

BOA GENERAL REVIEW COVERSHEET

CASE: C15-2022-0032

BOA DATE: April 11th, 2022

ADDRESS: 2904 Rivercrest Dr

COUNCIL DISTRICT: 10

OWNER: Cody Stavig

AGENT: David Cancialosi

ZONING: LA

LEGAL DESCRIPTION:

VARIANCE REQUEST: a) decrease the minimum front yard setback from 40 feet to 25 feet and b) increase the height from 23 feet 8 inches to 24 feet 1 inch.

SUMMARY: remodel existing residence

ISSUES: lot size

	ZONING	LAND USES
<i>Site</i>	LA	Single-Family
<i>North</i>	LA	Lake Austin
<i>South</i>	LA	Single-Family
<i>East</i>	LA	Single-Family
<i>West</i>	LA	Single-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District

Austin Lost and Found Pets

BRNA ASSOCIATION INC

City of Rollingwood

Friends of Austin Neighborhoods

Glenlake Neighborhood Association

Neighborhood Empowerment Foundation

SELTexas

Save Our Springs Alliance

Sierra Club, Austin Regional Group

TNR BCP – Travis County Natural Resources

The Creek at Riverbend Neighborhood Association



Board of Adjustment General/Parking Variance Application

DevelopmentATX.com | Phone: 311 (or 512-974-2000 outside Austin)
For submittal and fee information, see austintexas.gov/digitaldevelopment

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 2904 Rivercrest

Subdivision Legal Description:

lot 15 block A section 1 of the Rivercrest Addition

Lot(s): 15 Block(s): A

Outlot: _____ Division: _____

Zoning District: LA

I/We David Cancialosi on behalf of myself/ourselves as

authorized agent for Cody Stavig affirm that on

Month March , Day 11 , Year 2022 , hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☒ Remodel ☐ Maintain ☐ Other: _____

Type of Structure: Single Family Residence

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

1. 25-2-492(D) LA zoning front setback encroachment to reduce the required 40' to existing 25' setback for existing residence
2. 25-2-963-E-1-B to modify a non-Complying structure's height from 23'8" to 24'1" (the portion being raised is a portion of a footprint located within a zoning setback) in order to add gable roof section higher than existing noncompliant sections

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

The lot is substandard. It is less than 1 acre and does not meet the standards prescribed by Lake Austin zoning requirements. This limits the property owners ability to reasonably use the site to the highest and best use as contemplated by the original plat and subsequent "A" and "LA" zoning categories applied by the City of Austin.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

The applicant respectfully requests the board acknowledge the hardships in place as a result of the lot size, City initiated rezoning, existing front setback encroachment acknowledgement via approved building permits over a 30 year period, and the need to perform a substantial remodel on a 1988 era structure. Compliance with existing 40 foot setback requires either full or partial demolition of the existing residence.

b) The hardship is not general to the area in which the property is located because:

The site was issued a multitude of development permit approvals, exacerbating ongoing remodels for a noncomplying structure.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Zero known adverse impact on any adjacent property whether it be near or far from this site.

The reduction in impervious cover from 50% to 35% is a benefit not only to the environment but also alleviates any potential drainage concerns which may or may not have been an issue over the years (we are not aware of any drainage issues)..

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

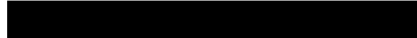
Applicant Signature:  Date: 03/11/2022

Applicant Name (typed or printed): David Cancialosi

Applicant Mailing Address: 300 E Highland Mall Blvd

City: Austin State: Texas Zip: 78752

Phone (will be public information): _____

Email (optional – will be public information): 

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Cody Stavig Date: 03/11/22

Owner Name (typed or printed): Cody Stavig

Owner Mailing Address: 6433 SE 17th Ave

City: Portland State: Oregon Zip: 97202

Phone (will be public information): _____

Email (optional – will be public information): 

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

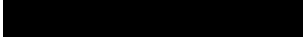
Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

Please see attached cover letter

**PERMIT PARTNERS**

300 E Highland Mall Blvd. | Suite 207 | Austin, Texas 78752

Office: 512.593.5361


March 25, 2022

City of Austin
Board of Adjustments
Austin City Hall
301 E. Cesar Chavez
Austin, TX 78701

Re: Variance request – 2904 Rivercrest Drive – UPDATED COVER LETTER

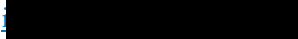
Dear Board of Adjustment Commissioners:

I represent the owners of the property located at 2904 Rivercrest Drive. This single-family residence is located in the Rivercrest neighborhood. It is legally known as lot 15 block A section 1 of the Rivercrest Addition. This lot was platted as a 15,416 square-foot lot in the mid-1960s. Travis county references a 1988 construction date of the existing house, but the City of Austin property profile tool as well as and other aeriels indicate a structure on site a few years earlier. The current residence is a two-story structure taking access from Rivercrest Drive. The rear of the lot abuts the main body of Lake Austin. A typical boat dock accessory use has existed for quite some time. The residence has undergone a few light remodels as indicated in the city records and the house appears to remain in its original location and shape.

The variance being requested is twofold: the house sits 25' from the front property line: 1) a 15' *encroachment into the required 40' front setback creating the existing 25' setback*, and 2) *Increase the height of a non-complying wall in the front setback*. The homeowner proposes to complete some portions of the existing second-story, zig zag type roofline. The existing roof is the original 1988-era construction. It appears outdated and does not lend itself to the highest and best use of the existing single-family residence. "Filling in" the spaces between the existing gable roof sections is part of the proposed remodel scope. This allows better use of the interior space on the second floor. Portions of the proposed roof. However, portions of the roof will exceed the existing structure's height in some places, but in no location will the roof exceed LA zoning's height limitations of 35'. The request is rooted in the City's original erroneous approval of the structure's location within the 40' front yard setback. The existing 25' front yard setback location necessitates a second variance request to raise the height of a noncompliant wall.

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Of considerable hardship, the lot is substandard. It is less than 1 acre and does not meet the standards prescribed by Lake Austin zoning requirements of 1 acre minimums with 100' of street frontage. This is an unfortunate theme found through the Rivercrest neighborhood. In 1983–1984 the city of Austin initiated the Lake Austin zoning initiative via case C14-83-003. As with many properties along the lake, and specifically within this particular neighborhood, this 15,000 square-foot site was immediately made non-compliant because the existing lot was too small and the existing impervious cover was too much.

In other words, what was allowed under “A” zoning as 45% impervious cover was immediately reduced to 35% impervious cover – this 35% allotment is *after* using the net site area calculation as prescribed by 25-2-551, Lake Austin zoning code section.

Under “A” or “AA” zoning found in chapter 13–1, which predates the current Chapter 25–2 zoning chapter, the front setback was 25'. After the site was zoned LA, the city of Austin initiated a string of permits which compound the issues we bring before the Commission today.

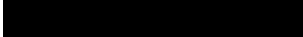
In the attached exhibit you will notice the 25' setback to remain. You will also notice the reduction of impervious cover from nearly 50% to under 35%. The property owner is willing to remove an entire circular drive among other impervious cover to satisfy the 35% criteria. This is no small feat on a 15,000 square-foot lot that is required to apply the net site area calculation which, again, unfairly further reduces the amount of land area one is allowed to count as the basis of buildable area.

Although somewhat rare, the second variance to increase the height of a noncompliant wall is necessary in this case. It is not clear if the house was in place when it was rezoned from “A” to “LA” by the City in 1983. As of the date of this letter, the applicant continues to search for more concrete information as to the original construction date. As part of the proposed remodel to update the façade of the existing residence, the height of the first and second floor top plates may need to be raised; however, the overall height of the house will only slightly increase. This is intended to present a more even and more reasonable usable design versus the existing choppy gable roof design. The house will still comply with LA zoning height restriction of 35'.

Only parts of the interior ceiling heights will increase. Again, this is only for contemporary interior design purposes, but as remodels go, raising interior ceiling heights effects several components of the overall remodel. The attached exhibits in your packet reference parts of the

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roof which will be “filled in” with the same gable styled roof as well as updating the façade. There are minor footprint changes to remove small portions of the house, but no HVAC or non-HVAC additions are proposed.

The property owner’s architect has diligently worked to propose a stripped-down site which is compliant with the impervious cover limitations. The 25’ setback has been in place for over 30 years and appears to have no adverse impact on any surrounding neighbors. In fact, several houses near this house and throughout the neighborhood also have a 25’ setback. The proposed design to fill-in portions of the second-floor gable roof may necessitate a variance to raise the height of that wall above the top plate. If the board finds this second variance is not necessary, then the applicant agrees to remove it and only seek the 15’ encroachment into the 40’ front yard setback.

Attached to this cover letter is the city application and various exhibits. The main hardship initiated almost 40 years ago through its application of LA zoning. The non-compliance issues have been exacerbated by years of permit issuance for additional non-compliant improvements on a substandard lot. Now that the house is over 30 years old, it necessitates a substantial remodel. The regulations in place at the time of the original construction are the same regulations currently in place, yet the original and subsequent permits all issued by the City of Austin, created a situation that requires relief from the land development code to maintain the existing house in the existing location.

An alternative remedy is to completely demolish the house and erect a new residence behind the 40’ setback. Or, to demolish the first 15’ of the existing façade and completely reengineer the structure to have the front façade start at the 40’ setback. This would not only be unheard of, but completely unreasonable and untenable. It creates a substantial hardship for the property owner, especially when prior owners of the same structure have been afforded administrative remedy yet have not been required to seek relief.

Ultimately, the plat contemplated single-family use upon its approval in the mid-60s. The single-family residence was permitted by the city of Austin and certainly is a reasonable use within the applicable zoning. There is zero adverse impact to any neighbors adjacent or afar.

The commission has recognized issues of this kind in and around the Rivercrest neighborhood on many cases in recent years. If approved, my client will perform the minimum but necessary



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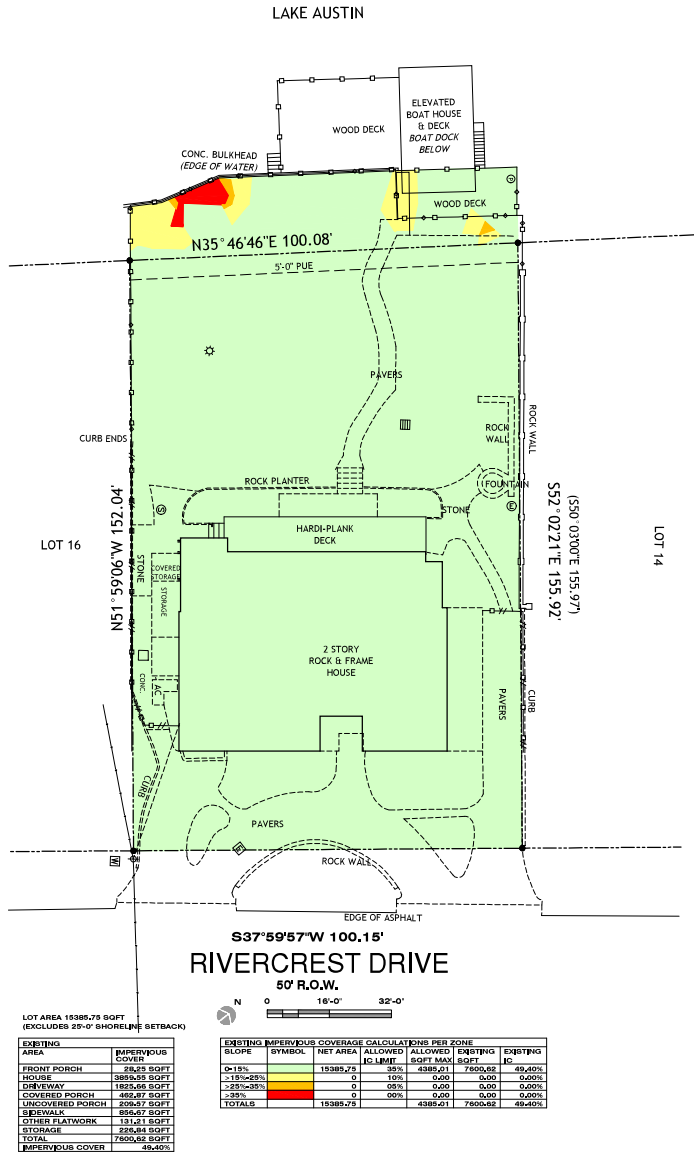


remodel scope bringing the 1980's era structure into current code as well as contemporary aesthetics found not only in this neighborhood, but throughout the majority of the surrounding areas as a whole.

On behalf of the property owner, the applicant respectfully requests the Board approve the requested variances.

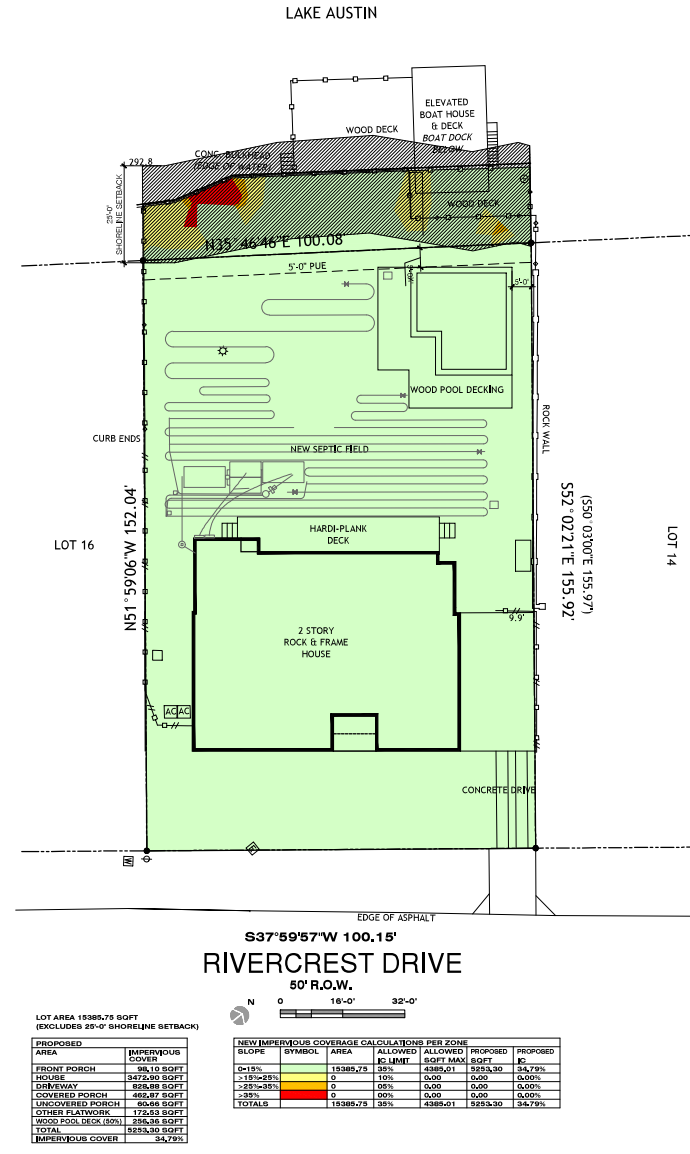
Respectfully,

David C. Cancialosi



EXISTING/DEMO SITE PLAN

Scale: 1/16" = 1'-0" (TAB/LOD Scale: 1/32" = 1'-0")



PROPOSED SITE PLAN

Scale: 1/16" = 1'-0" (TAB/LOD Scale: 1/32" = 1'-0")

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Alex Arterberry
2416 Vista Lane
Austin, TX 78703
alex@arterberrycooke.com
512.236.5482

Project Owner:
Cody Riang
Project Address:
2904 Rivercrest Dr
Austin, TX 78746

IMPERVIOUS COVER MAPS

drawn by: NPS
checked by: AA
scale: 1" = 16'-0"
first issue:
plot date: 03/08/2022

A1.1

NO PART OF THIS DRAWING SHALL BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ARTERBERRY COOKE ARCHITECTS.

TREE ORDINANCE NOTES:

- * A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- * There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.
- * Prior to construction, 3' high chain-link mesh, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone.
- * Additionally, min 2x4 or greater size planks (6" tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- * There is no cut or fill 4" or greater within the 1/2 critical root zone of protected trees. Only piers are allowed within 1/2 critical root zone and piers must be air-spaced.
- * Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- * Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)
- * Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 1/2 CRZ
- * Portable Toilet, Concrete Washout and Paint Washout may not be placed within a protected tree's FULL CRZ
- * Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air-spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.

If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE 1268 43' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 15% OF THE CROWN.

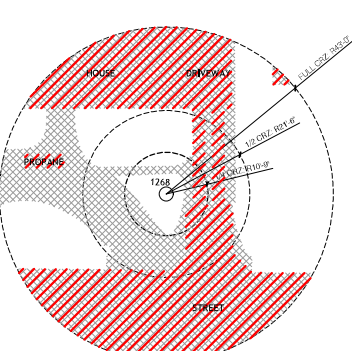
TREE 1269 45.5' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 10% OF THE CROWN.

TREE 1270 44' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REPLACEMENT OF THE EXISTING SEPTIC SYSTEM. NEW SYSTEM PIPING NO MORE THAN 4" BELOW GRADE. PIPING REDUCED BY APPROX. 70%. ADDITIONALLY REMOVAL OF EXISTING PORCH EXTENSION AND STAIRS TO ACCOMMODATE THE SEPTIC SYSTEM WILL ALSO REDUCE IMPACTS TO THE CRZ.

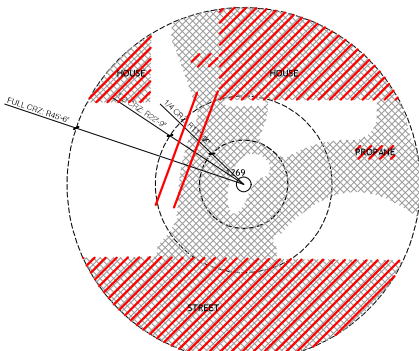
TREE 1271 31' MONTEZUMA CYPRESS, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY THE REMOVAL OF THE SPORT COURT AND EXISTING SIDEWALK WHICH WILL BE PARTIALLY REPLACED BY NEW POOL.

TREE 1275 37.5' PECAN, HERITAGE. THIS TREE IS IN FAIR HEALTH, WITH HOLLOWNESS IN THE TRUNK. THE TRUNK IS LEANING, BUT STABLE. MAJOR BRANCHES EXTEND OVER THE EXISTING HOUSE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY PARTIAL REMOVAL OF OF THE EXISTING REAR PORCH. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 25% OF THE CROWN.

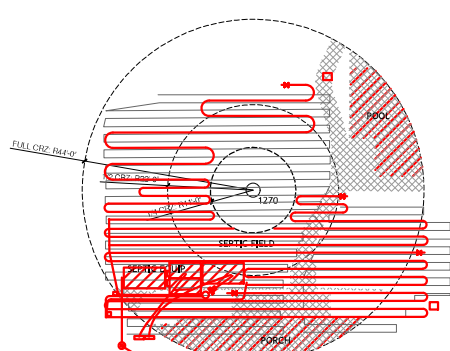
TREE A 38' PECAN, HERITAGE. THIS TREE ON THE NEIGHBORS' PROPERTY. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REMOVAL OF EXISTING STORAGE UNITS AND PAVING. NEW IMPACTS INCLUDE REMOVAL OF EXISTING SEPTIC TANKS AND REPLACEMENT WITH THE NEW SYSTEM.



CRITICAL ROOT IMPACTS
TOTAL CRZ 5809.9 SQFT
EXISTING IMPACTS 3801.1 SQFT
PROPOSED IMPACTS 2566.1 SQFT
IMPACT AS % OF CRZ 44.2%
REDUCED IMPACT 1036.0 SQFT

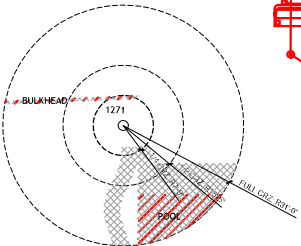


CRITICAL ROOT IMPACTS
TOTAL CRZ 4277.5 SQFT
EXISTING IMPACTS 2601.0 SQFT
PROPOSED IMPACTS 1676.5 SQFT
IMPACT AS % OF CRZ 39.99%
REDUCED IMPACT 1676.5 SQFT

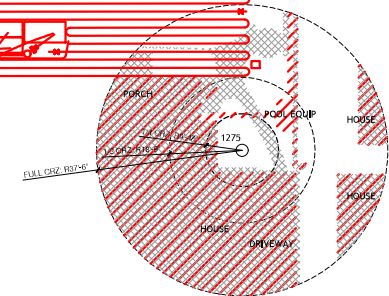


CRITICAL ROOT IMPACTS
TOTAL CRZ 8082.1 SQFT
EXISTING IMPACTS 1432.1 SQFT
PROPOSED IMPACTS 968.9 SQFT
IMPACT AS % OF CRZ 15.9%
REDUCED IMPACT 469.2 SQFT

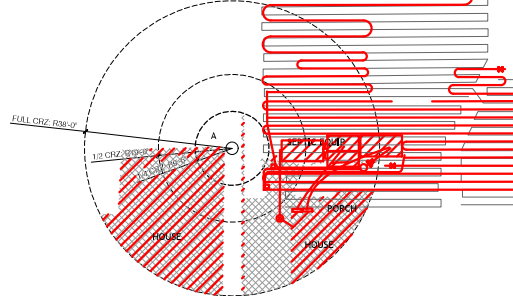
THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED
NEW SEPTIC SYSTEM PIPING BEYOND THE 1/4 CRZ
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE



CRITICAL ROOT IMPACTS
TOTAL CRZ 3019.1 SQFT
EXISTING IMPACTS 829.8 SQFT
PROPOSED IMPACTS 206.6 SQFT
IMPACT AS % OF CRZ 6.8%
REDUCED IMPACT 323.2 SQFT



CRITICAL ROOT IMPACTS
TOTAL CRZ 4417.9 SQFT
EXISTING IMPACTS 2727.3 SQFT
PROPOSED IMPACTS 2417.5 SQFT
IMPACT AS % OF CRZ 54.7%
REDUCED IMPACT 309.7 SQFT



CRITICAL ROOT IMPACTS
TOTAL CRZ 4636.6 SQFT
EXISTING IMPACTS 1625.3 SQFT
PROPOSED IMPACTS 1429.3 SQFT
IMPACT AS % OF CRZ 31.4%
REDUCED IMPACT 196.4 SQFT

THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE

IMPACT SUMMARY				
MARK	SIZE	TYPE	IMPACTS	REDUCTION
1268	43'	PECAN	44.2%	YES
1269	45.5'	PECAN	39.99%	YES
1270	44'	PECAN	15.9%	YES
1271	31'	MONTEZUMA CYPRESS	6.8%	YES
1275	37.5'	PECAN	NO NEW	
1275	37.5'	PECAN	NO NEW	
1275	37.5'	PECAN	87.4%	YES, VARIANCE REQ'D
A	38'	PECAN	31.4%	YES

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Arterberry
3410 Vista Lane
Austin, TX 78703
alcoo@arterberrycooke.com
303.236.5142

Project Owner:
Cody Strong
Project Address:
2904 Riverwood Dr
Austin TX 78746

TREE IMPACTS

drawn by: NPS
checked by: AA
scale: 1" = 16'-0"
first issue:
plot date: 03/08/2022

A1.2

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Arterberry
3416 Vista Lane
Austin, TX 78753
a.cooke@arterberrycooke.com
353.236.5482

Project Owner:
Cody Strong
Project Address:
2904 Riverwood Dr
Austin, TX 78746

NO PART OF THIS DRAWING SHALL BE COPIED OR USED IN CONNECTION WITH ANY PROJECT WITHOUT THE WRITTEN CONSENT OF ARTERBERRY COOKE ARCHITECTS.

EXISTING ELEVATIONS

drawn by: NPS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/08/2022

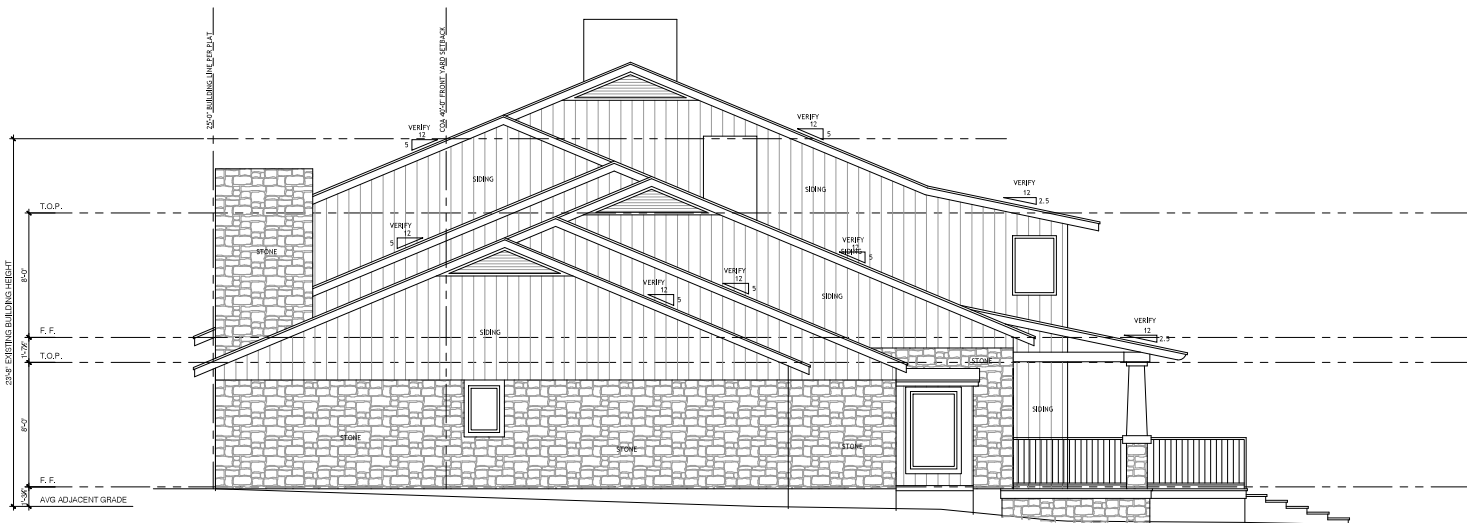
A3.0



EAST ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"

1



NORTH ELEVATION

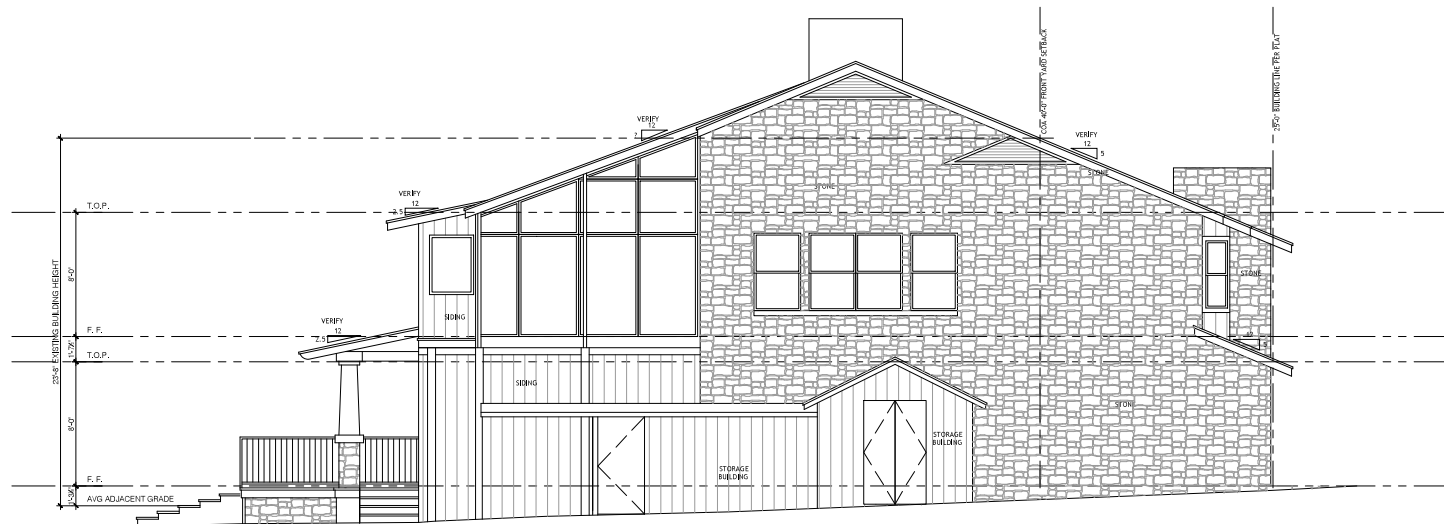
Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"

2



WEST ELEVATION

Scale 1/4" = 1'-0" (TABLOID:Scale 1/8" = 1'-0")



SOUTH ELEVATION

Scale 1/4" = 1'-0" (TABLE D: Scale 1/8" = 1'-0")

Revisions _____

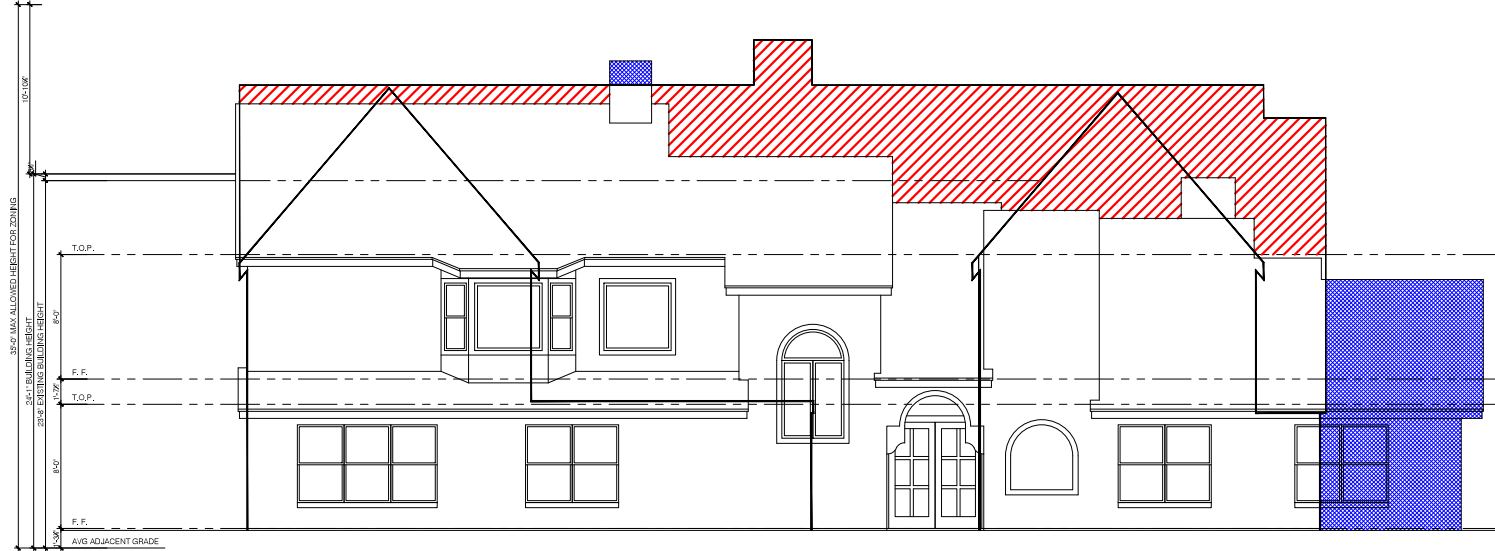
ARTERBERRY COOKE ARCHITECTURE

Architect
Alice Arterberry
2416 Vista Lane
Austin, TX 78703
alice@arterberrycooks.com
323.236.5185

EXISTING ELEVATIONS

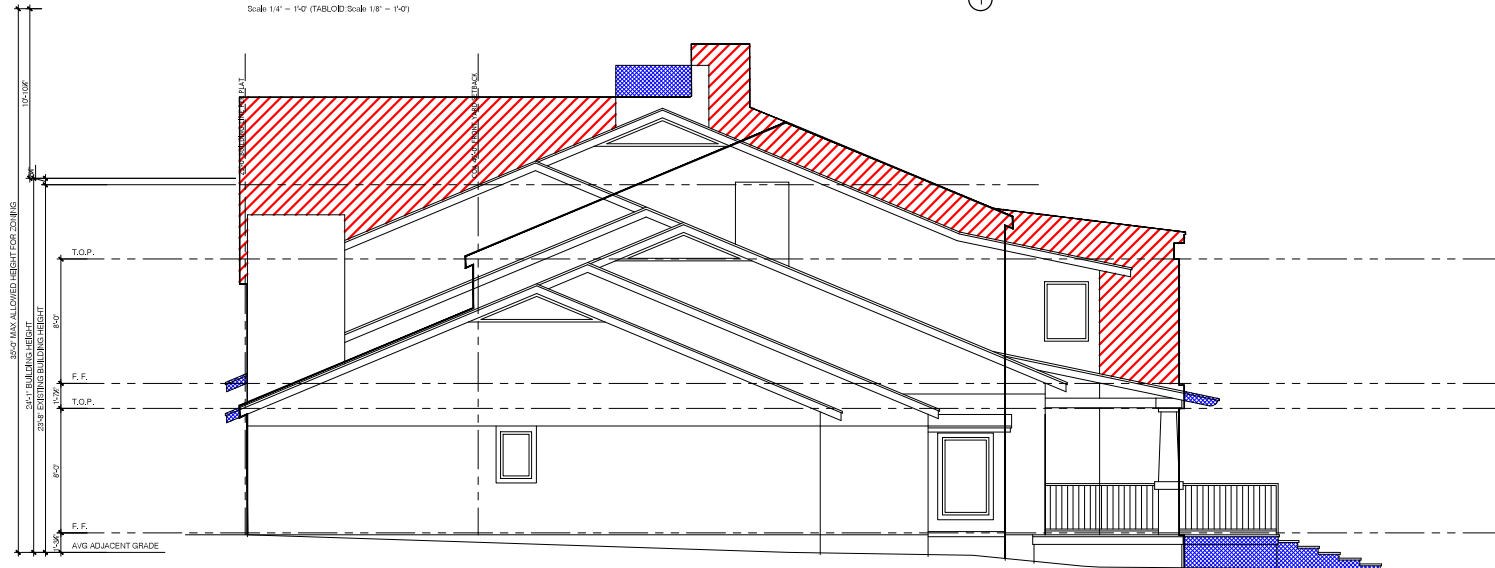
drawn by: NFS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/08/2022

A3.1



EAST ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"



NORTH ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"

/// VOLUME ADDED
■■■■ VOLUME REMOVED

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Alicia Arterberry
2416 Vista Lane
Austin, TX 78703
alcoo@arterberrycooke.com
353.236.5482

Project Owner:
Cody Stang
Project Address:
2904 Riverwood
Austin, TX 78706

NO PART THEREOF SHALL BE COPIED OR USED IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ARTERBERRY COOKE ARCHITECTS.

ZONING EXHIBIT

drawn by: NPS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/08/2022

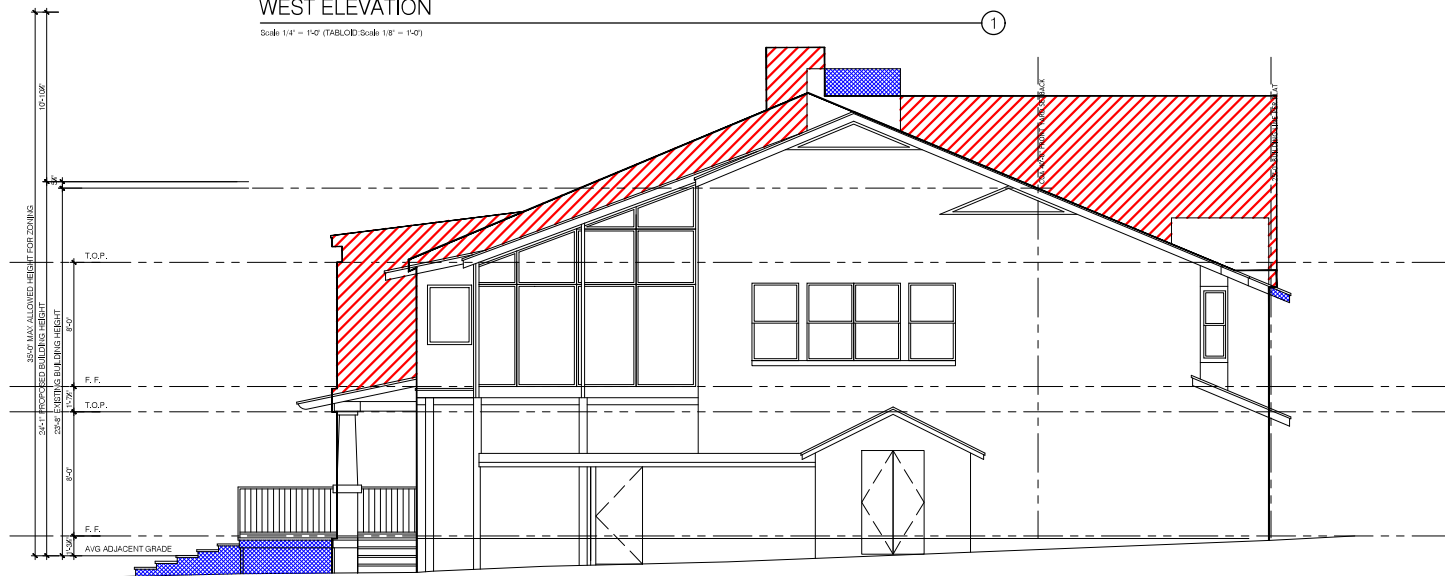
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A3.2



WEST ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"

////// VOLUME ADDED
\\\\\\\\\\\\ VOLUME REMOVED

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Arterberry
3416 Vista Lane
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Project Owner:
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ZONING EXHIBIT

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A3.3

Revisions	By

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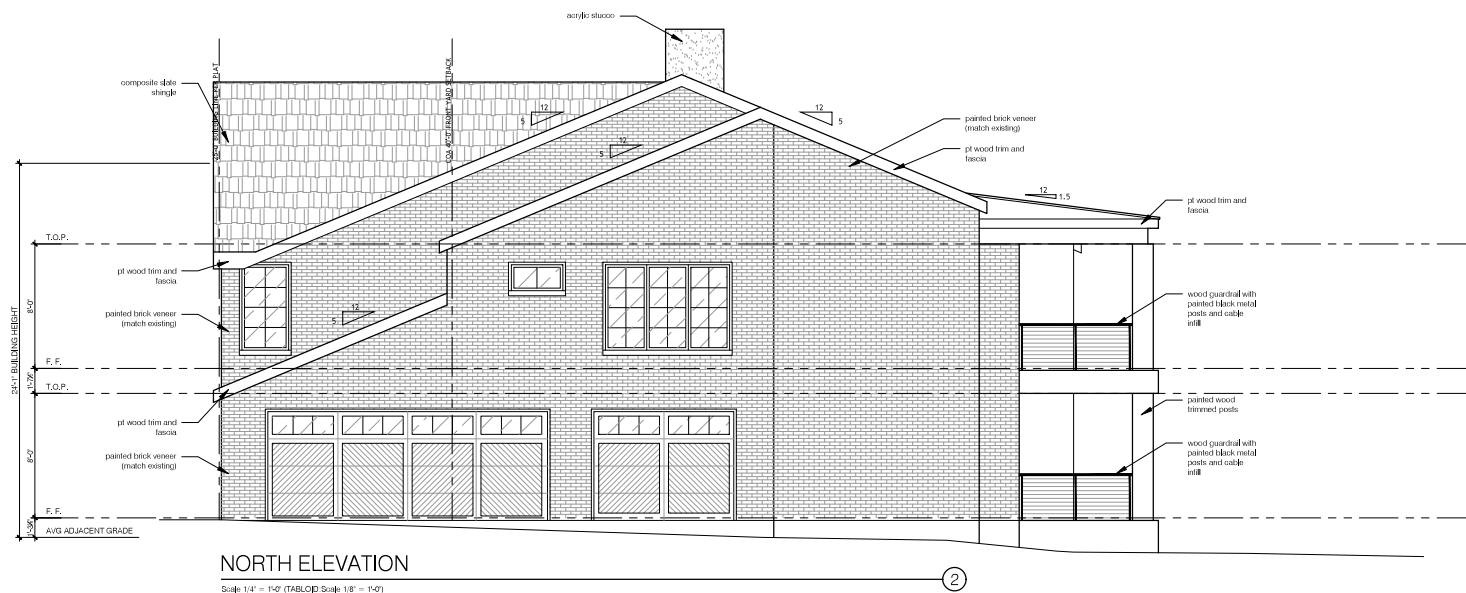
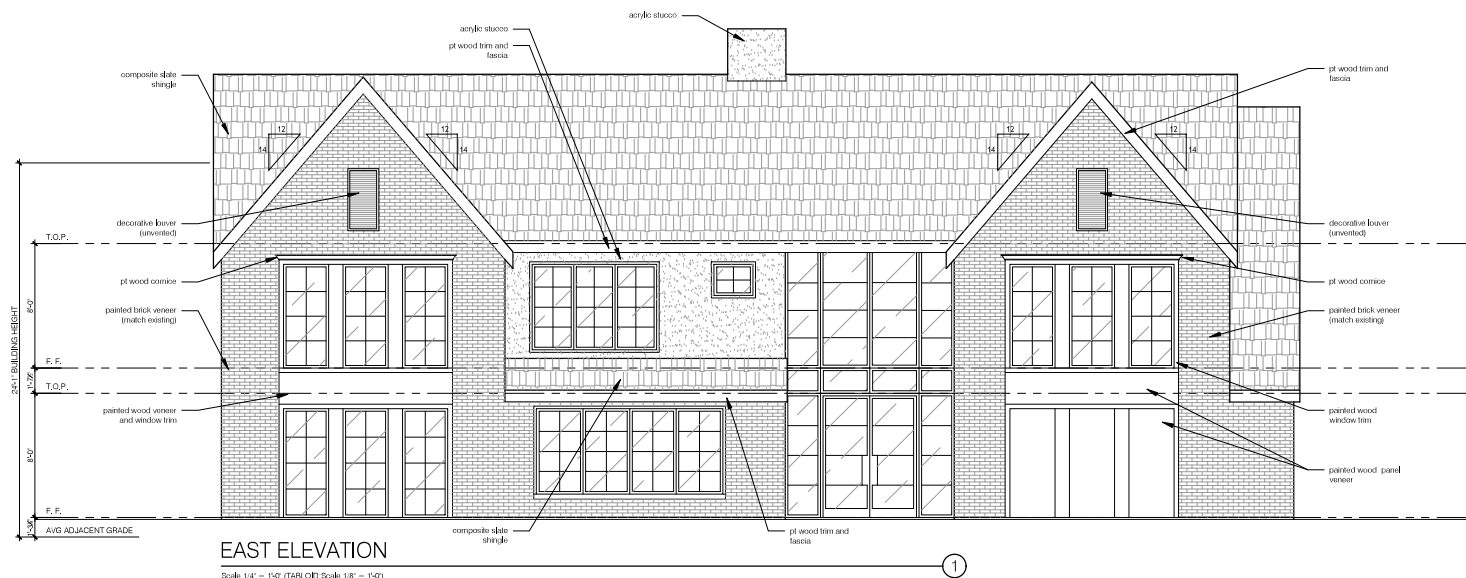
Project Owner:
Cody Stang
Project Address:
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Austin, TX 78746

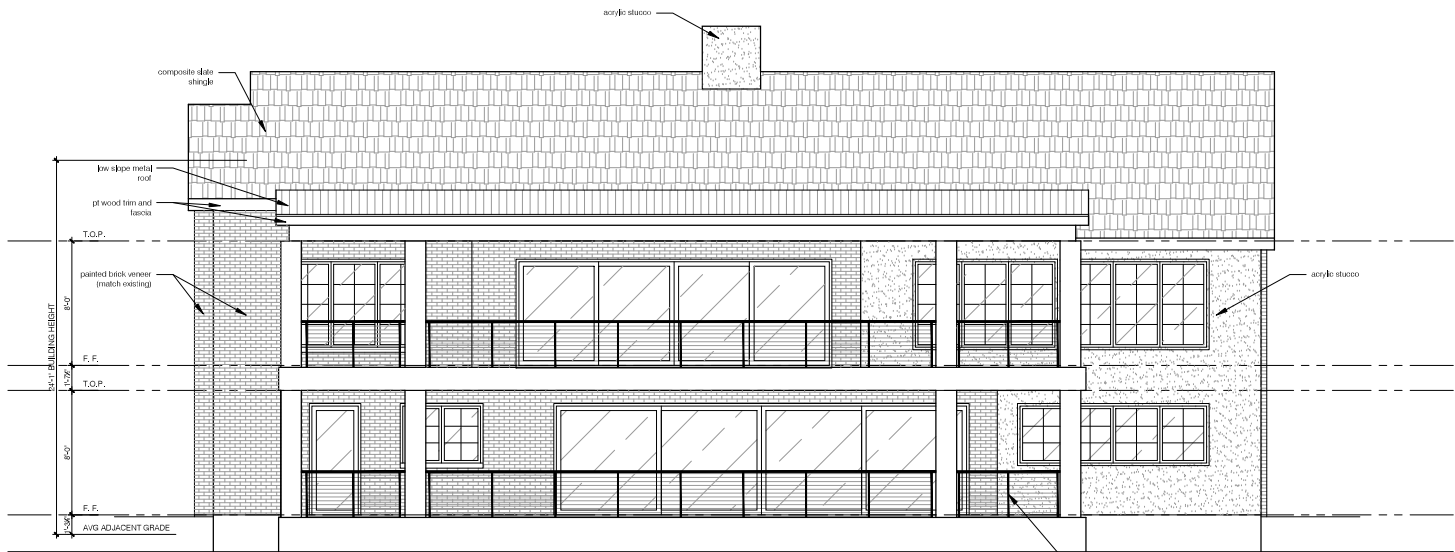
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ELEVATIONS

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checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/08/2022

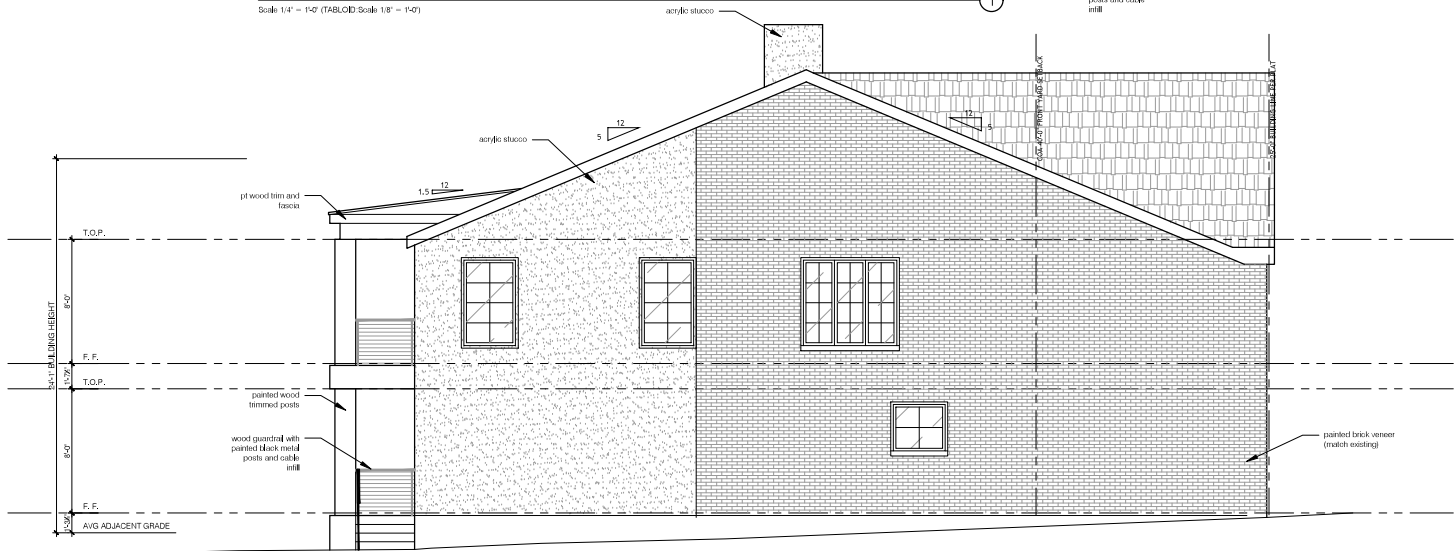
A3.4





WEST ELEVATION

Scale 1/4" = 1'-0" (TABLOID) Scale 1/8" = 1'-0"



SOUTH ELEVATION

Scale 1/4" = 1'-0" (TABLOID) Scale 1/8" = 1'-0"

Revisions	By

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Austin, TX 78746

ELEVATIONS

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checked by: AA
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first issue:
plot date: 03/08/2022

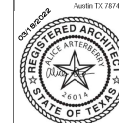
A3.5

- Scale 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")
- min 5.7 SQFT secondary exit from each bedroom w. min 20" width and 24" height clear opening
- glass to be tempered per IRC 308.4
- all dimensions are unit dimensions NOT rough opening dimensions unless otherwise noted



Architect:
Alice Arterberry
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Austin, TX 78703
alice@arterberrycooks.com
323.236.5182

Project Owner:
Cody Starig
Project Address:
2904 Rivercrest Dr
Austin, TX 78746



WINDOW TYPES

drawn by: NPS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/18/2022

A0.2

DOOR TYPES
 Scale: 1/8" = 1'-0" (1/4" = 1'-0")
 • min. 5'10 1/2" secondary set from each bedroom, min 20" width and 24" height door opening - glass to be tempered per ICC 308.4
 • all exterior doors shall have a tight threshold with 1/4" depth weatherstripping
 • all interior doors shall be 30" wide
 • all exterior doors shall be 36" wide
 • all dimensions are in dimensions 3/4" rough opening dimensions unless otherwise noted.

EXTERIOR DOORS TYPES



MARK	TYPE	SIZE			MATERIAL	FUNCTION	REMARKS
		W	H	THK			
1	I	10'-10.5"	17'-7.5"	1 3/4"	STEEL	ENTRY	TEMPERED
2	II	18'-0"	7'-0"	1 3/4"	WOOD	UTILITY	TEMPERED
3	III	9'-0"	7'-0"	1 3/4"	WOOD	UTILITY	TEMPERED
4	IV	3'-0"	7'-0"	1 3/4"	WD/CLAD	ENTRY	TEMPERED
5	V	26'-5"	7'-0"	1 3/4"	METAL	ENTRY	TEMPERED
6	VI	20'-0"	6'-8"	1 3/4"	METAL	ENTRY	TEMPERED
7	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
8	VII	2'-8"	7'-0"	1 3/4"	MDF	PRIVACY	
9	VII	2'-8"	7'-0"	1 3/4"	MDF	PRIVACY	
10	VII	2'-8"	7'-0"	1 3/4"	MDF	PRIVACY	
11	X	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
12	IX	2'-4"	7'-0"	1 3/4"	MDF	PASSAGE	
13	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
14	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
15	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
16	VIII	3'-0"	7'-0"	1 3/4"	MDF	ENTRY	1/2 HR FIRE RATED, IRC 302.0 ENTRY BARRIER FREE THRESHOLD FOR VISTABILITY
17	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
18	VII	2'-8"	7'-0"	1 3/4"	MDF	PASSAGE	
19							
20	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
21	VII	2'-8"	6'-8"	1 3/4"	MDF	PASSAGE	
22	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
23	VIII	3'-0"	6'-8"	1 3/4"	MDF	PASSAGE	
24	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
25	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
26	X	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
27	IX	2'-4"	6'-8"	1 3/4"	MDF	PASSAGE	
28	VIII	3'-0"	6'-8"	1 3/4"	MDF	PASSAGE	
29	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
30	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
31	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
32	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
33	VII	2'-8"	6'-8"	1 3/4"	MDF	PRIVACY	
34	VII	2'-8"	6'-8"	1 3/4"	MDF	PASSAGE	
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ARTERBERRY COOKE ARCHITECTURE

Architect:
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323.236.5182

Project Owner:
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Austin TX 78746

31197202

REGISTERED ARCHITECT
ALICE ARTERBERN
2601A
STATE OF TEXAS

DOOR TYPES

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first issue:
plot date: 03/18/2022

A0.3

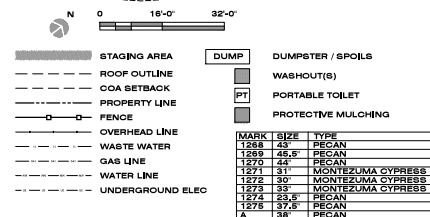
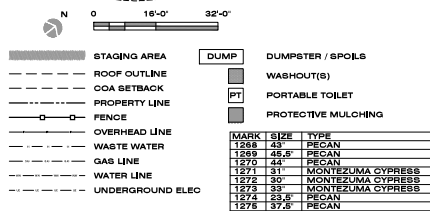
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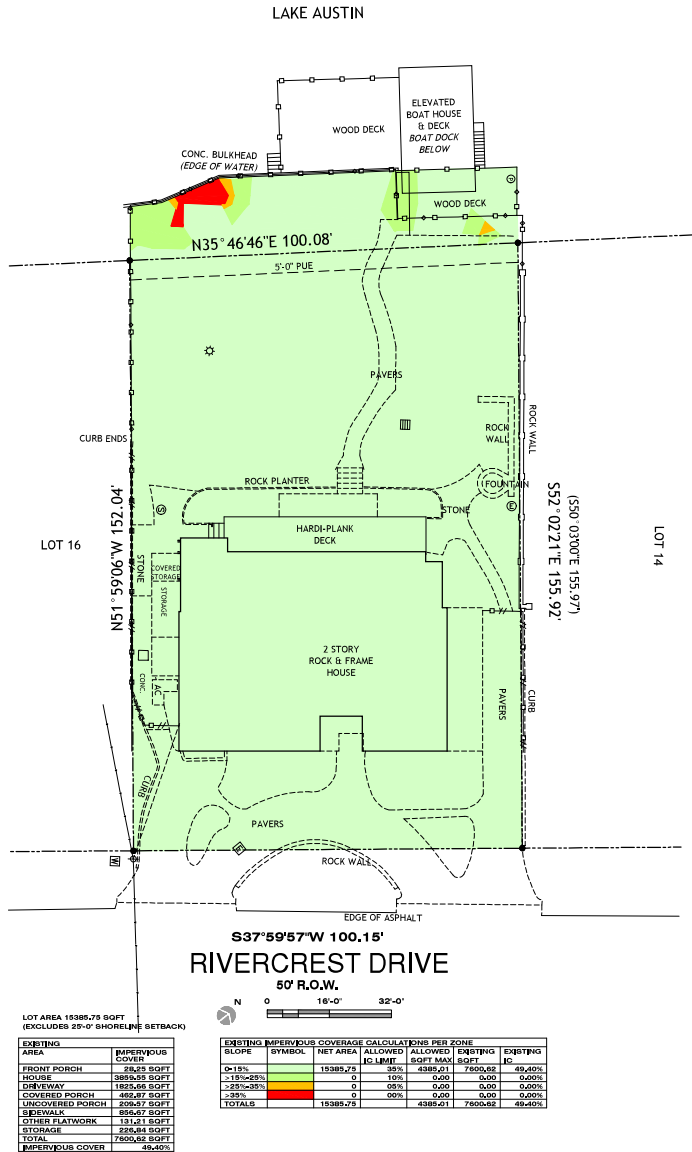
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- A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.
- Above the construction, 8' high chain-link mesh, protective fencing is required around trees within the CRZ. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8' layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone.
- Above the construction, a min 24" (2' tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- There is no cut or fill 4' or greater within the 1/2 critical root zone. Above the construction, a min 24" (2' tall minimum) 1/2 critical root zone and pierce the air-spaded.
- Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and timing of foliar removal should be determined according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damage to trees during construction.
- A "tree-in-lieu" receipt from a Certified Arborist for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)
- Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's CRZ.
- Portable Toilet, Concrete Washout and Paint Washout may not be placed within a protected tree's FULL CRZ.
- Above the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenching will be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5" in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
- If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over the area of the mulch to be laid and compacted to prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

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checked by: AA
scale: 1" = 16'-0"
first issue:
plot date: 03/18/2022

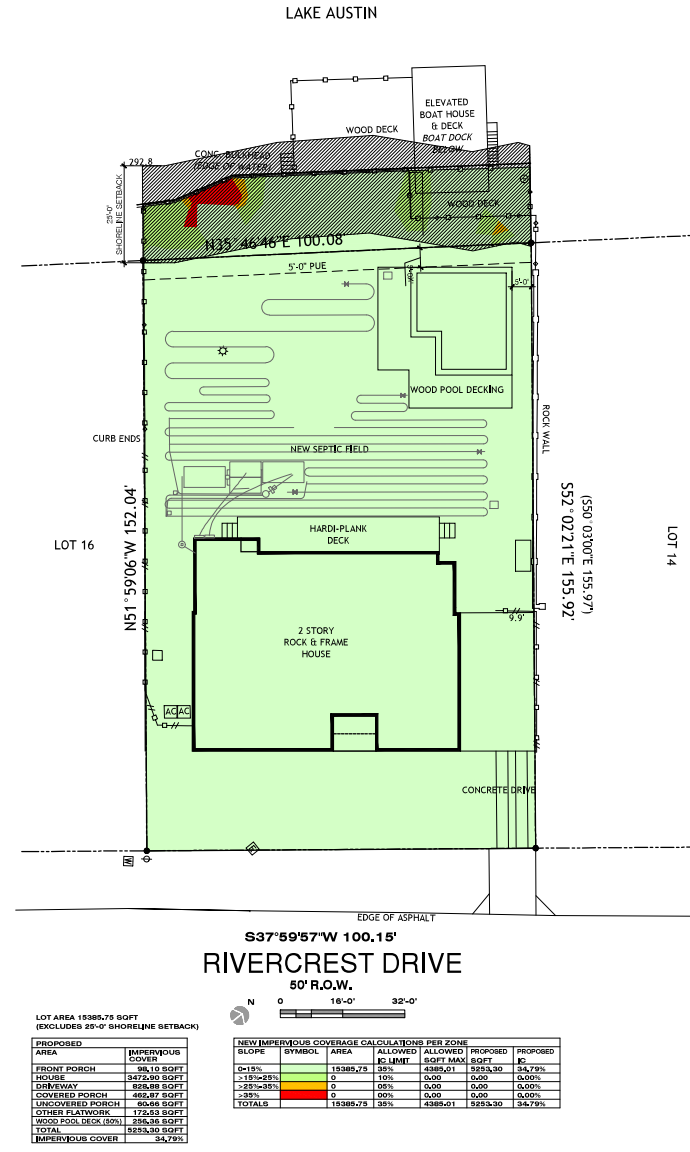
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EXISTING/DEMO SITE PLAN

Scale: 1/16" = 1'-0" (TABLOID Scale 1/32" = 1'-0")



PROPOSED SITE PLAN

Scale: 1/16" = 1'-0" (TABLOID Scale 1/32" = 1'-0")

Revisions	By

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Project Address:
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Austin, TX 78746



IMPERVIOUS COVER MAPS

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A1.1

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TREE ORDINANCE Notes:

- * A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- * There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.
- * Prior to construction, 3' high chain-link mesh, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone.
- * Additionally, min 2x4 or greater size planks (6" tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- * There is no cut or fill 4" or greater within the 1/2 critical root zone of protected trees. Only piers are allowed within 1/2 critical root zone and piers must be air-spaced.
- * Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- * Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)
- * Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 1/2 CRZ.
- * Portable Toilet, Concrete Washout and Paint Washout may not be placed within a protected tree's FULL CRZ.
- * Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air-spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.

If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE 1268 43' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 15% OF THE CROWN.

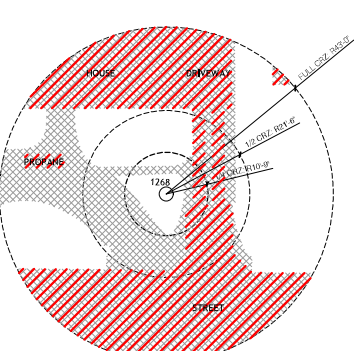
TREE 1269 45.5' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 10% OF THE CROWN.

TREE 1270 44' PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REPLACEMENT OF THE EXISTING SEPTIC SYSTEM. NEW SYSTEM PIPING NO MORE THAN 4" BELOW GRADE. PIPING REDUCED BY APPROX. 70%. ADDITIONALLY REMOVAL OF EXISTING PORCH EXTENSION AND STAIRS TO ACCOMMODATE THE SEPTIC SYSTEM WILL ALSO REDUCE IMPACTS TO THE CRZ.

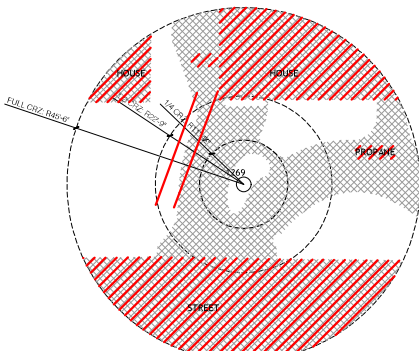
TREE 1271 31' MONTEZUMA CYPRESS, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY THE REMOVAL OF THE SPORT COURT AND EXISTING SIDEWALK WHICH WILL BE PARTIALLY REPLACED BY NEW POOL.

TREE 1275 37.5' PECAN, HERITAGE. THIS TREE IS IN FAIR HEALTH, WITH HOLLOWNESS IN THE TRUNK. THE TRUNK IS LEANING, BUT STABLE. MAJOR BRANCHES EXTEND OVER THE EXISTING HOUSE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY PARTIAL REMOVAL OF OF THE EXISTING REAR PORCH. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 25% OF THE CROWN.

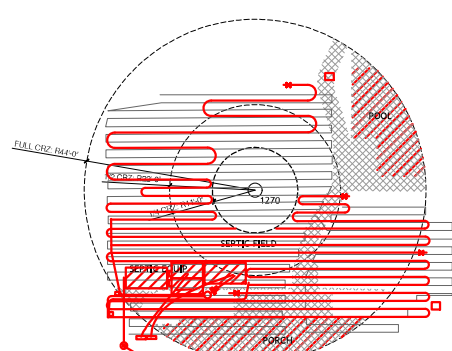
TREE A 38' PECAN, HERITAGE. THIS TREE ON THE NEIGHBORS' PROPERTY. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REMOVAL OF EXISTING STORAGE UNITS AND PAVING. NEW IMPACTS INCLUDE REMOVAL OF EXISTING SEPTIC TANKS AND REPLACEMENT WITH THE NEW SYSTEM.



CRITICAL ROOT IMPACTS
TOTAL CRZ 1268.0 SQFT
EXISTING IMPACTS 3801.1 SQFT
PROPOSED IMPACTS 2566.1 SQFT
IMPACT AS % OF CRZ 44.5%
REDUCED IMPACT 1036.0 SQFT

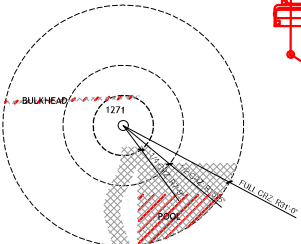


CRITICAL ROOT IMPACTS
TOTAL CRZ 455.0 SQFT
EXISTING IMPACTS 4277.5 SQFT
PROPOSED IMPACTS 2601.0 SQFT
IMPACT AS % OF CRZ 57.1%
REDUCED IMPACT 1676.5 SQFT

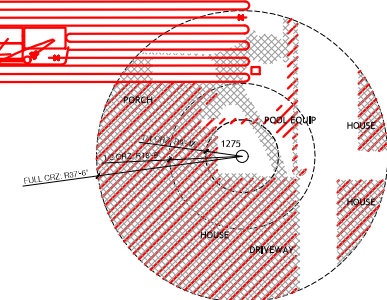


CRITICAL ROOT IMPACTS
TOTAL CRZ 8082.1 SQFT
EXISTING IMPACTS 14321.1 SQFT
PROPOSED IMPACTS 968.9 SQFT
IMPACT AS % OF CRZ 15.9%
REDUCED IMPACT 469.2 SQFT

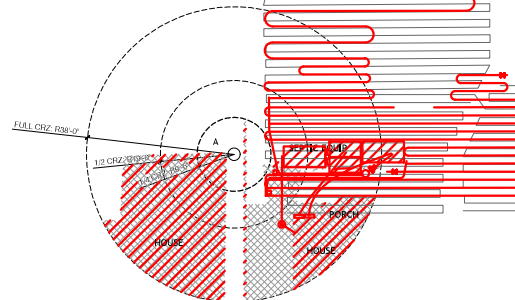
THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED
NEW SEPTIC SYSTEM PIPING BEYOND THE 1/4 CRZ
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE



CRITICAL ROOT IMPACTS
TOTAL CRZ 3019.1 SQFT
EXISTING IMPACTS 206.6 SQFT
PROPOSED IMPACTS 323.2 SQFT
IMPACT AS % OF CRZ 10.7%
REDUCED IMPACT 323.2 SQFT



CRITICAL ROOT IMPACTS
TOTAL CRZ 4417.9 SQFT
EXISTING IMPACTS 2727.3 SQFT
PROPOSED IMPACTS 2417.5 SQFT
IMPACT AS % OF CRZ 54.7%
REDUCED IMPACT 309.7 SQFT



CRITICAL ROOT IMPACTS
TOTAL CRZ 4636.6 SQFT
EXISTING IMPACTS 1629.3 SQFT
PROPOSED IMPACTS 1429.3 SQFT
IMPACT AS % OF CRZ 31.0%
REDUCED IMPACT 196.4 SQFT

THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE

IMPACT SUMMARY				
MARK	SIZE	TYPE	IMPACTS	REDUCTION
1268	43'	PECAN	44.5%	YES
1269	45.5'	PECAN	57.1%	YES
1270	44'	PECAN	15.9%	YES
1271	31'	MONTEZUMA CYPRESS	10.7%	YES
1275	37.5'	PECAN	54.7%	YES
1276	37.5'	PECAN	54.7%	YES
1278	37.5'	PECAN	54.7%	YES
A	38'	PECAN	31.0%	YES

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

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Cody Strong
Project Address:
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Austin TX 78746



TREE IMPACTS

drawn by: NPS
checked by: AA
scale: 1" = 16'-0"
first issue:
plot date: 03/18/2022

A1.2

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

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Austin, TX 78746



FIRST FLOOR PLAN

drawn by: NPS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/18/2022

A2.0

GENERAL NOTES:
Extend new through roof flues and vents up through roof in accordance with the IRC to achieve required clearances. Flash and seal all roof penetrations.

Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms. If applicable, on each additional story including basements and habitable attics. (See Electrical Plan)

Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and/or have an attached garage. (See Electrical Plan)

SPRINKLER NOTES:
A full residential sprinkler system designed, installed and tested in accordance with the 2016 NFPA 13D or the 2015 IRC P2904 standards will be installed in this property. The plans for the sprinkler system must be designed and installed by a Texas Licensed Sprinkler contractor for NFPA 13D systems or a Texas Licensed Plumber with the Multipurpose Residential Fire Protection Sprinkler Specialist (MRFPSS) endorsement. The sprinkler plans must be submitted, reviewed, approved, tested, and inspected by AFD prior to covering the walls and ceilings. A flow test of the most demanding area will be required.

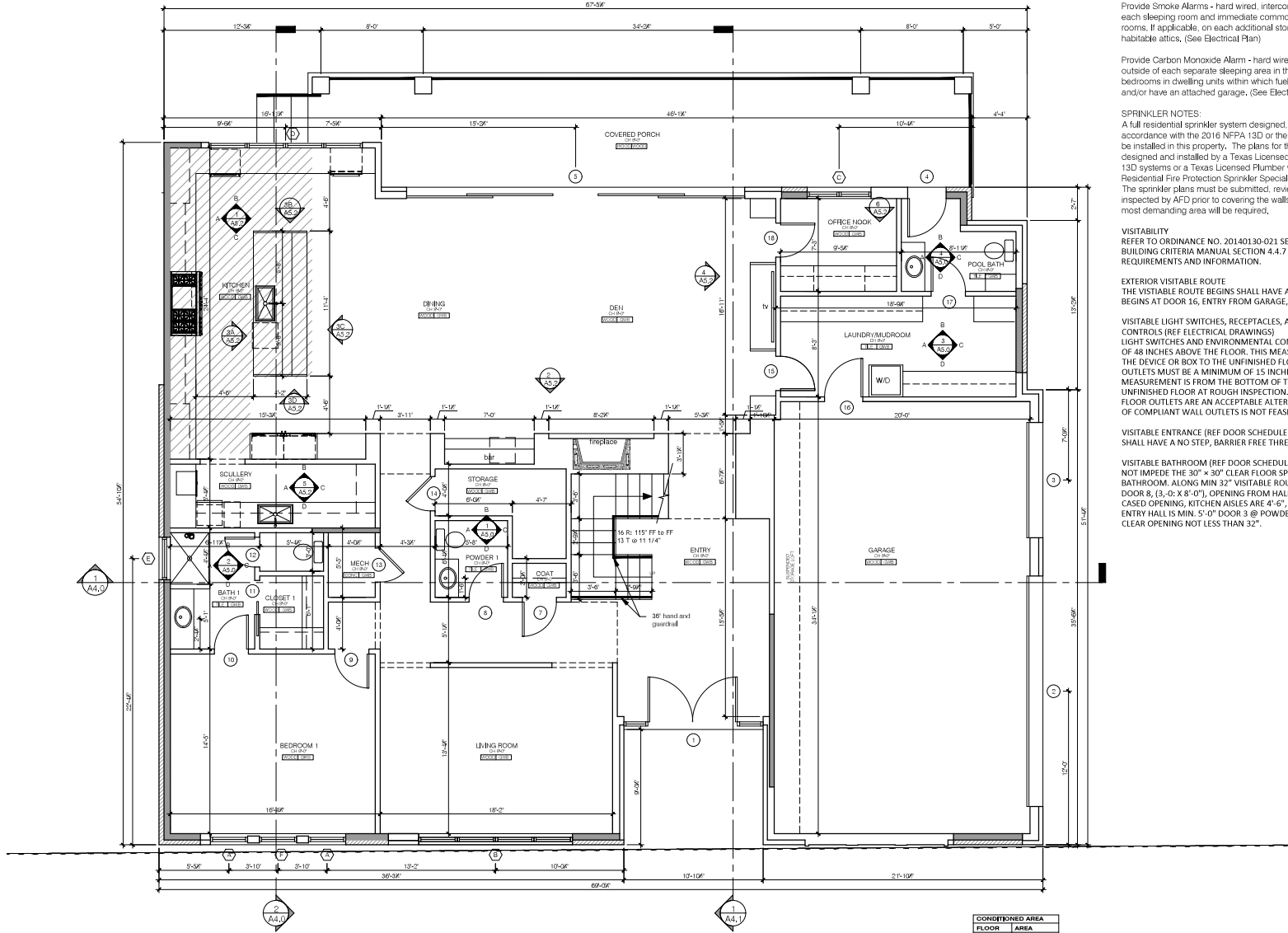
VISITABILITY
REFER TO ORDINANCE NO. 20140130-021 SECTION R320 VISITABILITY AND BUILDING CRITERIA MANUAL SECTION 4.4.7 VISITABILITY FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

EXTERIOR VISITABLE ROUTE
THE VISITABLE ROUTE BEGINS SHALL HAVE A MINIMUM WIDTH OF 36". IT BEGINS AT DOOR 16, ENTRY FROM GARAGE, A BARRIER FREE ENTRY.

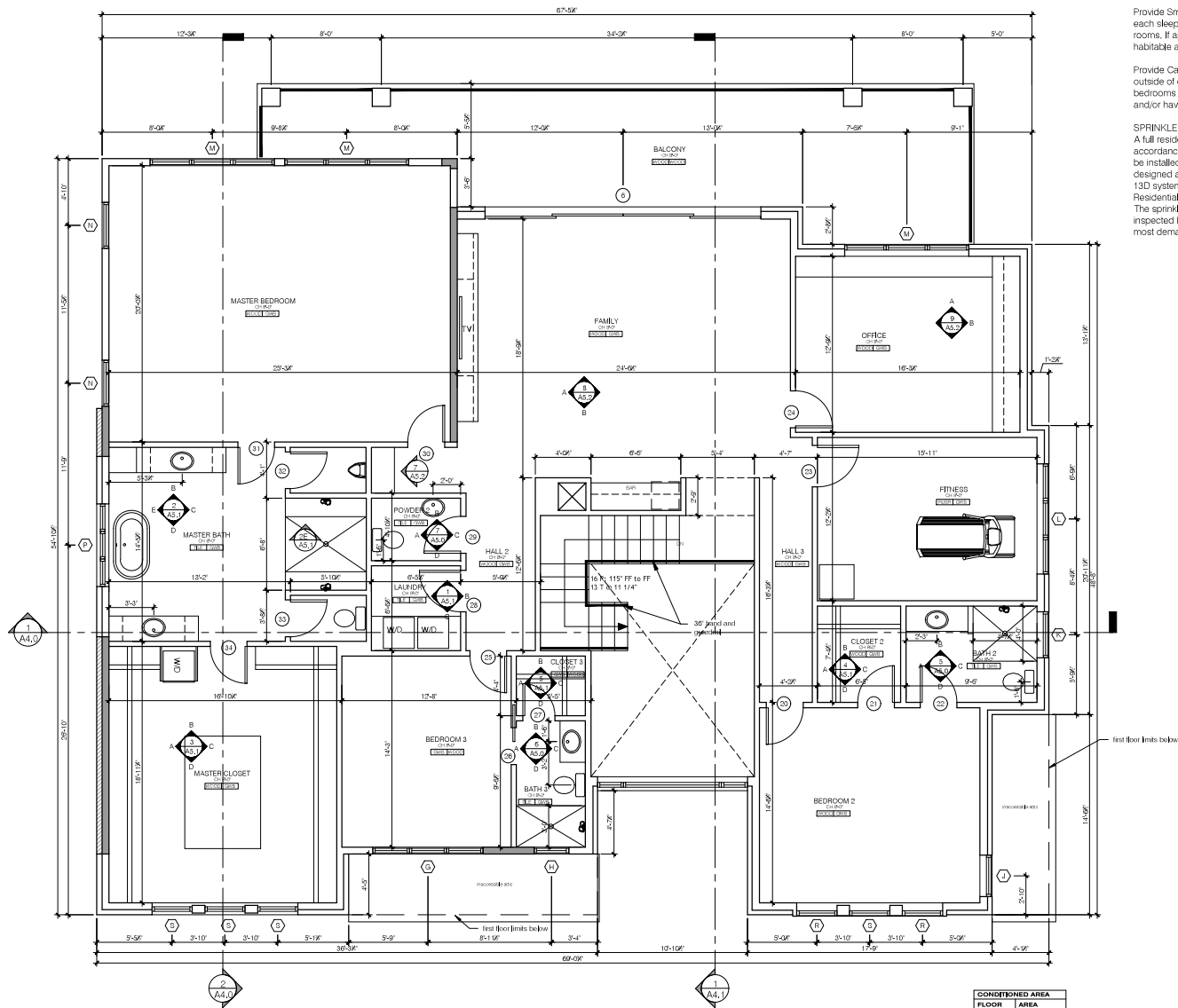
VISITABLE LIGHT SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS (REF ELECTRICAL DRAWINGS)
LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE TOP OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION. OUTLETS MUST BE A MINIMUM OF 15 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE BOTTOM OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION.
FLOOR OUTLETS ARE AN ACCEPTABLE ALTERNATIVE WHERE INSTALLATION OF COMPLIANT WALL OUTLETS IS NOT FEASIBLE.

VISITABLE ENTRANCE (REF DOOR SCHEDULE A0.2) DOOR 8, AT THE GARAGE, SHALL HAVE A NO STEP, BARRIER FREE THRESHOLD.

VISITABLE BATHROOM (REF DOOR SCHEDULE A0.2) DOOR SWINGS SHALL NOT IMPED THE 30" x 30" CLEAR FLOOR SPACE WITHIN THE VISITABLE BATHROOM. ALONG MIN 32" VISITABLE ROUTE FROM VISITABLE ENTRY, DOOR 8, (3'-0" X 8'-0"), OPENING FROM HALL TO KITCHEN IS 3'-0" X 8'-0" CASD OPENING, KITCHEN AISLES ARE 4'-6", OPENING FROM KITCHEN TO ENTRY HALL IS MIN. 5'-0" DOOR 3 @ POWDER ROOM IS 2'-8" X 8'-0" WITH CLEAR OPENING NOT LESS THAN 32".



CONDITIONED AREA	
FLOOR	AREA
FIRST	2737 SQ FT
SECOND	3330 SQ FT
TOTAL	6067 SQ FT



GENERAL NOTES:

Extend new through roof flues and vents up through roof in accordance with the IRC to achieve required clearances, Flash and seal all roof penetrations,

Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms. If applicable, on each additional story including basements and habitable attics, (See Electrical Plan)

Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and/or have an attached garage. (See Electrical Plan)

SPRINKLER NOTES:

A full residential sprinkler system designed, installed and tested in accordance with the 2016 NFPA 13D or the 2015 IRC P2904 standards will be installed in this property. The plans for the sprinkler system must be designed and installed by a Texas Licensed Sprinkler contractor for NFPA 13D systems or a Texas Licensed Plumber with the Multipurpose Residential Fire Protection Sprinkler Specialist (MRFPSS) endorsement. The sprinkler plans must be submitted, reviewed, approved, tested, and inspected by AFD prior to covering the walls and ceilings. A flow test of the most demanding area will be required,

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

Architect:
Alex Arterberry
2416 Vista Lane
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353.236.5482



SECOND FLOOR PLAN

drawn by: NPS
checked by: AA
scale: 1/4" = 1'-0"
first issue:
plot date: 03/18/2022

ROOF LEGEND

- NEW ASPHALT SHINGLE ROOF
- NEW LOW SLOPE STANDING SEAM ROOF
- WALL OUTLINE
- DOWNSPOUT

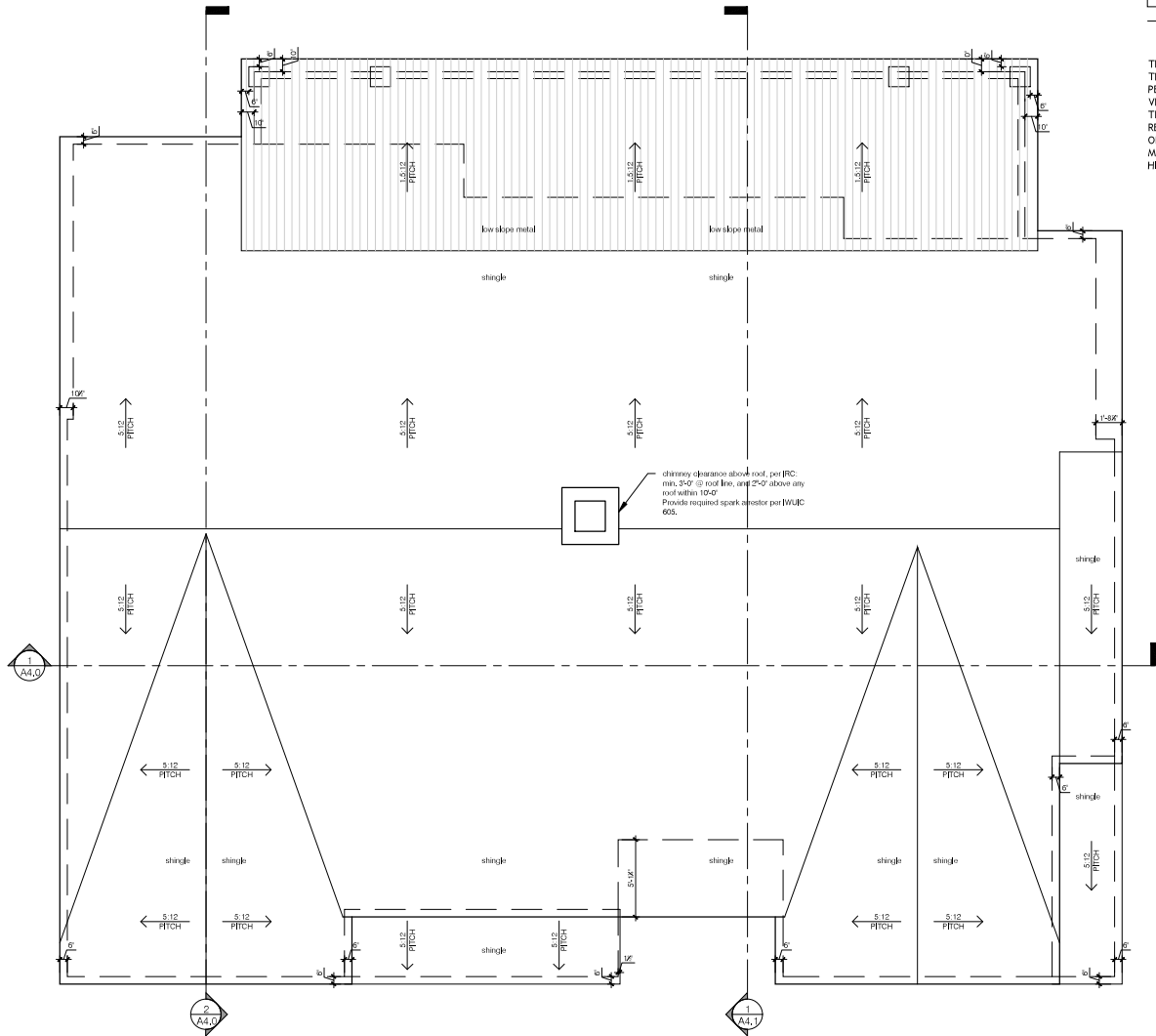
THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT REDUCTION OF TOTAL AREA TO 1/300 IS PERMITTED PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE (NO MORE THAN 3 FEET BELOW THE RIDGE) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. (2021 IRC R806.2) OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENING A MINIMUM OF 1/16" AND NOT EXCEEDING 1/4" INCH (1/8" IN HIGH FIRE HAZARD ZONES).

UPPER ROOF AREA = 3510 SQ.FT.
REQUIRED NET FREE VENTILATION 1685 SQ. IN. (11.7 SQ.F.T.) BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 674SQ. IN. AND NO MORE THAN 842 SQ.IN. AT RIDGE (NOTE: GABLE VENTS ARE DECORATIVE. NOT OPEN TO ATTIC SPACE).

LOWER ROOF (LIVING) AREA = 90 SQ.FT.
REQUIRED NET FREE VENTILATION 44 SQ. IN. (0.3 SQ.F.T) BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 18 SQ.IN. AND NO MORE THAN 22 SQ.IN. AT RIDGE.

LOWER ROOF (GARAGE) AREA = 70 SQ.FT.
REQUIRED NET FREE VENTILATION 34 SQ. IN. (0.23 SQ.F.T) BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 14 SQ.IN. AND NO MORE THAN 17 SQ.IN. AT RIDGE.

LOW SLOPE METAL ROOF AREA = 6645SQ.F.T - unvented



Revisions	By

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303.236.5142

Project Owner:
Cody Stang
Project Address:
2904 Riverwood Dr
Austin TX 78746

REGISTERED ARCHITECT
Alicia Arterberry
2011
STATE OF TEXAS

NO PART OF THIS PROJECT SHALL BE COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF ARTERBERRY COOKE ARCHITECTS.

ROOF PLAN

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A2.2

Revisions	By

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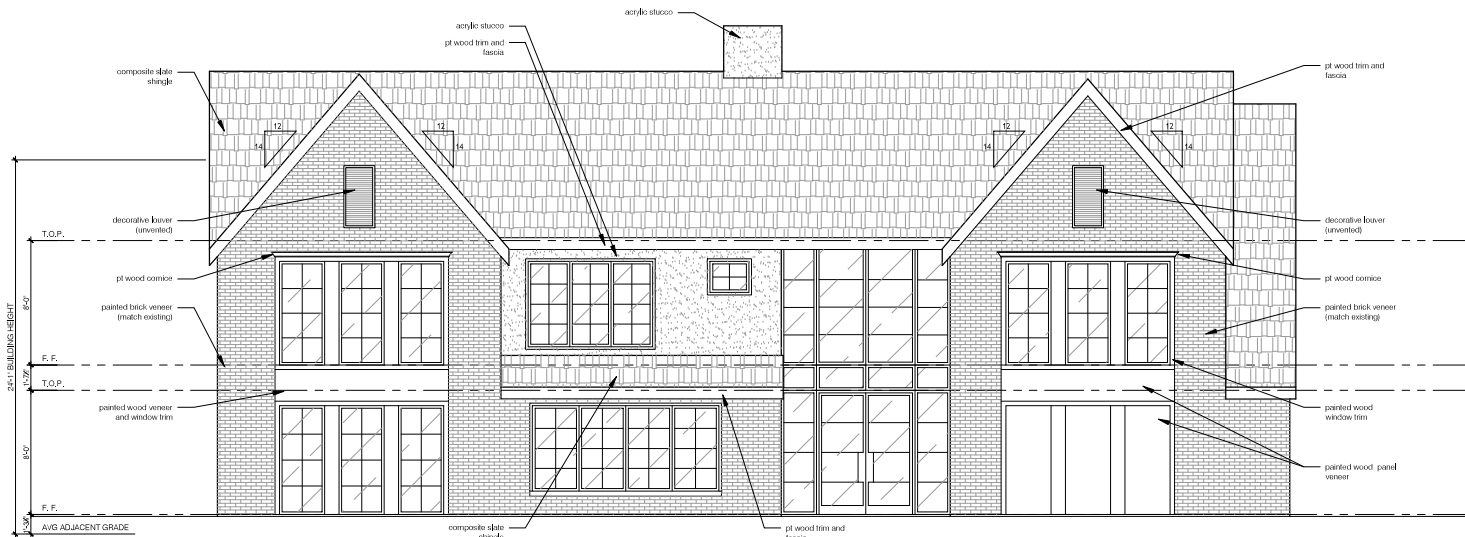


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ELEVATIONS

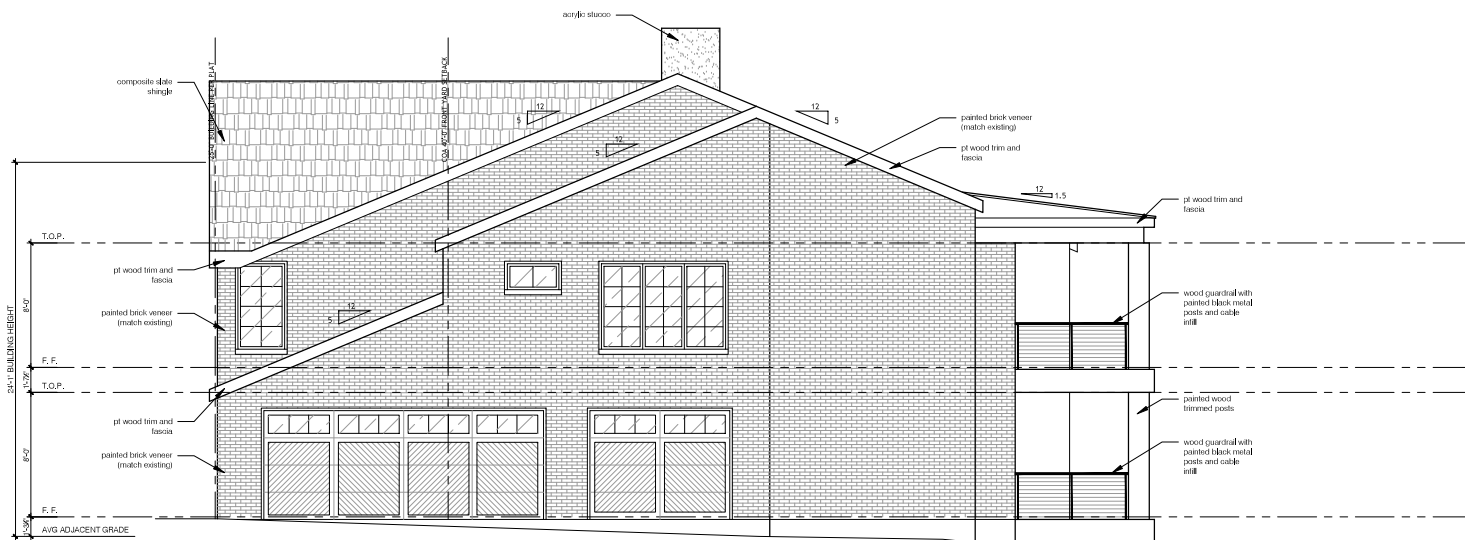
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first issue:
plot date: 03/18/2022

A3.0



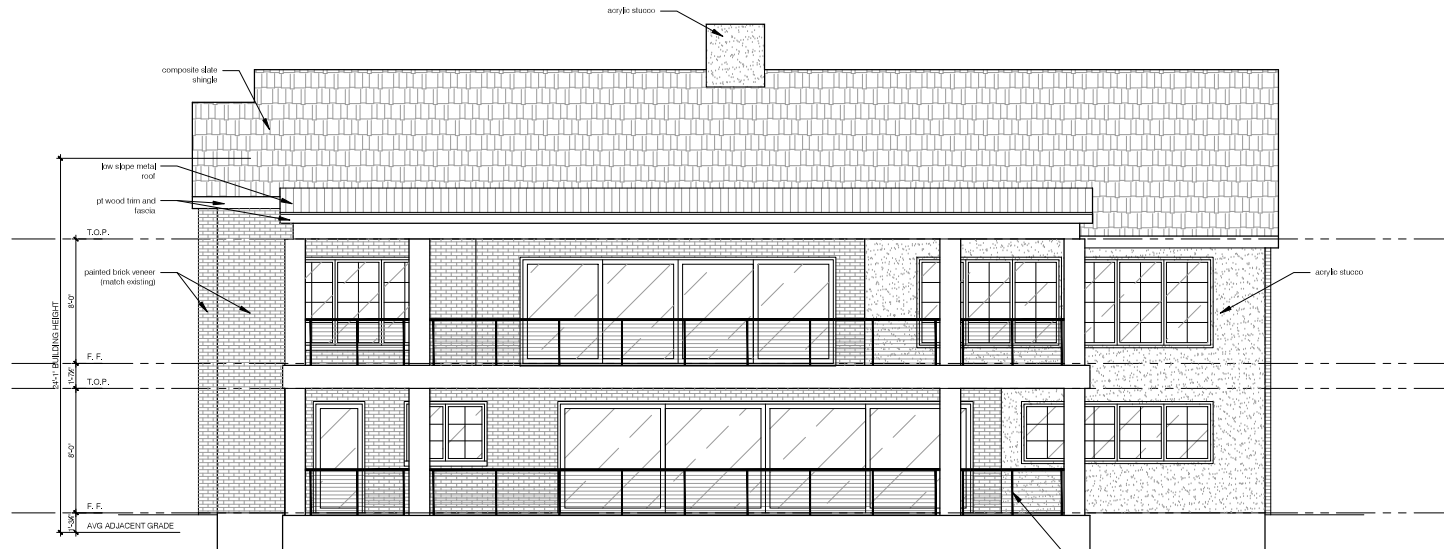
EAST ELEVATION

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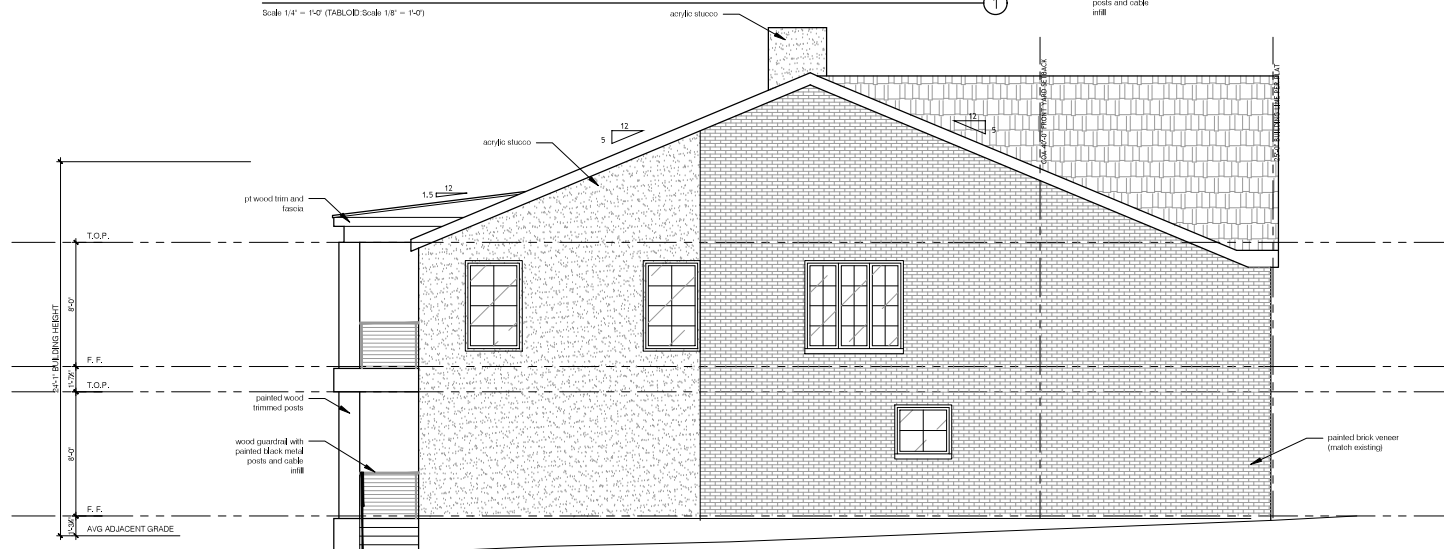
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WEST ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/4" = 1'-0" (TABLOID) Scale: 1/8" = 1'-0"

Revisions	By

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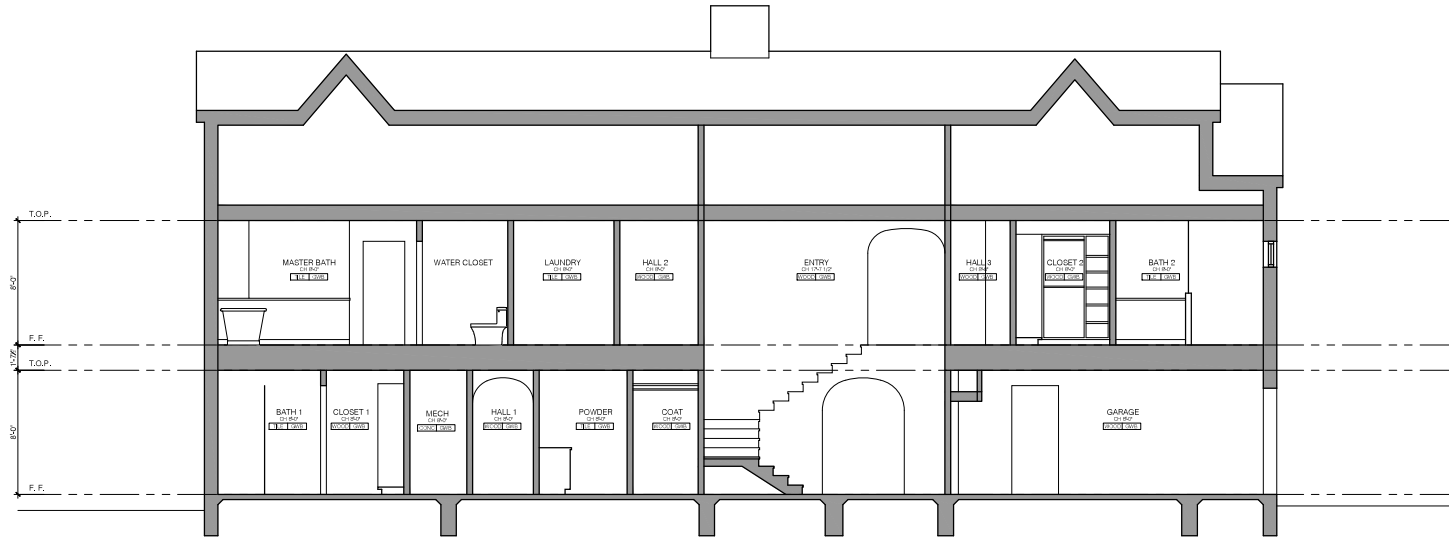
ELEVATIONS

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A3.1

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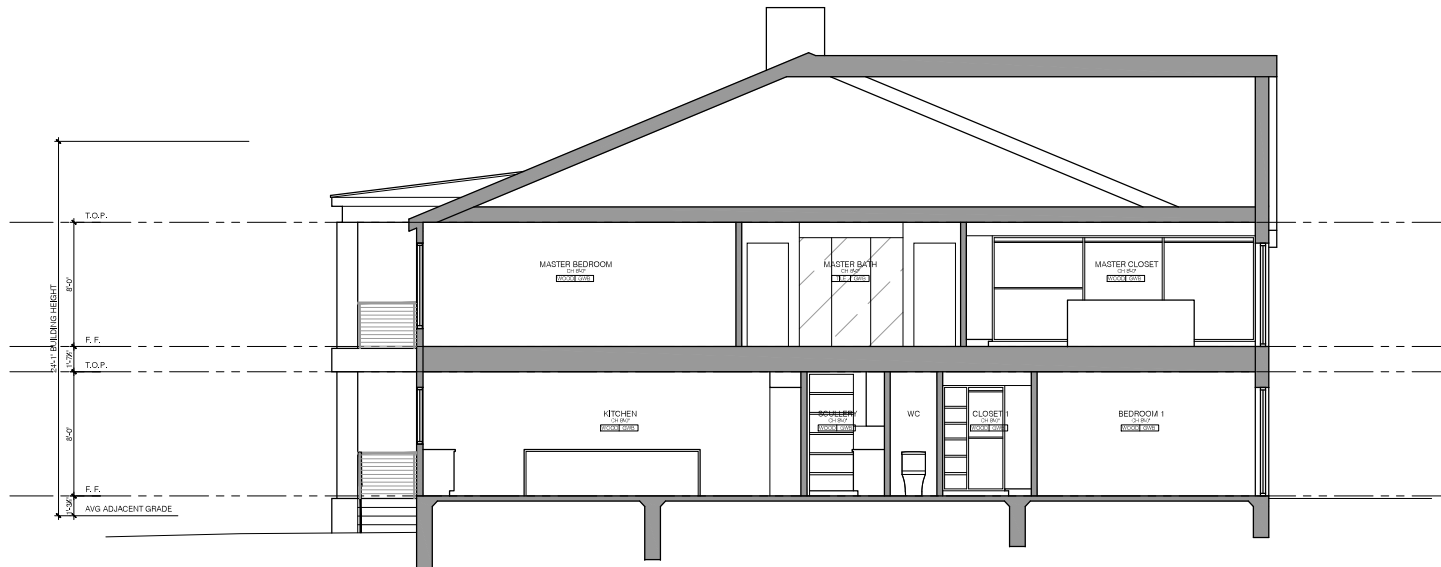
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SECTION

Scale: 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")

①



SECTION

Scale: 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")

②

Revisions	By

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Austin, TX 78746



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A4.0

COURTESY: ARTERBERRY COOKE ARCHITECTS

Revisions	By

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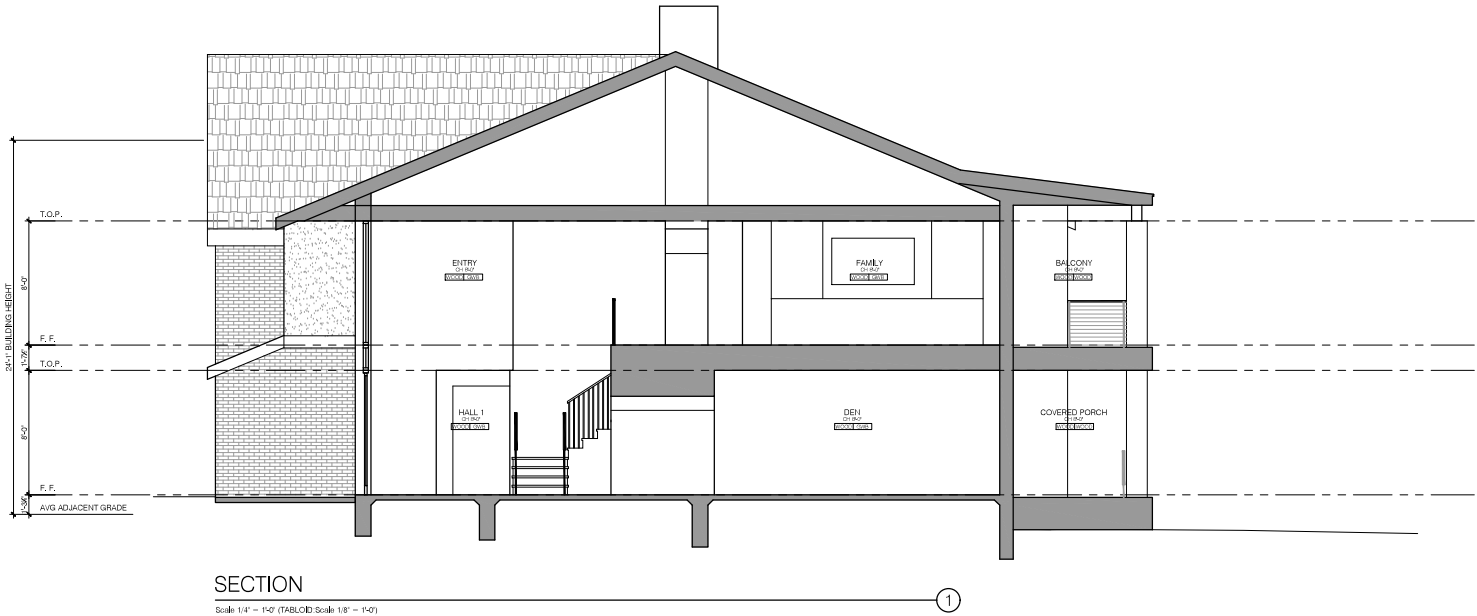


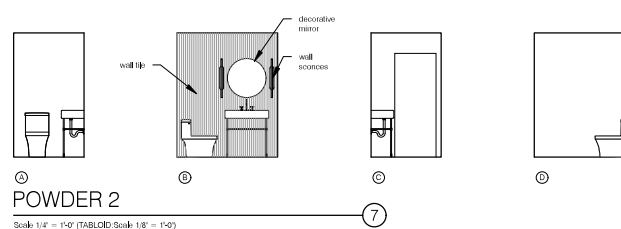
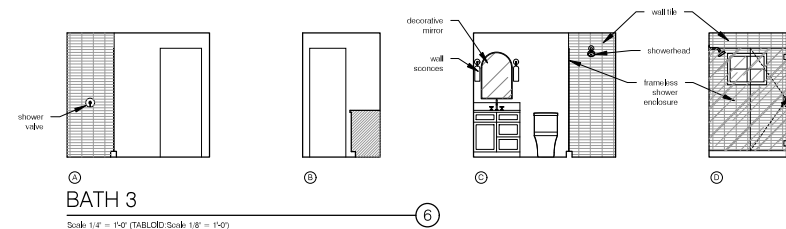
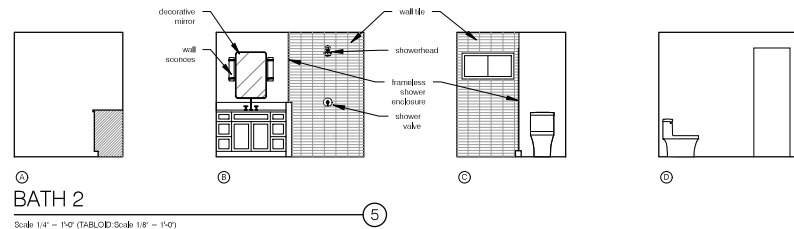
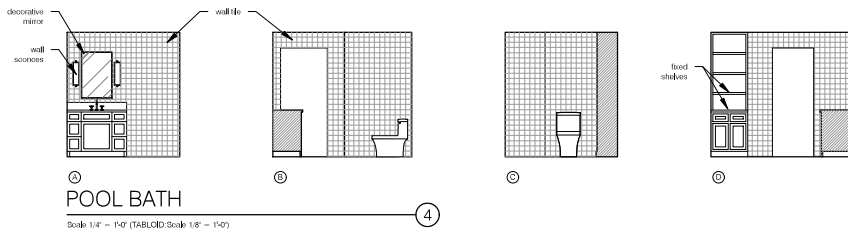
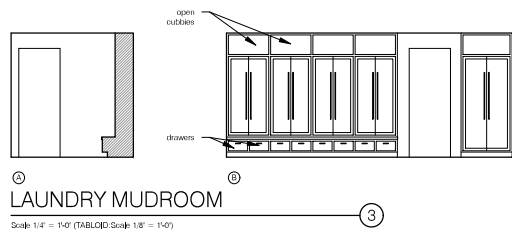
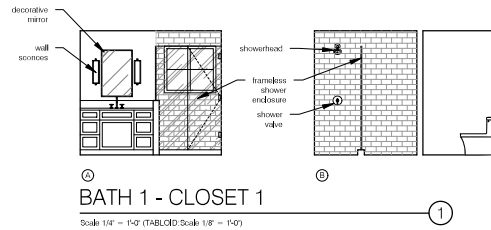
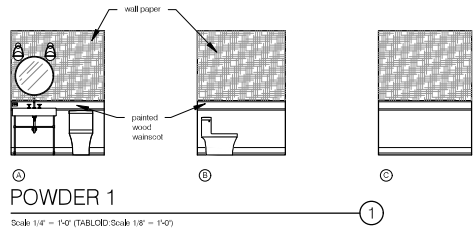
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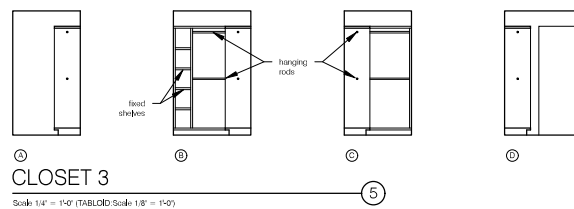
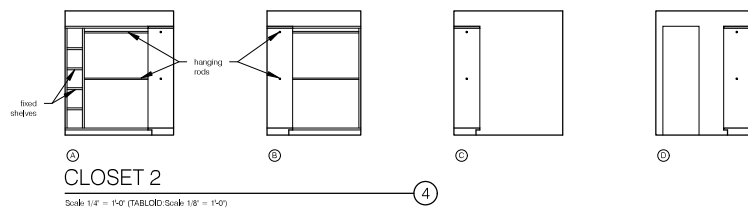
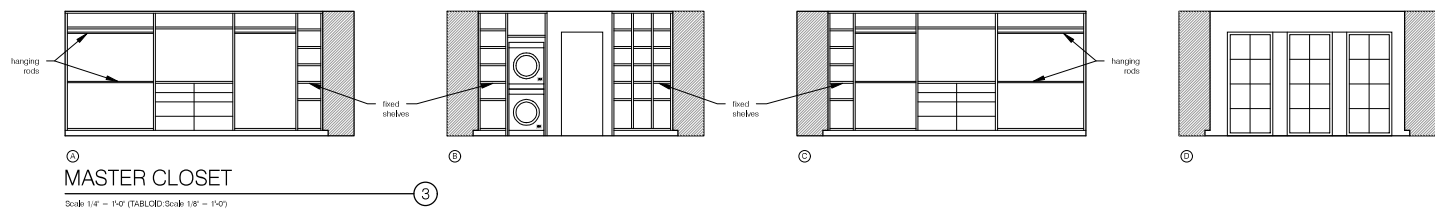
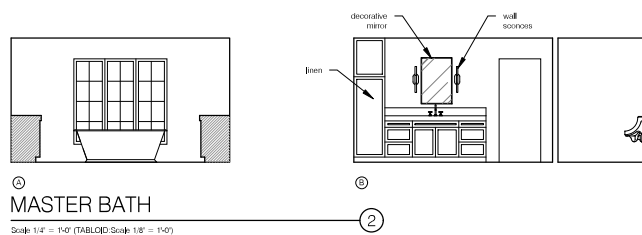
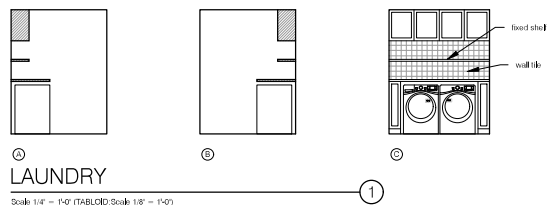
INTERIOR ELEVATIONS

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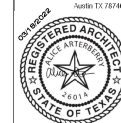


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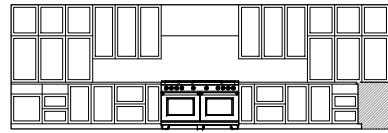


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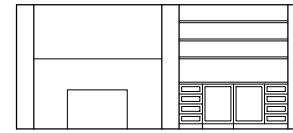
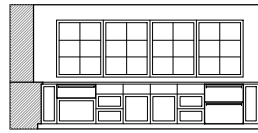
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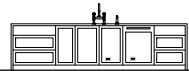
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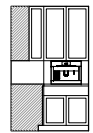
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KITCHEN
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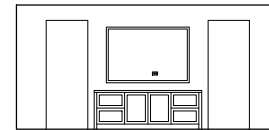
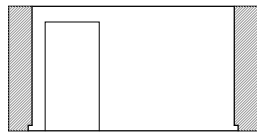
②
FIREPLACE BAR
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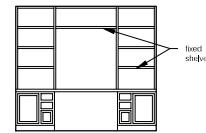
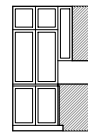
③
KITCHEN ISLAND
Scale: 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")



④
SCULLERY
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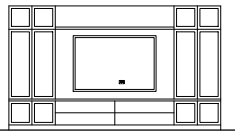
⑤
LIVING ROOM MEDIA
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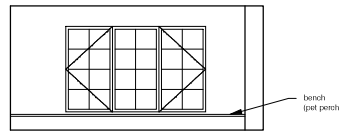
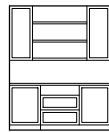
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OFFICE 1
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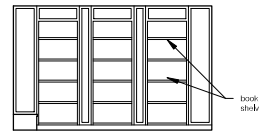
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LINEN
Scale: 1 1/2" = 1'-0" (TABLOID Scale: 3/4" = 1'-0")



⑧
FAMILY ROOM
Scale: 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")



⑨
OFFICE 2
Scale: 1/4" = 1'-0" (TABLOID Scale: 1/8" = 1'-0")



Revisions	By

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Project Owner:
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Project Address:
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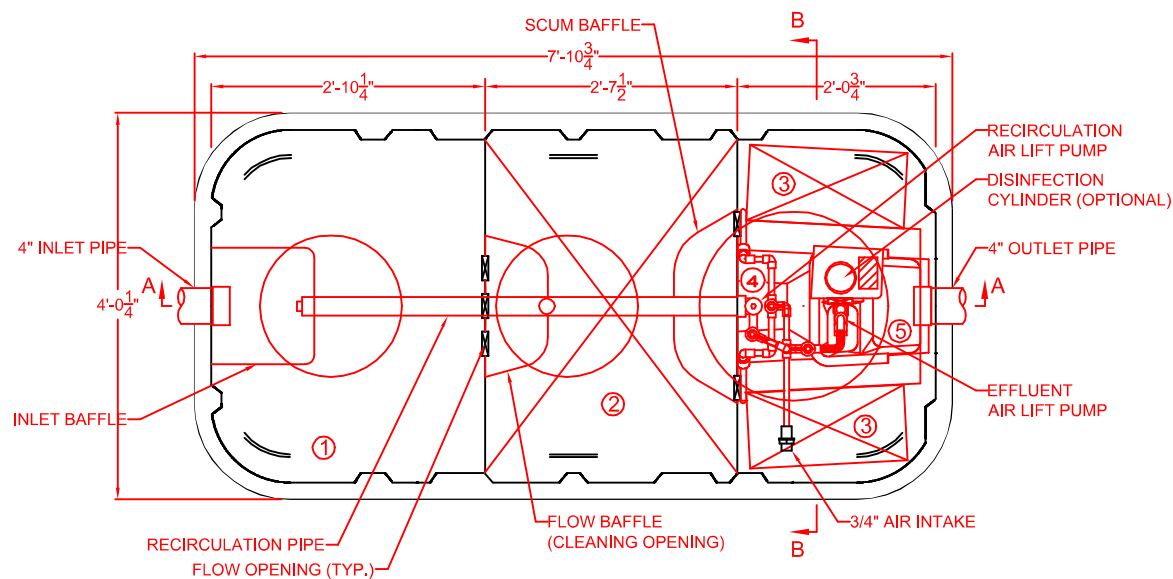


INTERIOR ELEVATIONS

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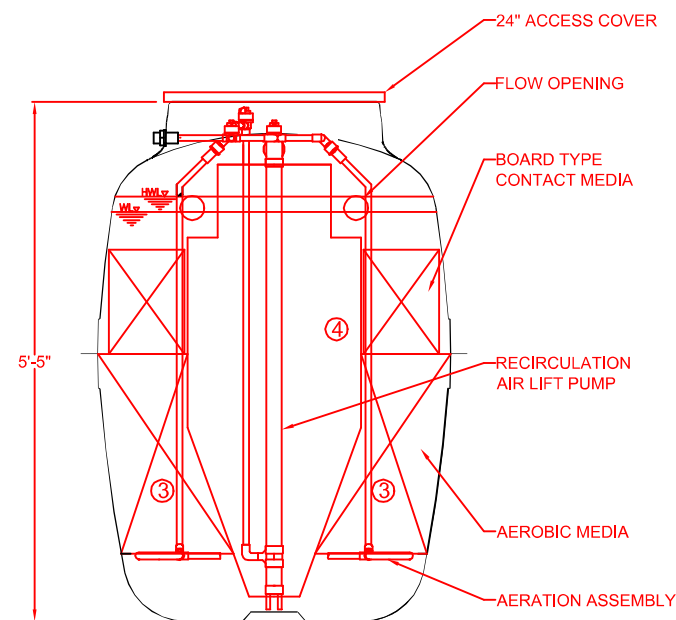
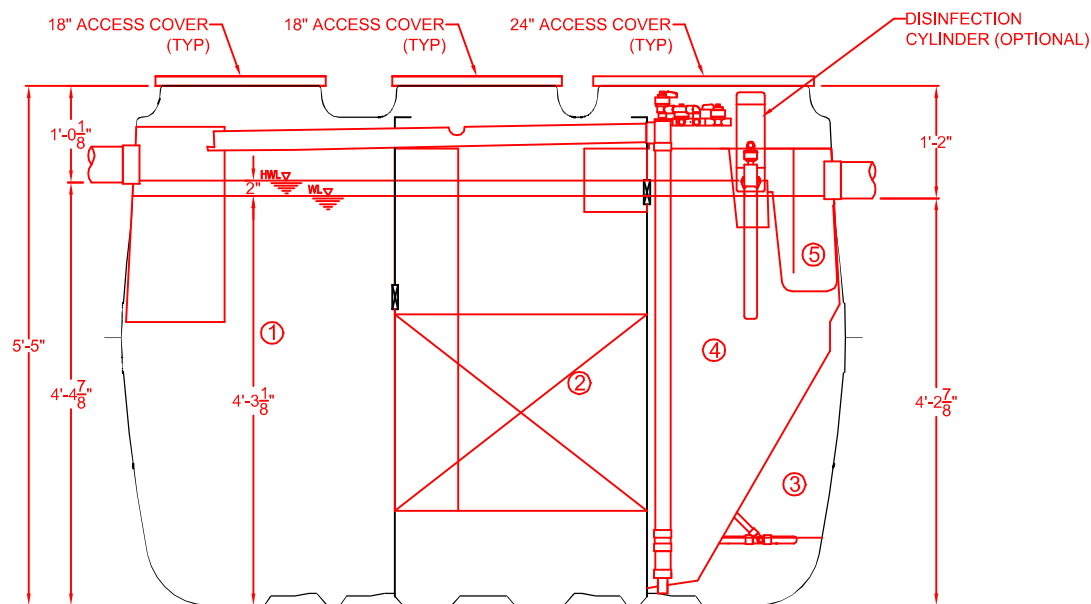
A5.2

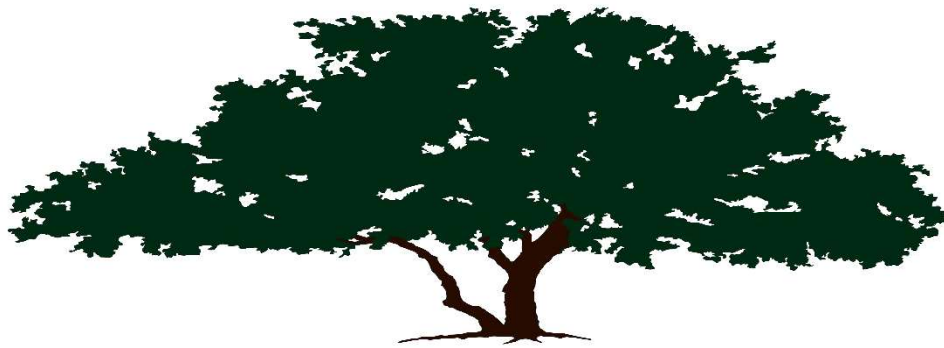
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	CHAMBER	Volume (gal)
①	Sedimentation Chamber	277
②	Anaerobic Filtration Chamber	278
③	Aerobic Contact Filtration Chamber	127
④	Clarification Chamber	63
⑤	Disinfection Chamber	4
Total Volume		749

SPECIFICATIONS	
Anaerobic Media	PP / PE
Board Type Aerobic Media	PVC / PP / PE
Aerobic Media	PP / PE
Blower	2.8 cfm
Tank	FRP
Piping	PVC / PP / PE
Access Covers	Plastic / Cast Iron
Disinfectant (Optional)	Chlorine Tablets





Green Leaf Arbor Care
512-720-2733
ISA Certified Arborist TX-4236A

To whom it may concern,

Re: 2904 Rivercrest. Tag # 1268 43" Pecan, Tag 1269 45.5" Pecan, tag 1274 23.5" Pecan, tag 1275 37.5" Pecan.

Below is a description of our proposed 2 year tree care plan to ensure trees have the best opportunity for a healthy recovery from construction.

Year one: (Will begin immediately)

Initial Treatment Pre Construction: Incorporate organic material into the soil by fracturing the soil via an Air Spade. This reduces soil compaction and increases water movement. This will be performed in wedge shape section in the 1/2 critical root zones.

Deep Root Treatment: Apply a mixture of slow released (low nitrogen) fertilizer, micro/macro nutrient pack, and PHC MycorTree Injectable via soil injection for the full critical root zone. There will be 2 treatments per year 6 months apart.

Light pruning to remove deadwood sucker and crossing branches to insure proper growth and health of the tree.

These trees will be inspected quarterly by a certified arborist to insure the trees are reaching the optimal health and growth.

Year 2

Deep Root Treatment: Apply a mixture of slow released (low nitrogen) fertilizer, micro/macro nutrient pack, and PHC MycorTree Injectable via soil injection for the full critical root zone. There will be 2 treatments per year 6 months apart.

Quarterly checks by certified arborist.

Colby Green
Owner of Green Leaf Arbor Care
512-720-2733



Tx-4236A

Approved BoA Cases in Rivercrest Addition Sections 1 & 2

Permit/Case No	Address	Requested Variance	Granted	Date of Approval
2021-000047 BA	3401 Rivercrest	25-2-551(C)(3)(a)	Yes	11/8/2021
2020-000022 BA	3707 Rivercrest	25-2-492	Yes	1/11/2021
		25-2-551(E)(2)		
2019-000023 BA	2800 Rivercrest	25-2-551(C)(3)(a)	Yes	5/13/2019
2018-000006 BA	6705 Pixie Cove	25-2-551(C)(3)(a)	Yes	7/9/2018
		25-2-551(B)(1)(b)		
2015-000003 BA	3206 Rivercrest	25-2-1176(a)(1)	Yes	5/13/2019
2015-069435 BA	6706 Elfland Dr Bldg BD	25-2-1176(a)(A)(5)	Yes	11/9/2015
		25-2-893(G)(4)		
2013-000044 BA	3207 Rivercrest	25-2-551(C)(3)(a)	Yes	5/13/2013
2013-000027 BA	6703 Leprechaun DR	25-2-551(D)(3)(a)	Yes	5/13/2013
2010-000118 BA	6706 Troll Haven	25-2-551(D)(1)(B)	Yes	11/8/2010
2008-000074 BA	6702 Troll Haven	25-2-551(D)(3)(a)	Yes	6/9/2008
		25-2-551(2)		
1994-000043 BA	3500 Upper Rivercrest	13-2-630	Yes	7/11/1994
1990-000054 BA	6704 Troll Haven	13-2-631	Yes	12/10/1990

D-4/40

