENTATION
Square to street with centralized entry
- 3. MASSING, SCALE, AND HEIGHT
Consistent two-story height along streetfront commensurate with neighboring properties
- 4. BUILDING PROPORTIONS
Squared, centralized front facade; more linear and informal side street facade
- 5. DESIGN STYLE
Modernized homage to Federal-style precedent
- 6. ROOFLINES AND PROFILES
Low-slope hipped roof facing streetfront
- 7. WALL MATERIALS
Stucco with minimal texture
- 8. FENESTRATION
Punched openings with divided lites along street; ordered classicism at front with more informal composition along side
- 9. PORCHES
Expressed architectural cover at main entry; no large porch typical
- 10. CHIMNEYS
Vertical element along informal side facade
- 11. GARAGES AND CARPORTS
Enclosed garage and carport located at rear of site along side facade



1509 W 29TH STREET
BUILT 1949



2821 GLENVIEW AVENUE
BUILT 1942



2814 GLENVIEW AVENUE
BUILT 2015



1714 W 34th STREET
BUILT 2019

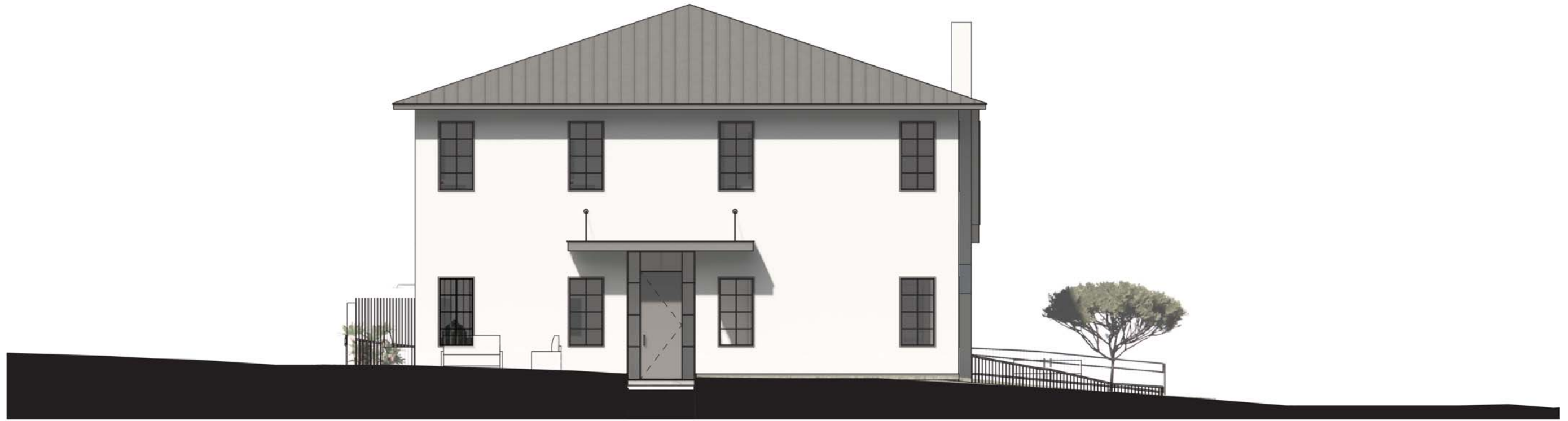
NEIGHBORHOOD REFERENCES

1400 Mohle Drive
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10/25/21



PROPOSED FRONT VIEW

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10/25/21



1 FRONT ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"