

CITY OF AUSTIN
Board of Adjustment
Decision Sheet
E-3

DATE: Monday February 14, 2022

CASE NUMBER: C15-2022-0010

____ Thomas Ates
____ Brooke Bailey
____ Jessica Cohen
____ Melissa Hawthorne
____ Barbara McArthur
____ Rahm McDaniel
____ Darryl Pruett
____ Agustina Rodriguez
____ Richard Smith
____ Michael Von Ohlen
____ Nicholl Wade
____ Kelly Blume (Alternate)
____ Carrie Waller (Alternate)
____ Marcel Gutierrez-Garza (Alternate)

APPLICANT: Christopher Paladino

OWNER: Christopher Paladino

ADDRESS: 4013 CLAWSON RD

VARIANCE REQUESTED: The applicant has requested variance(s) from the Land Development Code, Section 25-2 492 (D) (Site Development Regulations) to decrease the minimum lot width from 50 feet (required) to 34.8 feet (requested) for front lot and 49.82 feet (requested) for rear lot in order to subdivide the current lot into 2 lots and build 2 new single family homes and 2 new second dwelling units on each lot in a "SF-3", Single-Family Residence zoning district.

BOARD'S DECISION: POSTPONED TO MARCH 14, 2022 (AE DENIAL)

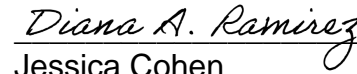
FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Elaine Ramirez
Executive Liaison

 for
Jessica Cohen
Chair



February 15, 2022

Christopher Paladino
2506 Willow St
Austin TX, 78702

Property Description: S50 FT OF N 1/2 OF LOT 25-27 BANISTER HEIGHTS

Re: C15-2022-0010

Dear Christopher,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from City of Austin land Development Code Section 25-2-492 to subdivide property into two lots with widths below the required 50' for SF-3 zoning.

Austin Energy does not oppose the request, provided that any proposed or existing improvements follow Austin Energy's Clearance & Safety Criteria, the National Electric Safety Code, and OSHA requirements. Any removal or relocation of existing facilities will be at the owner's/applicant's expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action:

https://library.municode.com/tx/austin/codes/utilities_criteria_manual?nodeId=S1AUENDECR_1.10.0CLSARE

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

Cody Shook, Planner II

Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
(512) 322-6881

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2022-0010

BOA DATE: February 14th, 2022

ADDRESS: 4013 Clawson Rd

COUNCIL DISTRICT: 5

OWNER: Chris Paladino

AGENT: N/A

ZONING: SF-3

LEGAL DESCRIPTION: S50 FT OF N 1/2 OF LOT 25-27 BANISTER HEIGHTS

VARIANCE REQUEST: decrease minimum lot width from 50 ft. to 34.8 ft. (front lot) and decrease minimum lot width from 50 ft. to 49.82 ft. (rear lot)

SUMMARY: complete future residential

ISSUES: property is narrowest of its size in the vicinity

	ZONING	LAND USES
<i>Site</i>	SF-3	Single-Family
<i>North</i>	SF-3	Single-Family
<i>South</i>	SF-3	Single-Family
<i>East</i>	SF-3	Single-Family
<i>West</i>	SF-3	Single-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Lost and Found Pets

Austin Neighborhoods Council

Bike Austin

Friends of Austin Neighborhoods

Homeless Neighborhood Association

Neighborhood Empowerment Foundation

Perry Grid 614

Preservation Austin

SELTexas

Sierra Club, Austin Regional Group

South Central Coalition

South Lamar Neighborhood Assn.

TNR BCP – Travis County Natural Resources



February 8, 2022

Christopher Paladino
4013 Clawson Rd
Austin TX, 78704

Property Description: S50 FT OF N 1/2 OF LOT 25-27 BANISTER HEIGHTS

Re: C15-2022-0010

Dear Christopher,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from City of Austin land Development Code Section 25-2-492 to subdivide property into two lots with widths below the required 50' for SF-3 zoning.

Austin Energy **cannot approve the request** until the applicant meets with Austin Energy's Electric Design team to ensure that electric service can be sufficiently provided to the new sites and that any proposed development adheres to clearances as per Austin Energy's Clearance & Safety Criteria, the National Electric Safety Code, and OSHA requirements. Please contact electric designer Donathan Hutchinson at Donathan.Hutchinson@austinenergy.com to address these concerns.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action:

https://library.municode.com/tx/austin/codes/utilities_criteria_manual?nodeId=S1AUENDECR_1.10.0CLSARE

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

Cody Shook, Planner II

Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
(512) 322-6881



Board of Adjustment General/Parking Variance Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # C15-2022-0010 ROW # 12846676 Tax # 0406090204

Section 1: Applicant Statement

Street Address: 4013 Clawson Rd, Austin, TX 78704

Subdivision Legal Description:

Being 0.45 of an acre of land out of lots 25, 26 and 27, Bannister Heights Subdivision According to the Map or Plat Thereof Recorded in Vol 3, Page 256 ... Doc # 2016071699

Lot(s): _____ Block(s): _____

Outlot: _____ Division: Bannister Heights

Zoning District: _____

I/We Chris Paladino on behalf of myself/ourselves as

authorized agent for 4013 Clawson Road LLC affirm that on

Month December, Day 10, Year 2021, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☒ Complete ☐ Remodel ☐ Maintain ☐ Other: _____

Type of Structure: Renew previously approved C15-2020-0016 & C15-2017-0065

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-2-492, minimum width requirement of 50' for SF-3 lot. Applicant requests permission to
subdivide previously-unplatted property into two lots: a "front" lot with a minimum 34.8' width (at
rear of new lot) and a "rear" lot that will remain minimum 49.82' wide as currently set. The "rear"
lot will be accessible to Clawson Road via a 15'-wide "flag".

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

SF-3 zoning contemplates a density of eight primary residences and eight secondary
residences per acre. Subject property is 19,602 sf / 0.45 acres in size, over three times the
minimum SF-3 lot size required by the LDC. Thus, a reasonable use for this property is
subdivision into at least two lots. However, subject property line at the street is 50.03' wide at
the front proerty line and 49.82' wide at the rear property line. Therefore, without a variance,
subject property can only contain one primary residence and one secondary residence on a half
acre, a density that is 1/4 of what is permitted and contemplated by the LDC.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

Subject property is the narrowest property of its size in the vicinity. Similarly-sized properties
across the street are, in general, 65' wide, which could be (and have been) subdivided in the
manner that the Applicant proposes for the subject property.

b) The hardship is not general to the area in which the property is located because:

Subject property is the narrowest property of its size in the vicinity. Similarly-sized properties
across the street are, in general, 65' wide, which could be (and have been) subdivided in the
manner that the Applicant proposes for the subject property.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Only one of the proposed four housing units that could be built (two primary and two secondary) will front Clawson Road, thus maintaining the "single family" character of the streetscape. The remainder of the housing units will be accessible via a common driveway. LDC-compliant parking will be provided onsite for each housing unit, and will follow whatever LDC rules are in place at the time a lot owner applies for a building permit. The units will also comply with all applicable provisions of the Residential Design and Criteria Manual at the time of permit.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature:  Date: 12/10/2021

Applicant Name (typed or printed): Chris Paladino

Applicant Mailing Address: 2506 Willow St

City: Austin State: TX Zip: 78702

Phone (will be public information): (512) 643-3049

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature:  Date: 12/10/2021

Owner Name (typed or printed): Chris Paladino

Owner Mailing Address: 2506 Willow St

City: Austin State: TX Zip: 78702

Phone (will be public information): (512) 643-3049

Email (optional – will be public information): 

Section 5: Agent Information

Agent Name: NONE

Agent Mailing Address:

City: State: Zip:

Phone (will be public information):

Email (optional – will be public information):

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

This is a new application to renew an expired approval (C15-2020-0016). My engineer literally disappeared and my subdivision application was withdrawn and needs to be resubmitted. I now need a new variance since it expired as well. This application is an exact duplicate of the previous submittal C15-2020-0016.

CITY OF AUSTIN

Board of Adjustment

Decision Sheet

DATE: Monday June 8, 2020

CASE NUMBER: C15-2020-0016

☐ Y ☐ Brooke Bailey
☐ Y ☐ Jessica Cohen
☐ Y ☐ Ada Corral
☐ - ☐ Melissa Hawthorne OUT
☐ - ☐ William Hodge (abstained)
☐ Y ☐ Don Leighton-Burwell
☐ Y ☐ Rahm McDaniel
☐ Y ☐ Darryl Pruet
☐ Y ☐ Veronica Rivera
☐ Y ☐ Yasmine Smith
☐ Y ☐ Michael Von Ohlen
☐ Y ☐ Kelly Blume (Alternate)
☐ Y ☐ Martha Gonzalez (Alternate)

APPLICANT: Chris Paladino

OWNER: 4013 Clawson Road LLC (Chris Paladino)

ADDRESS: 4013 CLAWSON RD

VARIANCE REQUESTED: The applicant has requested variance(s) to Section 25-2 492 (D) (Site Development Regulations) to decrease the minimum lot width from 50 feet (required) to 34.8 feet (requested) for front lot and 49.82 feet (requested) for rear lot in order to subdivide the current lot into 2 lots and build 2 new single family homes and 2 new second dwelling units on each lot in a “SF-3”, Single-Family Residence zoning district.

BOARD’S DECISION: BOA meeting April 13, 2020 CANCELLED MEETING, MAY 11, 2020 The public hearing was closed by Chair Don Leighton-Burwell, Board Member Michael Von Ohlen motions to postpone to June 8, 2020, Board Member Brooke Bailey seconds on an 11-0 vote (Board member William Hodge abstained); POSTPONED TO JUNE 8, 2020. June 8, 2020 The public hearing was closed by Chair Don Leighton-Burwell, Board Member Rahm McDaniel motions to Grant with conditions as previously approved variance dated February 12, 2018 (C15-2017-0065), Board Member Brooke Bailey seconds on an 11-0-1 vote (Board member William Hodge abstained); GRANTED WITH CONDITIONS AS PREVIOUSLY GRANTED VARIANCE DATED FEBRUARY 12, 2018 (C15-2017-0065):
 1) GARAGE ON BOTH UNITS STAY AS ONE STORY WITH NO HABITABLE SPACE, AND THAT


**2) SUBDIVISION BE COMPLIANT WITH THE SOUTH LAMAR FLOOD MITIGATION PLAN (10% CAPTURE) EVEN THOUGH SINGLE FAMILY USE IS PROPOSED AND THIS WOULD NOT OTHERWISE BE REQUIRED, AND THAT
3) A SCREENED AREA FOR ALL TRASH RECEPTACLES BEHIND THE PROPERTY LINE BE PLANNED FOR AT SUBDIVISION AND ADDED AT CONSTRUCTION.**

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because: SF-3 zoning contemplates a density of eight primary residences and eight secondary residences per acre, subject property is 19,602 SF in size, over three times the minimum lot size required by the LDC, narrow lot subject property is only 50.03' wide at the front property line and 49.82' wide at the rear property line, subject property can only house one primary residence and one secondary residence per acre.

2. (a) The hardship for which the variance is requested is unique to the property in that: narrowest property of its size in the general vicinity
(b) The hardship is not general to the area in which the property is located because: narrowest property of its size in the general vicinity, in general 65' wide, which could be subdivided

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because: only one of the proposed four housing units will front on Clawson Road, thus maintaining the single family character of the streetscape, the remainder of the housing units will be accessible via a common driveway, LDC compliant parking will be provided onsite for each housing unit, the housing units shall comply with all applicable provisions of the Residential Design and Compatibility Standards of the LDC.


Elaine Ramirez
Executive Liaison

Diana Ramirez

Don Leighton-Burwell
Chairman

RESTRICTIONS

-RESTRICTIONS:

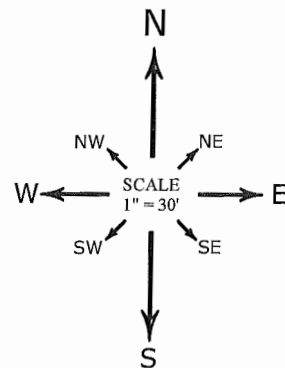
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

BEING 0.45 OF AN ACRE OF LAND OUT OF LOTS 25, 26 AND 27, BANISTER HEIGHTS SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 256, AND BEING ALL OF THAT CERTAIN CLAWSON ROAD, LLC. TRACT OF LAND RECORDED IN DOCUMENT NUMBE 2016071699, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

LEGEND

- 1/2" ROD FOUND
- () RECORD INFORMATION
- (M) MULTI-STEM TREE
- (P) PROTECTED TREE
- AIR CONDITIONER
- WATER METER
- CABLE RISER
- UTILITY POLE
- OH OVERHEAD UTILITY LINE(S)
- GAS METER
- WIRE FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- MAG NAIL SET FOR TBM



TEMPORARY BENCHMARK (TBM)
IS TOP OF MAG NAIL SET ON TREE ROOT
ELEVATION = 688.35'

CLAWSON ROAD
(50' R.O.W.)

TBM

SINGLE STORY
WOOD/FRAME
RESIDENCE

CONCRETE
DRAIN

CEDARVIEW PROPERTIES
DOC. 2013018269)

CORD SCHUCK
(DOC. 2012078946)

ZANE MORGAN
(VOL. 10008, PG. 681)

MICHEAL D. SANSON
(VOL. 11597, PG. 973)

ANDREW DEBAUE
(DOC. 2014077645)

BLUEARC PROPERTIES, LLC
(DOC. NO. 2013172539)

JOYCE MCCART
(DOC. NO. 2004095136)

LOT A, RESUB OF LOT 24
BANISTER HEIGHTS
(VOL. 77, PG. 204)

TREE LIST

29	18" TALLOW (M)
30	12.5" LIVE OAK
31	15.5" LIVE OAK
32	11.25" LIVE OAK
33	15.25" CEDAR ELM
34	6.75" LIVE OAK
35	12" TALLOW
36	14.5" CEDAR ELM
37	7.5" LIGUSTRUM
38	10" HACKBERRY
39	11" HACKBERRY
40	11" HACKBERRY
41	9.5" HACKBERRY
42	9.25" ELM
43	8.5" ELM
44	12.5" ELM
45	21" ELM (P)
46	14.5" ELM
49	16.75" HACKBERRY
147	12.5" TALLOW
148	23" LIVE OAK
149	19.5" LIVE OAK (P)

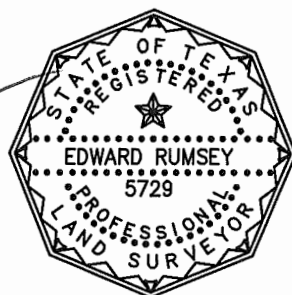
NOTICE
BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER
SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT
BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

BEARING BASIS:
BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL
TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL AND ARE IN
SURFACE WITH A COMBINED SCALE FACTOR OF 0.999988

0.45 ACRES

19,879 SQ. FT.
4013 CLAWSON
ROAD LLC.
(DOC. 2016071699)

TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED
I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE
GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE
OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO
BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS
PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.



ALLSTAR
Land surveying

9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE
WITHIN THE 100 YEAR FLOOD-
PLAIN, AND HAS A ZONE "X"
RATING AS SHOWN ON THE
FLOOD INSURANCE RATE MAPS
F.I.R.M. MAP NO. 48453C0585H
PANEL: 0585H
DATED: 09/26/2008
THIS CERTIFICATION IS FOR
INSURANCE PURPOSES ONLY AND IS
NOT A GUARANTEE THAT THIS
PROPERTY WILL OR WILL NOT FLOOD.
CONTACT YOUR LOCAL FLOOD PLAIN
ADMINISTRATOR FOR THE CURRENT
STATUS OF THIS TRACT.

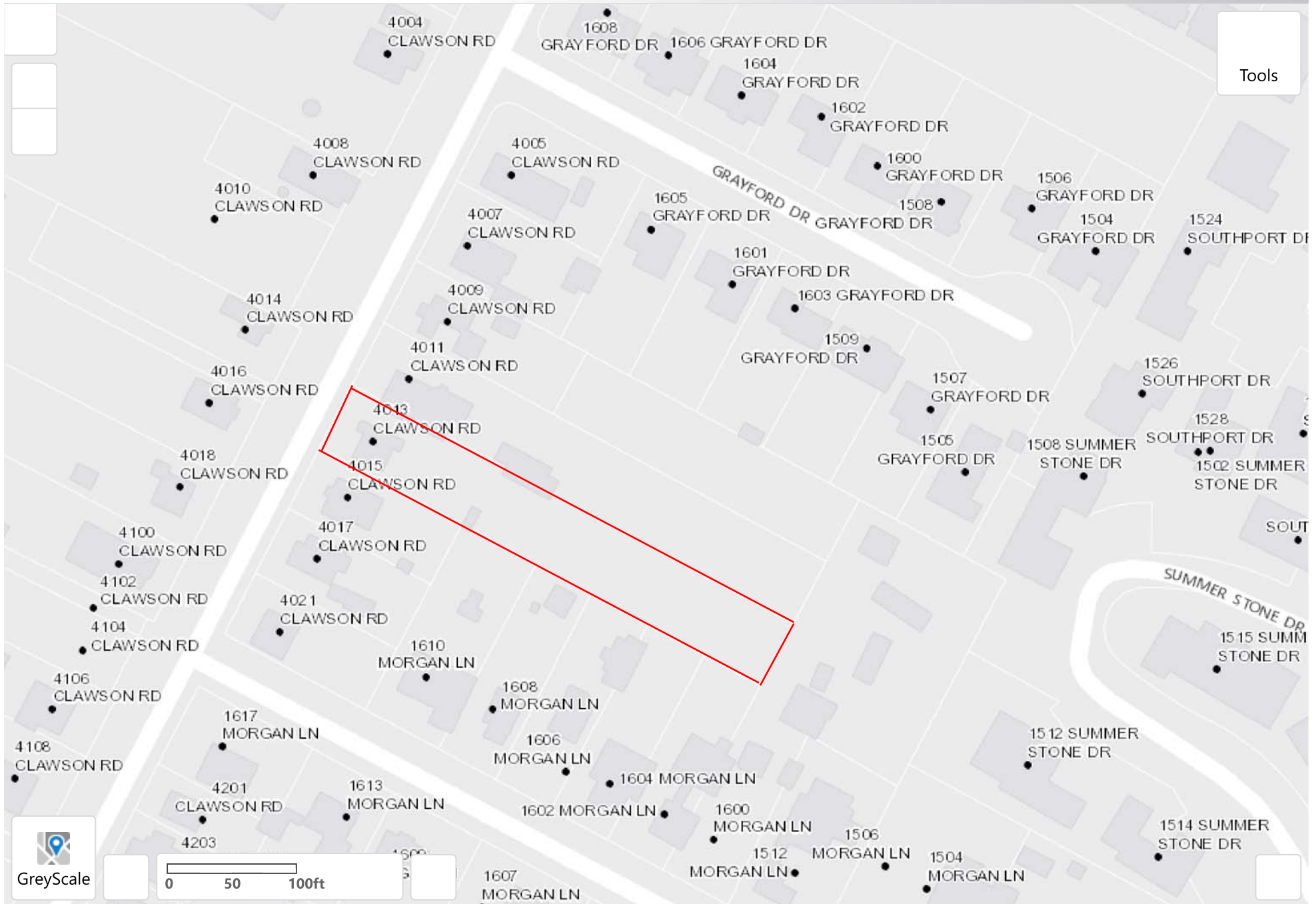
ADDRESS

4013 CLAWSON ROAD, LLC,
4013 CLAWSON ROAD
AUSTIN, TRAVIS COUNTY, TEXAS.

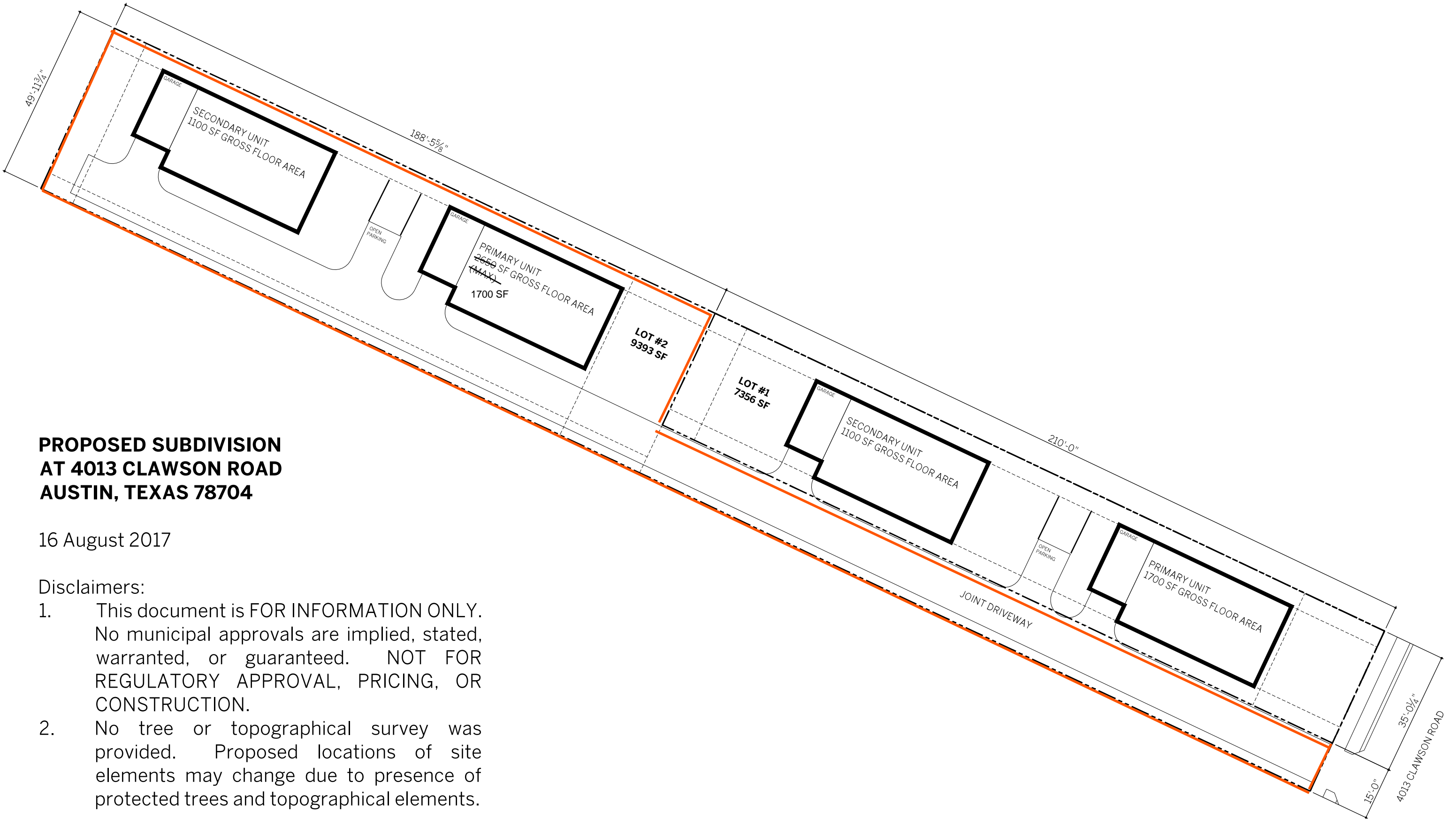
SURVEY DATE:	NOVEMBER 15, 2017	FIELDED BY:	DERICK SOLOMON	11/14/2017
TITLE CO.:	-	CALC. BY:	CHRIS ZOTTER	11/15/2017
G.F. NO.:	-	DRAWN BY:	ADRIEL LOPEZ	11/15/2017
JOB NO.:	A1100917	RPLS CHECK:	EDWARD RUMSEY	11/15/2017



Property Profile







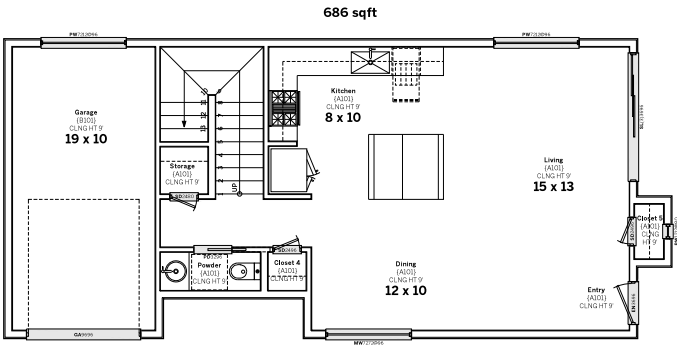
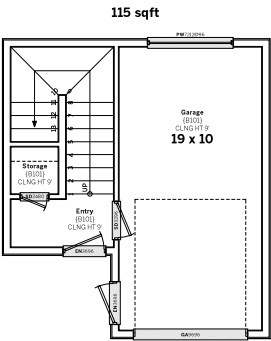
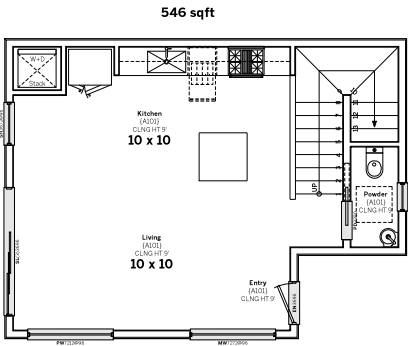
**PROPOSED SUBDIVISION
AT 4013 CLAWSON ROAD
AUSTIN, TEXAS 78704**

16 August 2017

Disclaimers:

1. This document is FOR INFORMATION ONLY. No municipal approvals are implied, stated, warranted, or guaranteed. NOT FOR REGULATORY APPROVAL, PRICING, OR CONSTRUCTION.
2. No tree or topographical survey was provided. Proposed locations of site elements may change due to presence of protected trees and topographical elements.

CONCEPTUAL PLAN



③ Floor Plan, Bldg 02, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

② Floor Plan, Bldg 02 (Garage), Level 01

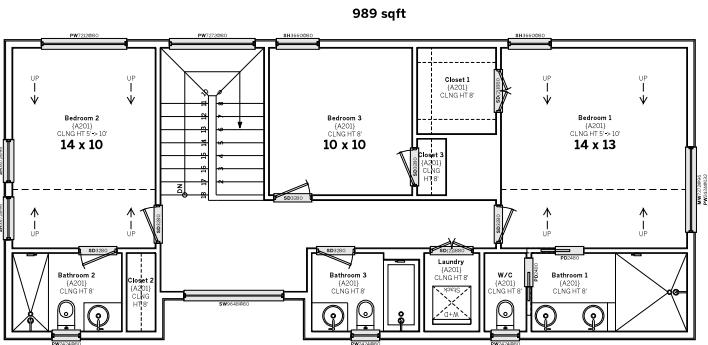
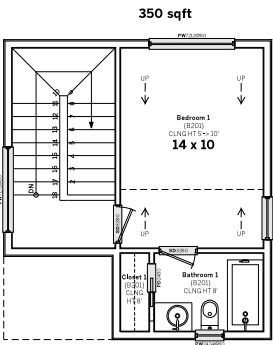
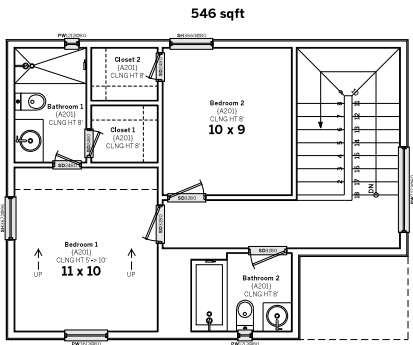
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

① Floor Plan, Bldg 01, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).			VISITABILITY NOTES (REPEATED FROM SHEET G002).		FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT).		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.		
01 New step-free entry into residence from public way. Maximum vertical rise 1/2".	04 New accessible door into visitable bathroom on Level 01. Minimum clear width 32".	06 Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor.	1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.				<p>This document is issued under the seal of WILLIAM LAWRENCE HOSE, Texas architect #93074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				
02 New step-free entry into residence from garage or carport. Maximum vertical rise 1/2".	05 New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent.	07 Railing or partial-height wall at interior. Minimum height 36" above finish floor.	2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.	2x4 wood framing							
03 New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY.	REQUIRED LENGTH XX'-XX" PROVIDED LENGTH XX'-XX"	08 Ceiling break.	3. Switches and thermostats on all floors shall be located no greater than 45" (6" junction-box centerline) above finish floor level.	2x6 wood framing							
		09 Line of 5' ceiling height.	4. Power receptacles and data ports on all floors shall be located no less than 18" (6" junction-box centerline) above finish floor level.	3.5" depth cold-formed metal framing							
		10 Line of 7' ceiling height.	5. At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.	6" depth cold-formed metal framing							
		11 Line of 15' ceiling height.	6. A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.	12" depth insulated-concrete-form framing							
						ISSUE DATE				28 Nov 2017	
						SHEET TYPE				Floor Plans, Level 01	
						NEW HOUSE & SECONDARY APT W/ DETACHED GARAGE AT 4013 CLAWSON RD AUSTIN, TEXAS 78704					
						GRAPHIC SCALE (in feet)					
						A101					

CONCEPTUAL PLAN



3 Floor Plan, Bldg 02, Level 02



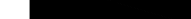




Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

2 Floor Plan, Bldg 02 (Garage), Level 02

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

1 Floor Plan, Bldg 01, Level 02

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

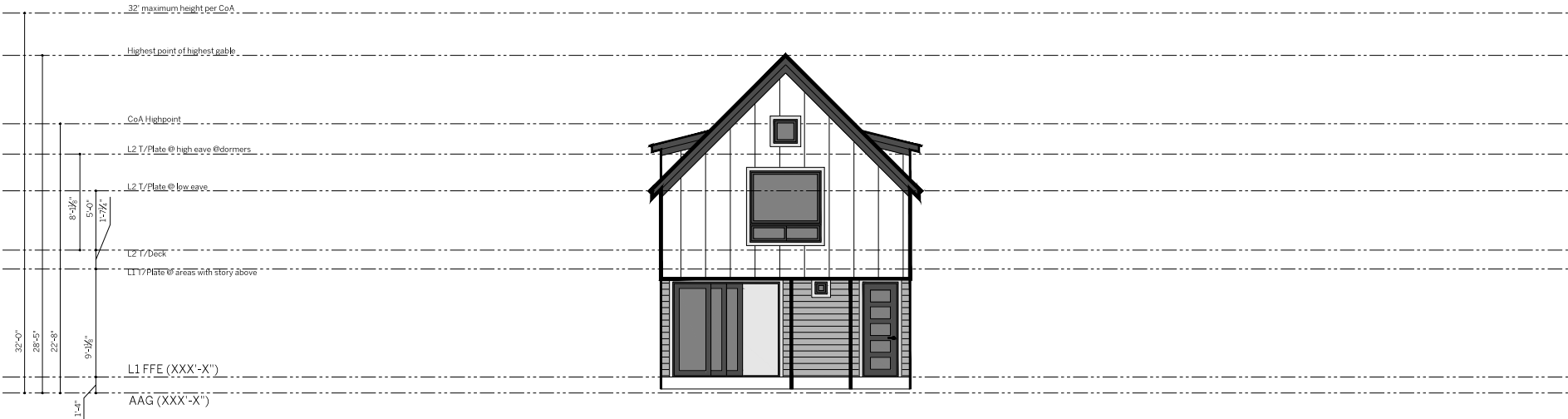
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).			VISITABILITY NOTES (REPEATED FROM SHEET G002).		FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT).		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.		
01 New step-free entry into residence from public way. Maximum vertical rise 1/2".	04 New accessible door into visitable bathroom on Level 01. Minimum clear width 32".	06 Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Railing or partial-height wall at interior. Minimum height 36" above finish floor.	1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.	2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.		2x4 wood framing	<p>This document is issued under the seal of WILLIAM LAWRENCE HOSE, Texas architect #00074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.</p>				
02 New step-free entry into residence from garage or carport. Maximum vertical rise 1/2".	05 New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent.	07 Railing or partial-height wall at interior. Minimum height 36" above finish floor. Ceiling break.	3. Switches and thermostats on all floors shall be located no greater than 45" (6" junction-box centerline) above finish floor level.		2x6 wood framing						
03 New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY.	REQUIRED LENGTH XX'-XX" PROVIDED LENGTH XX'-XX"	08 Line of 5' ceiling height.	4. Power receptacles and data ports on all floors shall be located no less than 18" (6" junction-box centerline) above finish floor level.		3.5" depth cold-formed metal framing						
		09 Line of 7' ceiling height.	5. At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.		6" depth cold-formed metal framing						
		10 Line of 15' ceiling height.	6. A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.		12" depth insulated-concrete-form framing						
							ISSUE DATE	28 Nov 2017	ISSUE DATE	28 Nov 2017	
							SHEET TYPE		Floor Plans, Level 02.	A102	

CONCEPTUAL PLAN

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1:
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Front
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

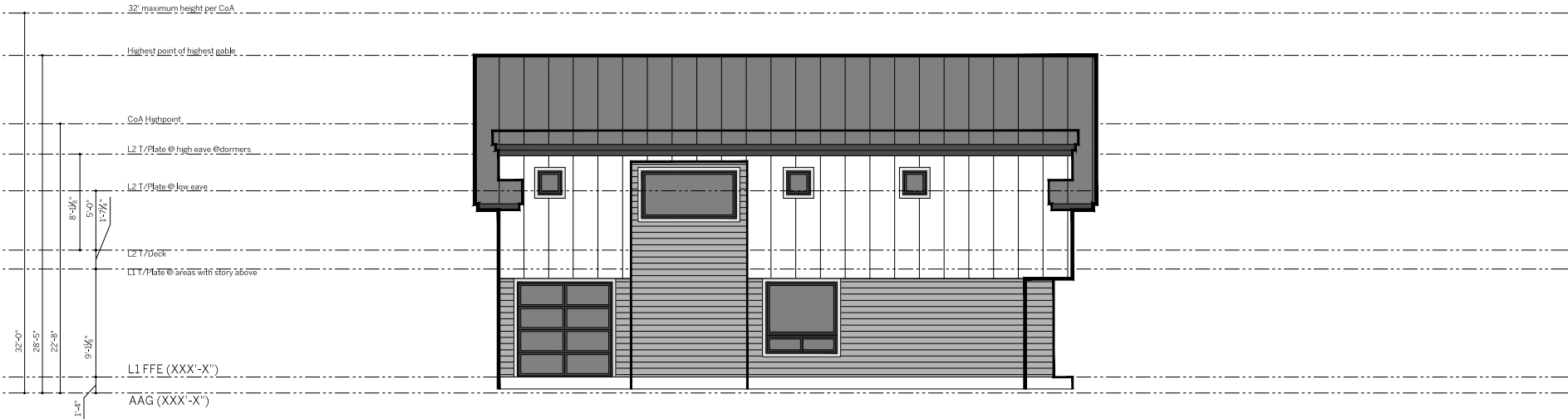
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).						DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	PROJECT INFORMATION
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.	This document is issued under the seal of WILLIAM LAWRENCE HOOSE, Texas architect #93074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed therein, this set is incomplete and INVALID FOR CONSTRUCTION.	<div>ISSUE DATE28 Nov 2017</div> <div>GRAPHIC SCALE (in feet)</div>		
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.						NEW HOUSE & SECONDARY APT W/ DETACHED GARAGE AT 4013 CLAWSON RD AUSTIN, TEXAS 78704 ISSUE DATE28 Nov 2017 SHEET TYPEElevations, Bldg 1. A201
03	New horizontally-oriented cement-board siding. Exposure 6".	08	New brick masonry veneer, common bond.						
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6".						
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.						

CONCEPTUAL PLAN

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1: Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Left
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).					DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	PROJECT INFORMATION
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.			
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-ashlar bond.					<div>NEW HOUSE & SECONDARY APT W/ DETACHED GARAGE AT 4013 CLAWSON RD AUSTIN, TEXAS 78704</div> <div>ISSUE DATE: 28 Nov 2017</div> <div>SHEET TYPE: Elevations, Bldg 1.</div> <div>A203</div>
03	New horizontally-oriented cement-board siding. Exposure 6".	08	New brick masonry veneer, common bond.					
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6".					
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.					
						ISSUE DATE: 28 Nov 2017		
						GRAPHIC SCALE (in feet)		

CONCEPTUAL PLAN

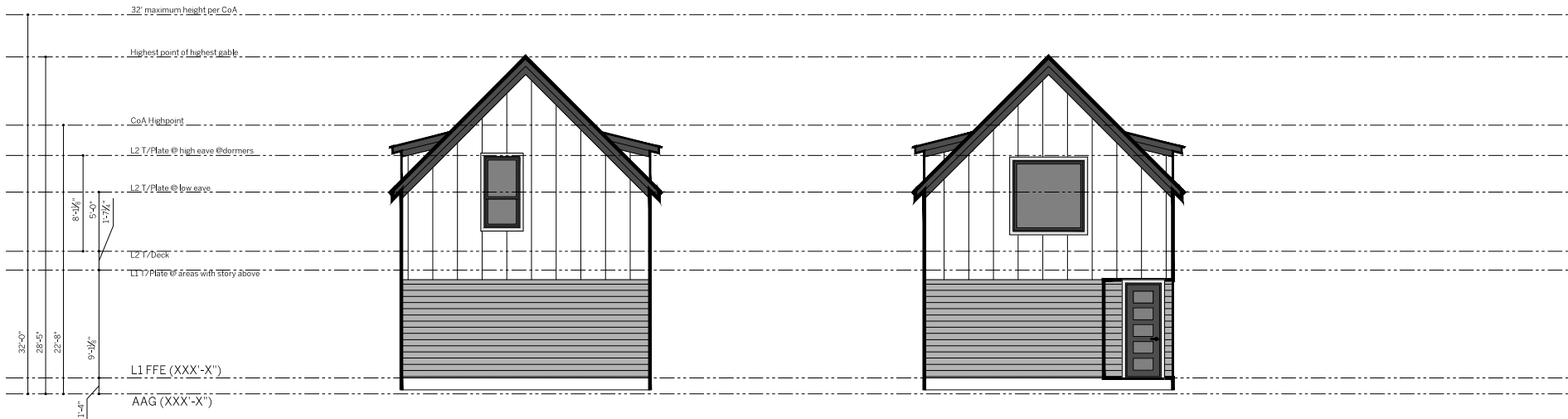
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6
E, 4, b, (i):

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE
3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.



① Elevation, Bldg 2 (Garage), Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

② **Elevation, Bldg 2 (Garage), Rear**

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)					DISCLAIMERS	SEAL OF ARCHITECT	SEAL OF MUNICIPAL APPROVAL
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #0074. This document is not for regulatory approval, pricing or construction unless the signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown on one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and invalid for construction.</p> <p>ISSUE DATE: 28 Nov 2017</p> <p>GRAPHIC SCALE (in feet)</p>	<p>NEW HOUSE & SECONDARY APT W/ DETACHED GARAGE AT 4013 CLAWSON RD AUSTIN, TEXAS 78704</p> <p>ISSUE DATE: 28 Nov 2017</p> <p>SHEET TYPE: Elevations, Bldg. 2</p> <p>A25</p>
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random rubble bond.				
03	New horizontally-oriented cement-board siding. Exposure 6'.	08	New brick masonry veneer, common bond.				
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6'.				
05	New vertically-oriented cement-board panning. Exposure 24" w/ 1/2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.				

CONCEPTUAL PLAN

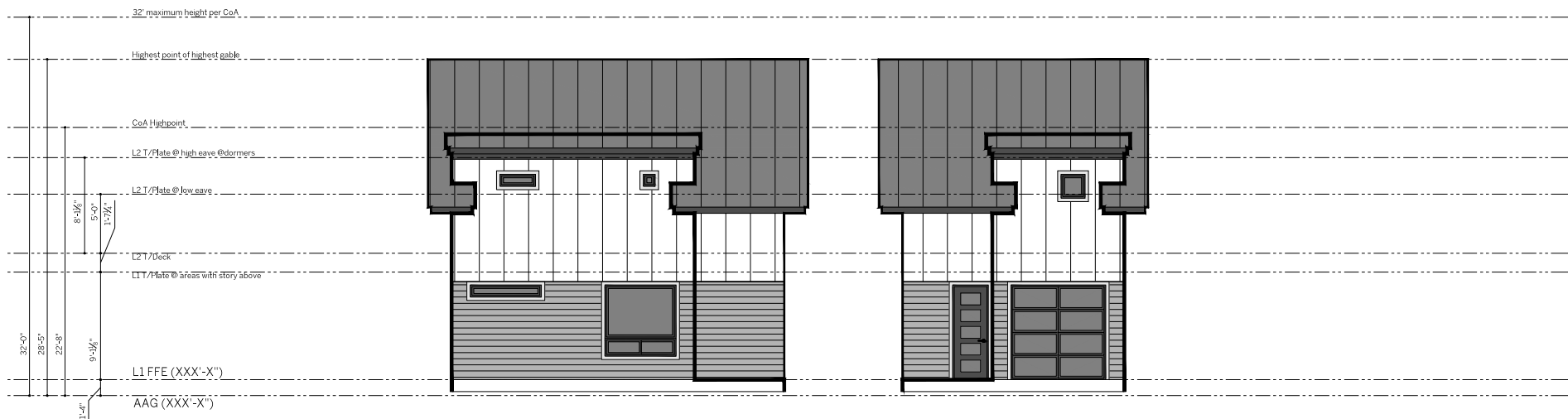
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6
E, 4, b, (i):

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

6. LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.



① **Elevation, Bldg 2, Left**

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

② **Elevation, Bldg 2 (Garage), Left**

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).				DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
01	New standing-seam metal roof.	06	New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #0076. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete.</p>	<p>ISSUE DATE 28 Nov 2017</p>	<p>ISSUE DATE 28 Nov 2017</p> <p>SHEET TYPE Elevations, Blgs 2.</p>
02	New 30-year composition shingle roof.	07	New 3.5"-thick stone masonry veneer, random-hashed bond.			
03	New horizontally-oriented cement-board siding. Exposure 6".	08	New brick masonry veneer, common bond.			
04	New horizontally-oriented cement-board siding. Exposure 12".	09	New metal coping. Exposure 6".			
05	New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.			
11	New parapet at exterior porch or deck. Minimum height 36" above finish floor.					

Subject Property view from street

4013 Clawson Rd



Views of Clawson Road with subject property at left of photo



Similar layout (4 houses built along deep lot) across the street from subject property, towards Southwest, approximately 500' from subject.



New construction at corner



Two properties across the street from subject



Rear portions of subject property (page 1 of 2)



Rear portions of subject property (page 2 of 2)



The screenshot displays the Austin City Limits website's map interface. A search radius of 300 feet is centered on a specific address, highlighting a cluster of properties. The map shows streets including Clawson Rd, Morgan St, Grayford Dr, and Summer Stone Dr. A search bar in the top left corner offers 'Advanced Search' and 'Basic Search' options. A 'Show Search Results' button is located at the bottom left. The map also features a 'Reset Radius Search' button and a message indicating that the search request has been processed and results are returned to the search results grid.

From: Norman Ballinger
To: [Ramirez, Elaine](#)
Subject: Board of Adjustment hearing 4013 Clawson Rd
Date: Monday, February 14, 2022 10:10:23 AM

*** External Email - Exercise Caution ***

Norm Ballinger
1600 Morgan Lane
Austin, TX 78704

Re: Case # C15-2022-0010
Board of Adjustment, February 14th, 2022

Ms. Ramirez

I hereby object to the proposed variance application for 4013 Clawson on the basis of drainage mitigation. Four houses and other impervious cover on that lot will greatly increase runoff and subsequent erosion damage to my yard at 1600 Morgan Lane. I would like to attend the hearing either online or in person as capacity allow.

Please send me instructions or links to the meeting.

Thank you for your time,

Norm Ballinger
512-921-9482

CAUTION: This email was received at the City of Austin, from an EXTERNAL source. Please use caution when clicking links or opening attachments. If you believe this to be a malicious and/or phishing email, please forward this email to cybersecurity@austintexas.gov.