# **BOA GENERAL REVIEW COVERSHEET**

**CASE**: C15-2022-0032 **BOA DATE**: April 11<sup>th</sup>, 2022

ADDRESS: 2904 Rivercrest Dr
OWNER: Cody Stavig

COUNCIL DISTRICT: 10
AGENT: David Cancialosi

**ZONING**: LA

#### **LEGAL DESCRIPTION:**

**VARIANCE REQUEST:** a) decrease the minimum front yard setback from 40 feet to 25 feet and b) increase the height from 23 feet 8 inches to 24 feet 1 inch.

**SUMMARY:** remodel existing residence

**ISSUES**: lot size

	ZONING	LAND USES
Site	LA	Single-Family
North	LA	Lake Austin
South	LA	Single-Family
East	LA	Single-Family
West	LA	Single-Family

### **NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District

Austin Lost and Found Pets

**BRNA ASSOCIATION INC** 

City of Rollingwood

Friends of Austin Neighborhoods

Glenlake Neighborhood Association

Neighborhood Empowerment Foundation

**SELTexas** 

Save Our Springs Alliance

Sierra Club, Austin Regional Group

TNR BCP – Travis County Natural Resources

The Creek at Riverbend Neighborhood Association



# Board of Adjustment General/Parking Variance Application

<u>DevelopmentATX.com</u> | Phone: 311 (or 512-974-2000 outside Austin) For submittal and fee information, see <u>austintexas.gov/digitaldevelopment</u>

## WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, <u>click here to Save</u> the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. *If more space is required, please complete Section 6 as needed.* All information is required (if applicable).

## For Office Use Only

Case #	ROW #		_ Tax #	
Section 1: Appli	cant Statement			
Street Address: 2904 F	Rivercrest			
Subdivision Legal Desci	ription:			
lot 15 block A section	on 1 of the Rivercrest Add	lition		
Lot(s): <u>15</u>		Block(s): A		
Zoning District: LA				
I/We David Cancialosi	Cody Stavig		on behalf of mys	
	Day 11 , Ye			
	for consideration to (sele			
○ Erect ○ Attach	○ Complete	emodel O Ma	intain Other:	
Type of Structure: S	ingle Family Residence			

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

1. 25-2-492(D) LA zoning front setback encroachment to reduce the required 40' to existing 25' setback for existing residence 2. 25-2-963-E-1-B to modify a non-Complying structure's height from 23'8" to 24'1" (the portion being raised is a portion of a footprint located within a zoning setback) in order to add gable roof section higher than existing noncompliant sections

## **Section 2: Variance Findings**

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

#### Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:
The lot is substandard. It is less than 1 acre and does not meet the standards prescribed by
Lake Austin zoning requirements. This limits the property owners ability to reasonably use the
site to the highest and best use as contemplated by the original plat and subsequent "A" and "
LA" zoning categories applied by the City of Austin.
Hardship
a) The hardship for which the variance is requested is unique to the property in that:
The applicant respectfully requests the board acknowledge the hardships in place as a result of
the lot size, City initiated rezoning, existing front setback encroachment acknowledgement via
approved building permits over a 30 year period, and the need to perform a substantial remodel
on a 1988 era structure. Compliance with existing 40 foot setback requires either full or partial
demolition of the existing residence.
h) The hardehin is not general to the area in which the property is located because.
b) The hardship is not general to the area in which the property is located because:
The site was issued a multitude of development permit approvals, exacerbating ongoing
remodels for a noncomplying structure.

#### **Area Character**

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

in which the property is located because.
Zero known adverse impact on any adjacent property whether it be near or far from this site.
The reduction in impervious cover from 50% to 35% is a benefit not only to the environment but
also alleviates any potential drainage concerns which may or may not have been an issue over
the years (we are not aware of any drainage issues)
Parking (additional criteria for parking variances only) Request for a parking variance requires the Board to make additional findings. The Board may grar a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:
<ol> <li>Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement the specific regulation because:</li> </ol>
N/A
<ol> <li>The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because: N/A</li> </ol>
3. The granting of this variance will not create a safety hazard or any other condition inconsiste with the objectives of this Ordinance because:  N/A
<ol> <li>The variance will run with the use or uses to which it pertains and shall not run with the site because:</li> <li>N/A</li> </ol>

# **Section 3: Applicant Certificate**

I affirm that my statements contained my knowledge and belief.	in the complete application are true an	d correct	to the best of
Applicant Signature:		Date: (	03/11/2022
Applicant Name (typed or printed): D	avid Cancialosi		
Applicant Mailing Address: 300 E Hig	hland Mall Blvd		
City: Austin	State: <u>Texas</u>		Zip: 78752
Phone (will be public information):			
Email (optional – will be public inform	ation):		
Section 4: Owner Certifica	te		
I affirm that my statements contained my knowledge and belief.	in the complete application are true an	d correct	to the best of
Owner Signature: <u>Cody Stavíg</u>	/	_ Date: _	03/11/22
Owner Name (typed or printed): Cody	⁄ Stavig		
Owner Mailing Address: 6433 SE 17t	h Ave		
City: Portland	State: <u>Oregon</u>		Zip: <u>97202</u>
Phone (will be public information):			
Email (optional – will be public inform	ation):		
Section 5: Agent Informati	ion		
Agent Name:			
Agent Mailing Address:			
City:	State:		Zip:
	ation):		
Section 6: Additional Space	e (if applicable)		
•	le additional information as needed. To the Section and Field names as well (		
Please see attached cover letter			

300 E Highland Mall Blvd.| Suite 207 | Austin, Texas 78752 Office: 512.593.5361

March 25, 2022

City of Austin Board of Adjustments Austin City Hall 301 E. Cesar Chavez Austin, TX 78701

Re: Variance request – 2904 Rivercrest Drive – UPDATED COVER LETTER

#### Dear Board of Adjustment Commissioners:

I represent the owners of the property located at 2904 Rivercrest Drive. This single-family residence is located in the Rivercrest neighborhood. It is legally known as lot 15 block A section 1 of the Rivercrest Addition. This lot was platted as a 15,416 square-foot lot in the mid-1960s. Travis county references a 1988 construction date of the existing house, but the City of Austin property profile tool as well as and other aerials indicate a structure on site a few years earlier. The current residence is a two-story structure taking access from Rivercrest Drive. The rear of the lot abuts the main body of Lake Austin. A typical boat dock accessory use has existed for quite some time. The residence has undergone a few light remodels as indicated in the city records and the house appears to remain in its original location and shape.

The variance being requested is twofold: the house sits 25' from the front property line: 1) a 15' encroachment into the required 40'front setback creating the existing 25' setback, and 2) Increase the height of a non-complying wall in the front setback. The homeowner proposes to complete some portions of the existing second-story, zig zag type roofline. The existing roof is the original 1988-era construction. It appears outdated and does not lend itself to the highest and best use of the existing single-family residence. "Filling in" the spaces between the existing gable roof sections is part of the proposed remodel scope. This allows better use of the interior space on the second floor. Portions of the proposed roof. However, portions of the roof will exceed the existing structure's height in some places, but in no location will the roof exceed LA zoning's height limitations of 35'. The request is rooted in the City's original erroneous approval of the structure's location within the 40' front yard setback. The existing 25' front yard setback location necessitates a second variance request to raise the height of a noncompliant wall.



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Of considerable hardship, the lot is substandard. It is less than 1 acre and does not meet the standards prescribed by Lake Austin zoning requirements of 1 acre minimums with 100' of street frontage. This is an unfortunate theme found through the Rivercrest neighborhood. In 1983–1984 the city of Austin initiated the Lake Austin zoning initiative via case C14-83-003. As with many properties along the lake, and specifically within this particular neighborhood, this 15,000 square-foot site was immediately made non-compliant because the existing lot was too small and the existing impervious cover was too much.

In other words, what was allowed under "A" zoning as 45% impervious cover was immediately reduced to 35% impervious cover – this 35% allotment is *after* using the net site area calculation as prescribed by 25-2-551, Lake Austin zoning code section.

Under "A" or "AA" zoning found in chapter 13–1, which predates the current Chapter 25–2 zoning chapter, the front setback was 25'. After the site was zoned LA, the city of Austin initiated a string of permits which compound the issues we bring before the Commission today.

In the attached exhibit you will notice the 25' setback to remain. You will also notice the reduction of impervious cover from nearly 50% to under 35%. The property owner is willing to remove an entire circular drive among other impervious cover to satisfy the 35% criteria. This is no small feat on a 15,000 square-foot lot that is required to apply the net site area calculation which, again, unfairly further reduces the amount of land area one is allowed to count as the basis of buildable area.

Although somewhat rare, the second variance to increase the height of a noncompliant wall is necessary in this case. It is not clear if the house was in place when it was rezoned from "A" to "LA" by the City in 1983. As of the date of this letter, the applicant continues to search for more concrete information as to the original construction date. As part of the proposed remodel to update the façade of the existing residence, the height of the first and second floor top plates may need to be raised; however, the overall height of the house will only slightly increase. This is intended to present a more even and more reasonable usable design versus the existing choppy gable roof design. The house will still comply with LA zoning height restriction of 35'.

Only parts of the interior ceiling heights will increase. Again, this is only for contemporary interior design purposes, but as remodels go, raising interior ceiling heights effects several components of the overall remodel. The attached exhibits in your packet reference parts of the



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roof which will be "filled in" with the same gable styled roof as well as updating the façade. There are minor footprint changes to remove small portions of the house, but no HVAC or non-HVAC additions are proposed.

The property owner's architect has diligently worked to propose a stripped-down site which is compliant with the impervious cover limitations. The 25' setback has been in place for over 30 years and appears to have no adverse impact on any surrounding neighbors. In fact, several houses near this house and throughout the neighborhood also have a 25' setback. The proposed design to fill-in portions of the second-floor gable roof may necessitate a variance to raise the height of that wall above the top plate. If the board finds this second variance is not necessary, then the applicant agrees to remove it and only seek the 15' encroachment into the 40' front yard setback.

Attached to this cover letter is the city application and various exhibits. The main hardship initiated almost 40 years ago through its application of LA zoning. The non-compliance issues have been exacerbated by years of permit issuance for additional non-compliant improvements on a substandard lot. Now that the house is over 30 years old, it necessitates a substantial remodel. The regulations in place at the time of the original construction are the same regulations currently in place, yet the original and subsequent permits all issued by the City of Austin, created a situation that requires relief from the land development code to maintain the existing house in the existing location.

An alternative remedy is to completely demolish the house and erect a new residence behind the 40' setback. Or, to demolish the first 15' of the existing façade and completely reengineer the structure to have the front façade start at the 40' setback. This would not only be unheard of, but completely unreasonable and untenable. It creates a substantial hardship for the property owner, especially when prior owners of the same structure have been afforded administrative remedy yet have not been required to seek relief.

Ultimately, the plat contemplated single-family use upon its approval in the mid-60s. The single-family residence was permitted by the city of Austin and certainly is a reasonable use within the applicable zoning. There is zero adverse impact to any neighbors adjacent or afar.

The commission has recognized issues of this kind in and around the Rivercrest neighborhood on many cases in recent years. If approved, my client will perform the minimum but necessary



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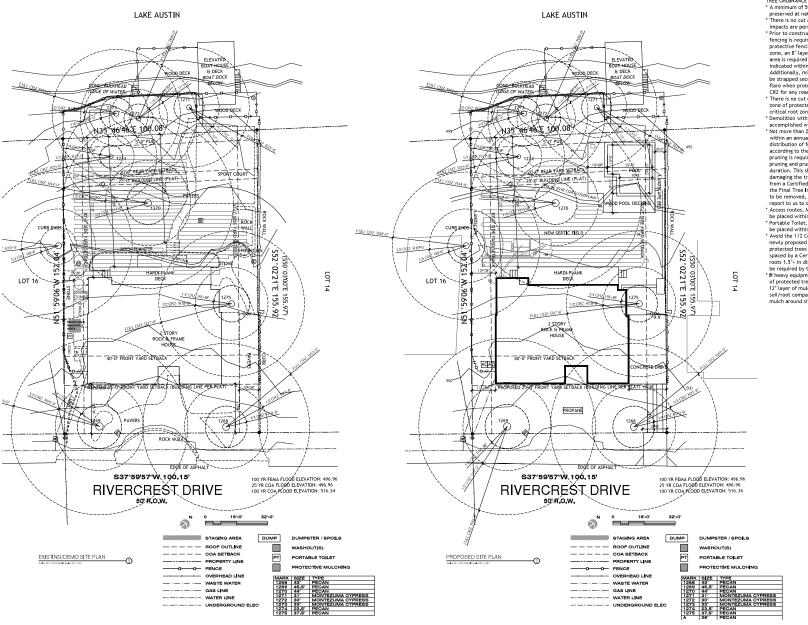
Office: 512.593.5361

remodel scope bringing the 1980's era structure into current code as well as contemporary aesthetics found not only in this neighborhood, but throughout the majority of the surrounding areas as a whole.

On behalf of the property owner, the applicant respectfully requests the Board approve the requested variances.

Respectfully,

David C. Cancialosi



TREE ORDINANCE Notes:

\* A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover. \* There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.

impacts are permitted within the 1/4 critical root zone. Prior to construction, 5 migh chain thin meah, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire 's critical root zone, an 5' layer of much within the entire available root zone and the state of the critical root zone. Additionally, min 2-4 or greater size plants (6' tall minimum) to be strapped securely around a protected tree's truth and root flare when protective fencing doesn't incorporate the entire 1/2 (RZ for any reason at any time in the project.

\* There is no cut or fill 4" or greater within the ½ critical root zone of protected trees. Only piers are allowed within ½ critical root zone and piers must be air-spaded.

\* Demolition within the 1/2 critical root zone must be

accomplished with hand tools.

Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A 'paid in full' receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)

\* Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 1/2 CRZ \* Portable Toilet, Concrete Washout and Paint Washout may not

be placed within a protected tree's FULL CR2 "Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 's CR2 of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30° to avoid cutting roots 1.5° in diameter and the paid receipt for the work will be required by the Final Tree Brapector.

If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 31/4 plywood over 2x4 lumber over 12' layer of much to bridge over the roots and prevent soil/root compaction. After construction is completed, spread much around site to leave a max layer of 3" within root zones.

Revisions

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ARTERBERRY COOKE ARCHITECTURE

Architect:
Alice Arlerberry
2416 Vista Lane
Austin, TX 78703
@arterberrycooke.com

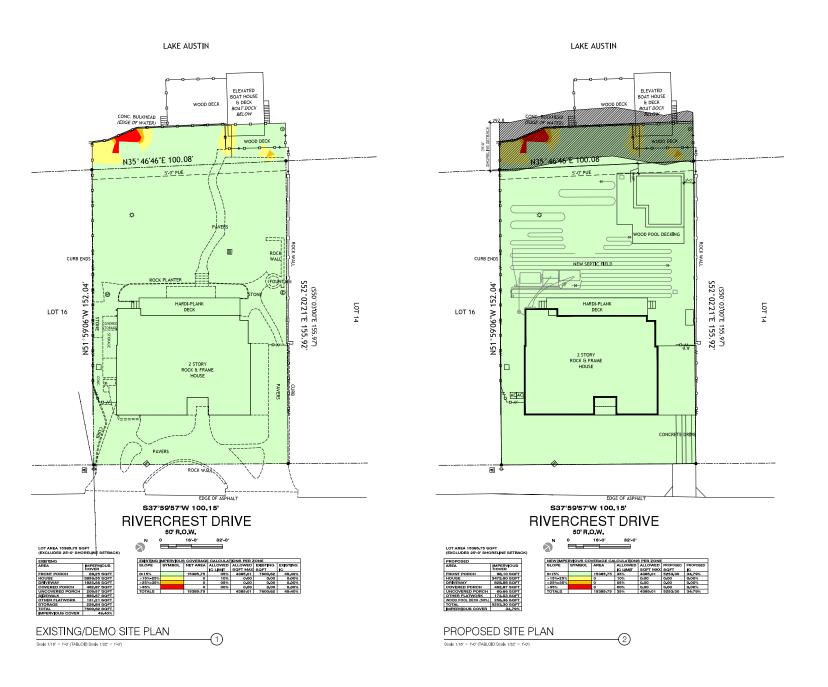
Project Owner Cody Staviç Project Address 904 Rivercrest D

SITE PLANS

drawn by: NFS checked by: AA scale: 1" = 16-0" first issue:

plot date: 03/08/2022

A1.0



**ARTERBERRY COOKE** ARCHITECTURE IMPERVIOUS COVER MAPS drawn by: NFS checked by: AA scale: 1" = 16'-0" first issue: plot date: 03/08/2022 A1.1

plot date: 03/08/2022

A1.2

#### TREE ORDINANCE Notes:

- \* A minimum of 50 percent of the critical root zone must be
- preserved at natural grade, with natural ground cover.
- \*\*There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone. \* Prior to construction, 5 high chain link mesh, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire ½ critical root
- zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone. Additionally, min 2x4 or greater size planks (6 tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- \* There is no cut or fill 4" or greater within the ½ critical root zone of protected trees. Only piers are allowed within 1/2 critical root zone and piers must be air-spaded.
- \* Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- \* Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired
- the rink rise Replaced. It is so into the direct disciply is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEPORE performing this work.)

  "Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 172 CRZ

  Portable Toilet, Concrete Washout and Paint Washout may not
- be placed within a protected tree's FULL CRZ
- ' Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
- \* If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE 1268 43" PECAN HERITAGE PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING
DRIVEWAY, TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 15% OF THE CROWN.

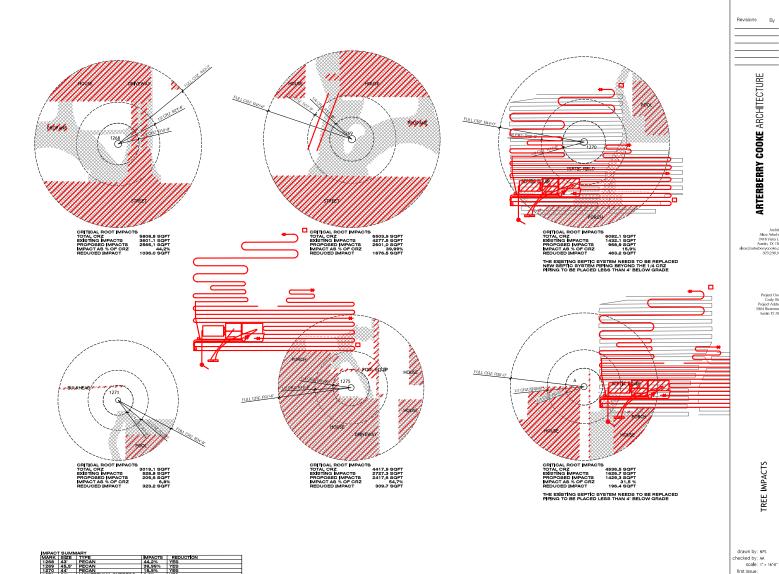
TREE 1269 45.5" PECAN, HERITAGE, PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 10% OF THE CROWN

TREE 1270 44" PECAN HERITAGE PROPOSE CRITICAL ROOT ZONE MPACTS BE REDUCED BY REPLACEMENT OF THE EXISTING SEPTIC SYSTEM. NEW SYSTEM PIPING NO MORE THAN 4" BELOW GRADE. PIPING REDUCED BY APPROX. 70%. ADDITIONALLY REMOVAL OF EXISTING PORCH EXTENSION AND STAIRS TO ACCOMMODATE THE SEPTIC SYSTEM WILL ALSO REDUCE IMPACTS TO THE CRZ.

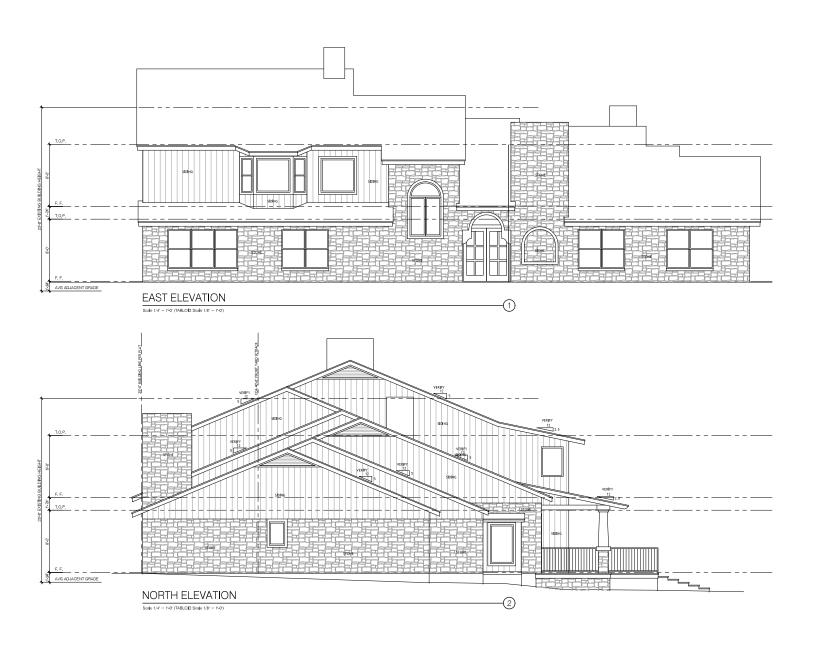
TREE 1271 31" MONTEZUMA CYPRESS. HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY THE REMOVAL OF THE SPORT COURT AND EXISTING SIDEWALK WHICH WILL BE PARTIALLY REPLACED BY NEW POOL.

TREE 1275 37.5" PECAN. HERITAGE. THIS TREE IS IN FAIR HEALTH, WITH HOLLOWNESS IN THE TRUNK. THE TRUNK IS LEANING, BUT STABLE. MAJOR BRANCHES EXTEND OVER THE EXISTING HOUSE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY PARTIAL REMOVAL OF OF THE EXISTING REAR PORCH. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 25% OF THE CROWN.

TREE A 38" PECAN. HERITAGE. THIS TREE ON THE NEIGHBORS" PROPERTY, PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REMOVAL OF EXISTING STORAGE UNITS AND PAVING, NEW IMPACTS INCLUDE REMOVAL OF EXISTING SEPTIC TANKS AND REPLACEMENT WITH THE NEW SYSTEM



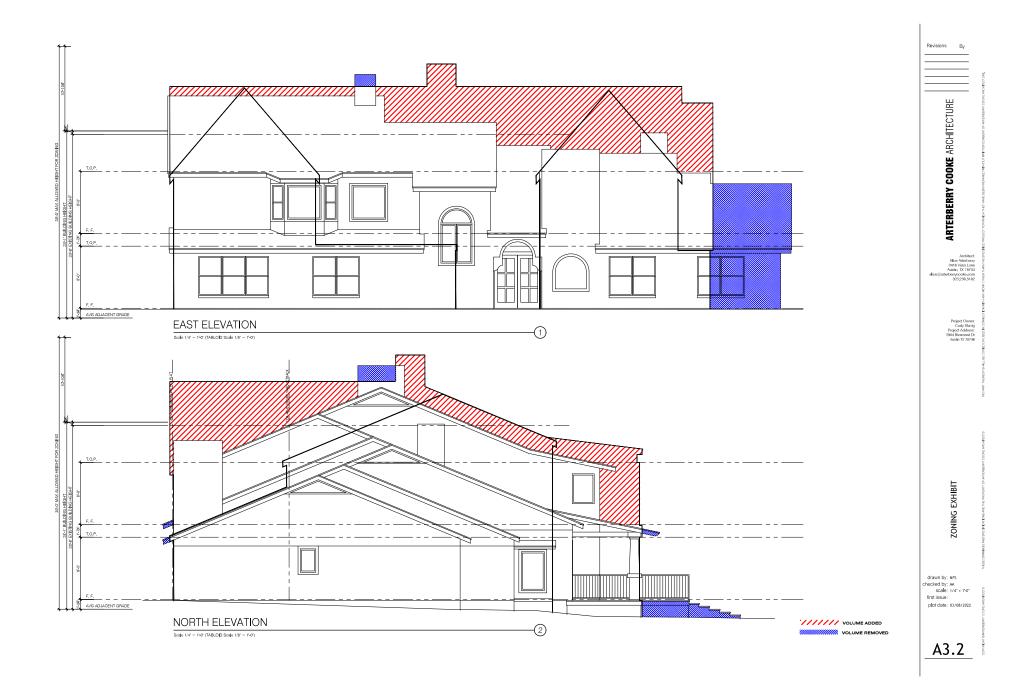
YES, VARIANCE REO'D







ARTERBERRY COOKE ARCHITECTURE EXISITING ELEVATIONS drawn by: NPS checked by: AA scale: 1/4" = 1'-0" first issue: plot date: 03/08/2022 A3.1











ARTERBERRY COOKE ARCHITECTURE ELEVATIONS drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/08/2022 A3.5

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ALL CODE(S) AND GUIDELINES OF FEDERAL STATE COUNTY AND MUNICIPALITY HAVING JURISDICTION. ALL APPLICABLE RECURREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS, INCLUDING:

2021 INTERNATIONAL RESIDENTIAL CODE, 2021 INTERNATIONAL ENERGY CONSERVATION CODE, 2021 UNIFORM MECHANICAL CODE, 2021 UNIFORM MECHANICAL CODE, 2021 UNIFORM MECHANICAL CODE, AUD THE 2021 INTERNATIONAL WILD AUDICAL PRIZE PROPERTY CODE, AUD THE 2021 INTERNATIONAL WILD AUDICAL AMENDMENTS AS ADOPTED BY THE LOCAL JURISDICTION,

IF THE CONTRACTOR ASCERTANIS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICTS WITH OR ARE IN VIOLATION OF APPLICABLE LAWS, CODES, RESULLATIONS, AND CONTRACT CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE LAWS, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE WITH ALL REMOVED CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE WITH ALL REMOVED.

CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED PER GOVERNING AGENCY AND CODE REQUIREMENTS. CONTRACTOR SHALL SE RESPONSIBLE FOR INSTALLING ANY TEMPORARY SHORING AND BRACKING TO BUSIDE THE SAFETY OF THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL RECURREMENTS OF THE AUTHORITIES HAWNING JURISDITION FOR SDEWALKS, DINNEWAYS CURBS, GUTTERS, STREETLIGHTS, EASEMENTS, UTILITIES FRIENCES SIGHS, BARRIGADES ETC, AUACENT TO THE PROPERTY, AND SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS.

CONTRACTOR SHALL COORDINATE ALL MECHANICAL PLUMBING, ELECTRICAL, AND

WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. SUCH WORK AND OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION

INFORMATION CONTAINED IN THESE DOCUMENTS WHICH DESCRIBE OR LOCATE EXISTING SITE AND BULLT ELEMENTS, IS BASED ON INFORMATION (DRAWNISS, NOTES, SURFYS), ETC. SUPPLIED BY THE OWNER ANDOR HIS ARCHITECTS, AND LIMITED SITE OBSERVATION. THE CONTRACTOR/CONTRACTOR/CONTRACTOR SHALL VERIEY ALL DIMENSIONS AND FINISH CONDITIONS APPLICABLE TO THE WORK DESCRIBED HEREIN.

THE CONTRACTOR IS TO SURVEY EXISTING SITE CONDITIONS AS REQUIRED FOR COORDINATION WITH EXISTING UTILITIES AND THEIR CONNECTIONS, WHERE DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL ADMISE THE OWNER AND THE ARCHITECT.

THE CONTRACTOR SHALL TAKE PROTECTION MEASURES THAT WILL BE UTILIZED DURING

NSTRUCTION TO PROTECT ADJOINING AND NEARBY PROPERTIES (PUBLIC AND PRIVATE) FROM ISE, DUST, DIRT, FIRE HAZARDS AND POTENTIAL PROBLEMS CAUSED BY SUCH

PROPERTY AND PREMISE LINES ADJACENT TO THE BUILDING SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR AND A SURVEY REPORT SHALL BE AVAILABLE ON SITE PRIOR TO FOUNDATION INSPECTION.

FUTURE OWNER IMPROVEMENTS REQUIRE SEPARATE BUILDING PERMITS.

THIS DOCUMENT, THE IDEAS, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.

LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER THOSE OF SMALLER SCALE, WHERE DISCREPANCIES ARE FOUND BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF OTHER CONSULTANTS, THE ARCHITECTURAL DRAWINGS SHALL GENERALLY BE ASSUMED TO GOVERN.

DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE

DIMENSIONS ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED.

THE ADOLFTON HEREBY STATES THAT SHE HAS NO VACUUS FROM OR ANY PROSSES EVICTORICS OF THE ARCHITECT HERBEST STATES THAT SHE HAS NO NOTWEDGE OF ANY POSSIBLE EMISTING OF MACAPROLOUS METHRAL AS THE BISTER AND INTO THE CHARGE TO MULL NOT BE HERD UNDER FOR ANY DIRECT OF UNKNOWN HAD PRODUCTS MATERIAL RELATED CONTINUES THAT MAY ARREST ANY DIRECT STATES AND ANY DIRECT STATES ANY DIRECT STATES AND AN

DETAILS NOT SHOWN ARE TO BE SIMLAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDINS WITH THE WORK.

ALL DRAWINGS AND NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY ONE WILL BE AS BITIONS AS IF CALLED FOR BY ALL. SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED AS APPROVED BY THE ARCHITECT AND/OR OWNER PRIOR TO BID (UNLESS NOTED OTHERWISE)

ALL INSULATING MATERIAL SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.

DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION

IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIPING AND SHALL BE COURPED WITH BATTERY RIDCK UP AND LOW BATTERY SIGNLE, SMOKE DETECTORS SHALL BLOCATED IN EACH SEPPING ROOK A HALLWAN OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DIVELINGS WITH MORE THAN OUR STORY.

PROVIDE CARBON MONOXIDE ALARM OLITRIDE FACH SLEEPING AREA

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO SANITARY SEWER, MICHEN SINKS, LAVS, BATHTUBS, SHOWERS, BIDETS, LANDRY TUBS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO A PPROVIDE WATER SUPPLY.

EXTEND THROUGH ROOF FLUES AND VENTS UP THROUGH ROOF IN ACCORDANCE WITH THE IRC TO ACHIEVE REQUIRED CLEARANCES, FLASH AND SEAL ALL ROOF PENETRATIONS.

NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR AND SHALL TERMINATE OUTSIDE THE BUILDING.

PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQFT AND 44" MAX TO SILL)

SCOPE OF WORK DRAWING INDEX

COVER

WALL TYPES

WALL TYPES
WINDOW TYPES
DOOR TYPES
WINDOW/DOOR DETAILS
FINISH SCHEDULES
FIXTURE SCHEDULES

SITE PLAN DEMO FIRST FLOOR PLAN

DEMO SECOND FLO FIRST FLOOR PLAN

FIRST FLOOR PLAN SECOND FLOOR PLAN ROOF PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS

NEW DRIVEWAY AND CURB CUTS. PARTIAL DEMOLITION OF THE EXISTING SFR FOR THE REMODEL AND ADDITION. NEW POOL AND FLATWORK.

BUILDING SECTIONS

WALL SECTIONS
DETAILS
INTERIOR ELEVATIONS
INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

FIRST FLOOR ELECTRICAL PLAN SECOND FLOOR ELECTRICAL PLAN

SSS Westles Q

LEGAL DESCRIPTION

LOT 15 BLK A RIVERCREST ADDN SEC 1

VICINITY MAP

Scale: NTS

PROJECT INFORMATION

ADDRESS 2904 RIVERCREST DRIVE AUSTIN TX ZONING

LOT AREA 15,415,40 SQF 3539 ACRES LOT SIZE: MAX HEIGHT FRONT SETB REAR SETBACH

DEVELOPMENT REGULATION 43,560 35 FT 40 FT 20 FT 10 FT SIDE SETBACK BUILDING AREA: IMPERVIOUS AREA

PROJECT SQUARE FOOTAGES: 15.416.40 SF FIRST FLOOR: GARAGE/CARPORT: COVERED FRONT PORCH: UNCOVERED PORCH: COVERED BACK PORCH: COVERED BALCONY:

2.737.44 S

#### BRIEF SPECIFICATION

Execution and Cheeseal Requirements.
The execution of all work shall be in start accordance with these specifications and manufactures written special or laterals between Standards, Contractor to investigate proposed product particular and appeals to respect an appeals or appear in appears to a restrict an appear in a product and appears to a restrict a product appears and a product appears are appeared as a product appear and a product appears are a product and a product a product appear and a product appears are a product and a product and a product appears are a product and a product and a product and a product a product a product and a product a product a product and a product a product a product a product a product a product and a product a product a product a product a product a product and a product a product a product a product a product a product and a product a produc on at win selate of a instrumentable with mess specimentors are financiations and witness specimentors institute Standards. Contractor to investigate proposed product substitutions and determine that they are nice in all respects to products specified. Coordinate installation of accepted substitutions into the Work changes as may be required for the Work to be complete in all respects.

when the manager or may be inquired unline WORK to be compate in all respects.

Where the manufactures recommended details are used, the manufacture shall be responsible for the performance their product, All work not specifically mentioned that is required to make the work complete and operational shall be included. caces. Todes - Construction shall comply with all applicable national, state and local building codes, it is the responsibility of

the Contractor and Owner to insure compliance with said codes and modify the specifications as needed to comply

the Contador and Comer to insue completions with size all codes and unionly the Special Contador shall chall be suffered in 1. The Contador shall chall be suffered in 1. The Contador shall chall be suffered in 1. The Contador shall be the code of which all different interests and conditions below proceeding with best and contador and contador of code diseases, below of the section size percentage.

Workmanips, Vectorium below all contains to be best and highest standards of capital in each trade and shall related all terms of absolute, constitution and insultation. All work shall be complished by shifed tradestern and machines belations of all response and insultations and the contactor during the coase of continuous contactors. Insultance - Builden Risk Researches with a sufficiency of the machines are commendations, and contactor shall provide and to explicit special contactors, and shring the coase of continuous contactors, and shringly adhere to all governing codes on selley, relating the OSHA Act.

Cleaning and Waste Management
Construction site to in a clean and orderly condition throughout the construction process. Clean interior to the start of this painting and the application of other finishes. At the conclusion of construction, the prois restriction as to be in a data and codely condition throughout the construction process. Class interfer spaces per to the start of finals parties and the application of other intends. At the conclusion of contraction, the project shall be determed, this should be table to the final the last parties and entering the interior and entering date, surfaces exposed to war, and the contraction of the contraction

Temporary Facilities
Contractor shall make necessary connection to ceiting utilities for temporary power and water supplies and shall concrinate such use with the Owner prior to connection. Contractor shall provide and maritain in a rost and sealing concrinate such use with the Owner prior to connection. Contractor shall provide and maritain in a rost and sealing continuous and connection such accounts of the employees are the comply with bines and regulations. Temporary toleful teatities may content or part of portable highly to the facilities that the bis part supplied and claim and in suntainty concition until the completion of the work and than shall are memodal from the size. Upon removal, their less that the properly desired

and graded.

The Contractor shall provide temporary barricades to separate construction areas for public safety around entire

Policeting Materials and Installed Constitution
The Contractor and provide a manifest placeage area objected to the seas of constitution. Location shall be constituted
to the Contractor behavior and the contractor of mosture. Building materials with visible
with the Contractor behavior that the contractor of mosture. Building materials with visible
comes with a protective country, contractor shall manifest protective country and constitution is complete. Contractor
with a protective country, contractor shall manifest protective country and constitution is complete. Contractor

\*\*Contractor of the Contractor of the Co shall replace any items that become detective or damaged. All ducts and other related mechanical supply and return openings shall be covered with tape, plastic, or sheet metal until the final startup of the HVAC Equipment.

Existing Conditions
Contractor shall review construction documents and provide necessary site work, excavation and grading as required to construct said project.

Unadapsace Provide covered crawlepace ventilation per IRC 408. The minimum net area of ventilation openings shall be not less than 1 square tool for each 150 square teel of under floor area. One ventilation opening shall be within 3 feet of each corner of the building. Provide a 2"x" x48" minimum access door to crawlepace.

Bris Manony - Contrastor shall eview construction documents and provide labor and materials portaining to monony work or required in each documents and an excelled letters, while complying with all applicable harding codes. Dry required in each contrast or c

Communus of 1-in management in the community of the commu

Interior Walls - Interior walls shall be 2°24° or, where plumbing stacks are present, 2°x6° wood studs at 16° oc, with bottom plates and double top plates throughout; refer to structural drawngs. Provide solid blooking at mid-heigh walls which exceed 9°0° in height and additional glooking as shown on these drawning or required by a wall which exceed 9°0° in height and additional glooking as shown on these drawning or required by a single of the province of the province

Finish Carpentry - All architectural trim and woodwork shall be primed FJ pine No. 1 grade material suitable for paint finishes, Wood that will be stained shall be clear of knots with concealed joints, Provide and install interior wood trim as chapter on brinch of transfers elevative.

Wood Stain - Generally the vertical dimension of each item should be no more than 7.5° and the horizontal dimension of each these will be 11°. A reminement of 6.5° door tendor on a registed, resourced from the forst dop of the tread to a few possible to the stair no. Sair should what the Constituted of 5.5° the fetting shoots burston, reserved and be constituted of 3.4° inside grade lamber shoutcled stair shingers shall be constituted of 2.4° stay for the constituted of 3.4° senting should be should b

Metal Ralings - Install metal hand ralings and guardrals to meet all applicable building codes, with applicability and patterns as shown in construction documents. Metal shall be shop built, whiled together, throughly and painted with two codes of an anti-rust primer. After installation, apply an additional cost and primer in preparation for firish codes.

Exterior Moldings - High-stensity, durable, non-water absorbing, polymentance polymer comparable to kilp-tried white pine milkaofs, with higher skin density. Provide units with manufacturer's standard barrier coat and shop-applied primer to receive field applied firsh paint coating. Fasteners, joint compound and adhesive sourced and installed as recommended by manufacturer.

Thermal and Moleture Protection
Contractor shall eview construction documents and provide lator and materials pertaining to thermal and moisture protection work as required in said documents and as specified herein, while complying with oil applicable building oxide.

Derry produity and taket produity - Over stude and selecting, shealf one jour of approved moisture barrier overlapped measurement of 5 energed above training produits of produits and prostrodized in walls, four, and fool shall be an extra production of the produ

Exterior Walls - Min wail insulation shall be Rivalue of 19. extend water-min warms opinion shall be it value or he.

Interior Walls - Install R-11 ball-insulation at bath rooms, plumbing chases, laundry rooms and otherwise specified for

present files and the second of the second o

expended from shutdare (Bushelt or equil) as recold, and in direct contact with four. Use of Min Privillae or contribution 183. In Cont

Asphalt Shingles

nsignal shingle with Lifetime Warrantz Granule surfaced self-sealing aspitalt shingle TIL 700 Class & Luminated dimensional single with Liebline Warranty, Granule surfaced, self-earling assigned strings, bit. 170 SLg. see 1,45 M 10 15, 15, 16 M 10 16 H, 10 16 M 10 16 M 10 16 H, 10 16 M 10 16 oscratter system or pre-engineered truss system to meet dead at acturer, also see structural. Coordinate installation with flushings and o

Low Stype Metal Root Install 50 year warranty bw-slope metal root system with conceeled fasteners. Install a layer of fire-estandant paper between roof structure and metal. Standing seam above front porch, back patio and roof overhang across back of

Preformed motal coping - Install preformed galarized steet steel coping, splice plates and mechanically frastered anothor plates to the top of the paraget wall. Provide mitered corners, expension joints, and any special accessories for complete instablation. Finish selected from standard cobrs to match motal rooting. All self-boding rivets and other satisfate testimens shall be supplied by oping manufacture. All joint seadant to be approved by the motal rooting to the provided by the motal and provided by the motal rooting to the provided by the motal rooting to the provided by the motal provided by the provided by the motal rooting the provided by the motal provided by the provided by t

Stocol model and the one 2 been consider reside before 4 performance exceed in less, Stocol shade to had not 5 been from the member desired and the one 2 been seen as the stock that the

Exterior Wood Planets

and III (Puera warranty exterior grade overland MIO, smooth panel siding, min thickness 172 With no patching, Install PT 1x4
comer thin, and thim stops. Planeting and tim shall be duy, shaight grain, factory primed and sealed at all ends, fistall owe 7167
mainracemen and perhybriden vayor. Exempt points meet on studie, blocking or furring strips with the nail penetrating solid wood at least 11½ inches, Caulk joints; Paint siding.

Flashing and Sheet Metal - Install appropriate flashing at all chimneys, joints of walls, verit pipes and other com-points to prevent the infiltration of water. Flashing shall be assembled of 26 gauge minimum galvanized, or ossistant sheet metals. Keep Hashing concealed except where exposed on vertical surfaces or counter flashing.

Joint Seelants - Use a 50 year warranty shoon besed outly at high expansion/compression areas, such as area chimmos, like, contamic, and around enamed and pre-dathicated tube and showers. Caulk and seel around all windra and door frames and between wall sele plates and floors and at exterior siding joints. For exterior windows, do frames, interior tim, woodwork and other particules surfaces use a clear Ludos based caulk. Cobir shall match paint.

Openings - Manufactured doors and windows shall be certified and fielded in compliance with the appropriate inflamion standards lated in the Presidential Energy Code. Sile-contributed doors and windows, outside point, and doors or windows, and unformed glass codes. See And of another include including another included conor windows, and unformed glass codes. See And of anothering descriptors and excluded in Code and another included another included and of the trades, and as empired by codes, positional and other trades, and as empired by codes, positional care layers to preside the process of the Codes.

Gypsum Board - Gypsum board mat far helf firstly, against the funning shall relative to board that movement of gypsum board on the sharl of the ratio of convex, Blauch who with 12° gypsum with cost of substant of the grades of convex, Blauch who with 12° gypsum with board, and codings with the gypsum wall board, other vertically with large edges possible to farming, or brozontally with large edges at right engage to that gypsum wall board, other vertical to gypsum with the state of the size of the state of the state

Flooring - Contractor shall properly clean all surfaces to be covered and install appropriate underlayment per

remarkations recommendations. Talling Tells and separate grant and triat in accordance with applicable building codes and owner requirements. Happy Tell shall be appointed upon a separate grant and a separate grant g

must be removed and surface isolated be set below the surface and finished smooth. It midaw is evident, the midaw must be removed and surface isolated to rinkit further midaw growth. Exterior valls shall recove a primer cont and two coals of flat or semi-place parts. Pre-prime the degree and rest of lumber and siding prote to construction. When staining, pre-prime with the same product as specified for the final coal. Small and pully sood surface smooth below the same products are producted before each limb higher is applied. Three such surface shallpulled places, edges and each before restallation. Allow installation, apply at least one coal of social primer and two coals of first parts. Allow 4 color are observed.

Interior Painting - All neil heads shall be set below the surface and finished smooth, Joints should be taped and co-with a sutable drywell joint compound. Sand the spaceled neil heads and joint compound smooth and dust well be printing. Interior walls shall receive a primer coat and two coats of that or semi-gloss paint. Surfaces shall be ser-botion each linish byer is applied. Allow color scheme.

Interior Wood - Wood surfaces shall be sanded smooth before finish is applied. Pully areas with a wood based filter where naik or other delects appear in the surface. Prime wood surfaces including faces, edges and ends before installation. After installation, apply at least one cost of xood primer and two costs of finish paint, Surfaces shall be sanded before each finish layer is applied.

Finish Grating - Keep exterior finished grade a minimum of 6 1/2" below finished (bor elevation (see construction documents for exact beactions by backfilling with appropriate soils. Provide swelps with positive outfall and slope grade ways from balling to allow water to drain away from the balling for patient. Do not backfill against countation until project is completely framed and root structure is in place. Soil type of till shall be specified by Structural Engineer.

ite Control - Foundations shall be pre-treated under all slabs and crawlepace areas between vapor barrier and als suit-base to conform with HUD minimum standards and applicable building codes. Treatments shall not be a when soil is excessively well or after heavy rains. Contractor shall provide a cone-year renewable warranty. At pier perimeter foundations, install continuous blashing on all sides and top surface to prevent sub-terrain termites from granular sub-base to o made when soil is exce penetrating the wood structure

Revisions By

ARCHITECTUR

ARTERB

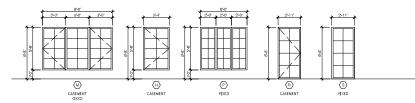


drawn by: NFS checked by: AA scale: 1" = 16-0" first issue: plot date: 03/18/2022

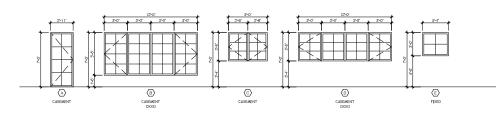
A0.0

- WINDOW TYPES

   Scale 1/4" 1'40" (TABLOID Scale: 1/8" 1'40")
   min 5,7 SOFT secondary exit from each bedroom w, min 20" width and 24" height clear opening class to be tempered per IFC 308.4
   all dimensions are until dimensions NOTrough opening dimensions unless otherwise noted



2-11"	\$-6 2-6 2-6 2-6 2-6 2-6 2-6 2-6 2-6 2-6 2	2-6 15 15 15 15 15 15 15 15 15 15 15 15 15	3-0	\$7-4°	24 24 24 19 0
F	<u> </u>	⊕		(K)	€
FIXED	CASEMENT	FIXED	CASEMENT	FIXED	FIXED



WIN	DOW	/ SCH	HEDL	JLE		
MARK	COUNT	SIZ W	ZE H	HDR	TYPE	REMARKS
(A)	2	2'-11"	7'-0"	7'-0"	CASEMENT	FLOOR SILL, TEMPERED, EGRESS
B	1	12'-0"	5'-6"	7'-0"	CASEMENT, OXXO	
©	- 1	5'-0'	3'-8"	7'-0"	CASEMENT	
0	1	12'-0"	3'-8"	7'-0"	CASEMENT, OXXO	
E	- 1	3'-4'	3'-0"	7'-0"	FIXED	TEMPERED
F	- 1	2'-11"	7'-0"	7'-0"	FIXED	FLOOR SILL, TEMPERED
(G)	1	8'-0'	5'-6"	6'-8"	CASEMENT, OXXO	
H	1	2'-6'	2'-0"	6'-8"	FIXED	TEMPERED
0	1	3'-0'	5'-6"	6'-8"	CASEMENT	EGRESS
(K)	1	3'-4'	1'-8"	6'-8"	FIXED	TEMPERED
(L)	1	8'-0"	5'-6"	6'-8"	FIXED	
M	3	9'-0'	5'-6"	6'-8"	CASEMENT, OXXO	
N	2	3'-4"	5'-6"	6'-8"	CASEMENT	EGRESS
P	1	6'-0'	5'-6"	6'-8"	FIXED	TEMPERED
R	2	2'-11'	6'-8"	6'-8"	CASEMENT	FLOOR SILL, TEMPERED, EGRESS
(3)	4	2'-11"	6'-8"	6'-8"	FIXED	FLOOR SILL, TEMPERED
						·

Revisions By

ARTERBERRY COOKE ARCHITECTURE



WINDOW TYPES

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022

A0.2

VII INTERIOR SWING VIII INTERIOR SWING IX INTERIOR SWING NTERIOR POCKET

> II OVERHEAD DOOR

III OVERHEAD DOOR IV SWING DOOR

ENTRY DOOR

MARK	TYPE		SIZE		MATERIAL	FUNCTION	DEL MINO
AHK	ITPE	W	Н	THK	MATERIAL	FUNCTION	REMARKS
①	- 1	10'-10.5'	17'-7.5"	1 3/4"	STEEL	ENTRY	TEMPERED
②	II	18'-0"	7'-0"	1 3/4"	WOOD	UTILITY	TEMPERED
<u> </u>	III	9'-0"	7'-0"	1 3/4"	WOOD	UTILITY	TEMPERED
<u> </u>	IV	3'-0'	7'-0"	1 3/4"	WD/CLAD	ENTRY	TEMPERED
<u> </u>	V	26'-5"	7'-0"	1 3/4"	METAL	ENTRY	TEMPERED
<u> </u>	VI	20'-0"	6'-8"	1 3/4"	METAL	ENTRY	TEMPERED
<u> </u>	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
<u> </u>	VII	2'-8'	7'-0"	1 3/4"	MDF	PRIVACY	
<u> </u>	VII	2'-8'	7'-0"	1 3/4"	MDF	PRIVACY	
10	VII	2'-8'	7'-0"	1 3/4"	MDF	PRIVACY	
<u>D</u>	Х	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
12)	IX	2'-4'	7'-0"	1 3/4"	MDF	PASSAGE	
13)	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
14)	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
15)	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
16)	VIII	3'-0"	7'-0"	1 3/4"	MDF	ENTRY	1/2 HR FIRE RATED, IRC 302 0 ENTRY BARRIER FREE THRESHOLD FOR VISTABLILITY
Ð_	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
18)	VII	2'-8'	7'-0"	1 3/4"	MDF	PASSAGE	
<u></u>	VII	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
21)	VII	2'-8'	6'-8"	1 3/4"	MDF	PASSAGE	
<u> </u>	VII	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
23)	VIII	3'-0"	6'-8"	1 3/4"	MDF	PASSAGE	
24)	VII	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
25)	VII	2'+8'	6'-8"	1 3/4"	MDF	PRIVACY	
26)	Х	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
<u> </u>	IX	2'-4'	6'-8"	1 3/4"	MDF	PASSAGE	
28)	VIII	3'-0"	6'-8"	1 3/4"	MDF	PASSAGE	
<u> </u>	VII	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
39	VII	2'+8'	6'-8"	1 3/4"	MDF	PRIVACY	
3)	VII	2'-8'	6'-8"	1 3/4"	MDF	PRIVACY	
39	VII	2'+8'	6'-8"	1 3/4"	MDF	PRIVACY	
33)	VII	2'+8'	6'-8"	1 3/4"	MDF	PRIVACY	
(3)	VII	2'-8'	6'-8"	1 3/4"	MDF	PASSAGE	
DOO	R QUANT	ITIES:					

Revisions E

ARTERBERRY COOKE ARCHITECTURE

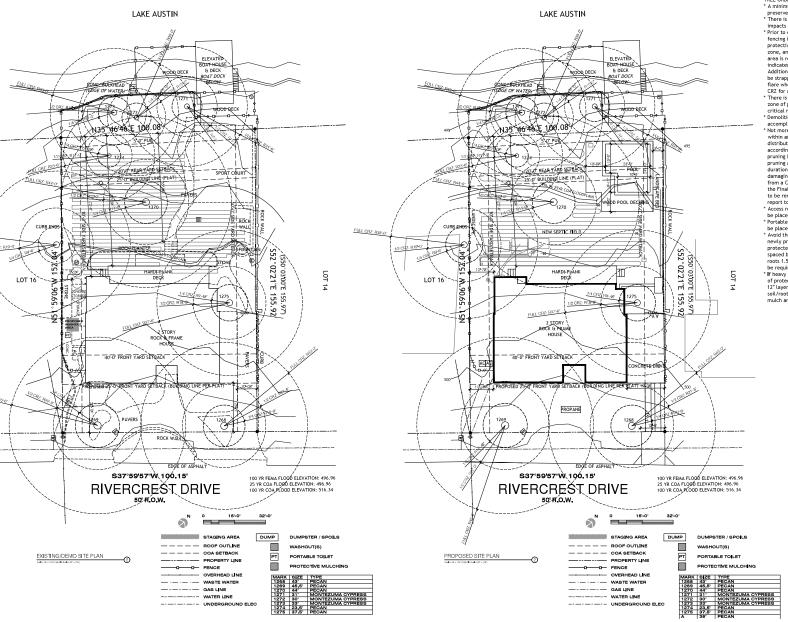
Architect: Alice Arlerberry 2416 Vista Lane Austin, TX 78703 (arterberrycooke.com 203 036 5182



DOOR TYPES

drawn by: NFS checked by: AA scale: 1/4" = 1'-0" first issue: plot date: 03/18/2022

A0.3



TREE ORDINANCE Notes:

\* A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.

There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.

Prior to construction, 5 high chain-link mesh, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire  $\frac{1}{2}$  critical root zone, an 8 layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone. Additionally, min 2x4 or greater size planks (6 tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.

\* There is no cut or fill 4" or greater within the ½ critical root zone of protected trees. Only piers are allowed within ½ critical root zone and piers must be air-spaded. Demolition within the 1/2 critical root zone must be

accomplished with hand tools.

Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)

\* Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected trees 1/2 CRZ \* Portable Toilet, Concrete Washout and Paint Washout may not

be placed within a protected tree's FULL CRZ
\* Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the ½ CRZ of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30" to avoid cutting

roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.

of required by the final free hispector.

If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

ARCHITECTURE COOKE ARTERBERRY

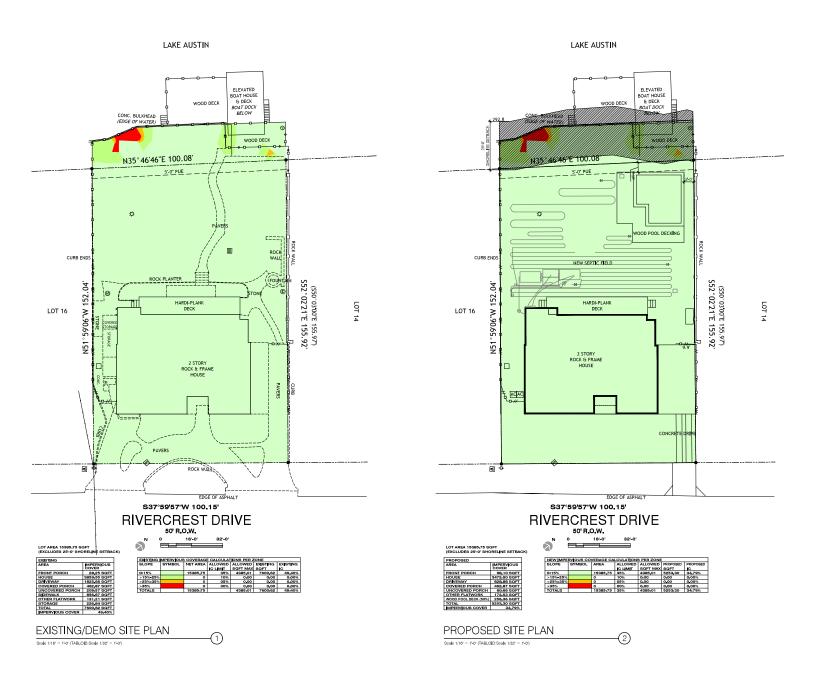


SITE PLANS

drawn by: NFS checked by: AA scale: 1" = 16'-0" first issue:

plot date: 03/18/2022

A1.0



**ARTERBERRY COOKE** ARCHITECTURE IMPERVIOUS COVER MAPS drawn by: NFS checked by: AA scale: 1" = 16'-0" first issue: plot date: 03/18/2022

A1.1

#### TREE ORDINANCE Notes:

- \* A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- \*\*There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone. \* Prior to construction, 5 high chain link mesh, protective
- fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire ½ critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone. Additionally, min 2x4 or greater size planks (6 tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- \* There is no cut or fill 4" or greater within the ½ critical root zone of protected trees. Only piers are allowed within 1/2 critical root zone and piers must be air-spaded.
- \* Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- \* Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired the rink rise Replaced. It is so into the direct disciply is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEPORE performing this work.)

  "Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 172 CRZ

  Portable Toilet, Concrete Washout and Paint Washout may not
- be placed within a protected tree's FULL CRZ
- Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5"+ in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
- \* If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE 1268 43" PECAN HERITAGE PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING
DRIVEWAY, TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 15% OF THE CROWN.

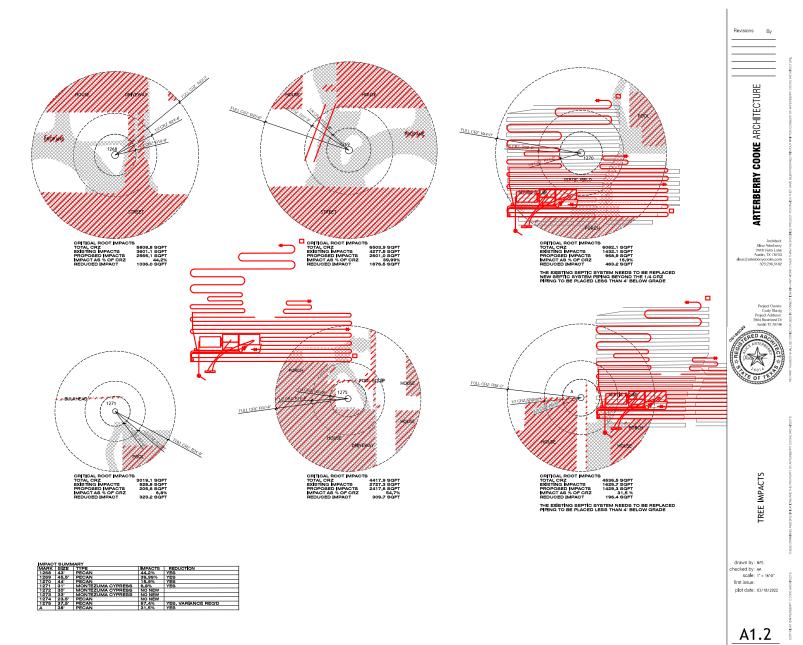
TREE 1269 45.5" PECAN, HERITAGE, PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 10% OF THE CROWN

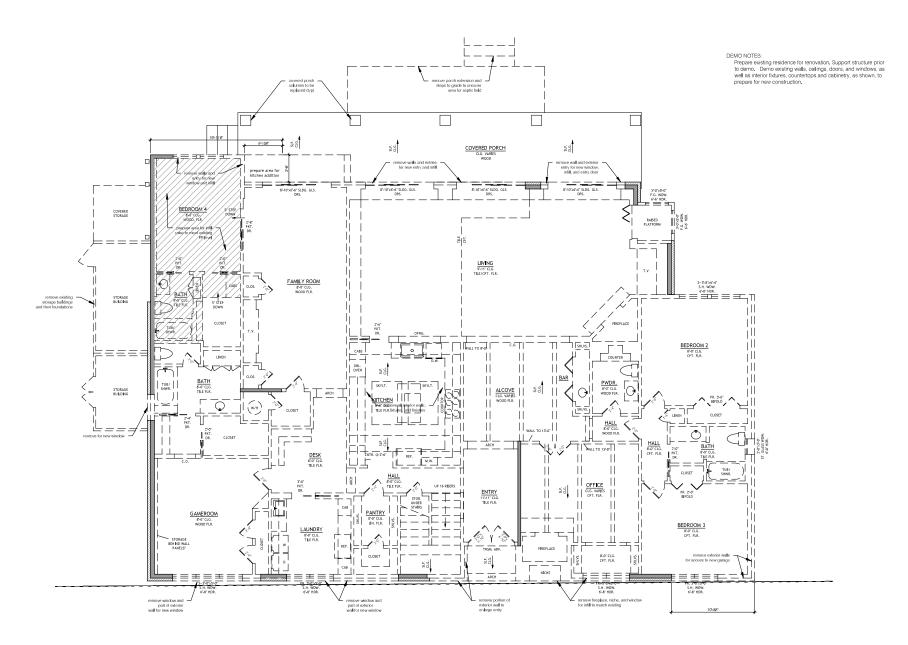
TREE 1270 44" PECAN HERITAGE PROPOSE CRITICAL ROOT ZONE MPACTS BE REDUCED BY REPLACEMENT OF THE EXISTING SEPTIC SYSTEM. NEW SYSTEM PIPING NO MORE THAN 4" BELOW GRADE. PIPING REDUCED BY APPROX. 70%. ADDITIONALLY REMOVAL OF EXISTING PORCH EXTENSION AND STAIRS TO ACCOMMODATE THE SEPTIC SYSTEM WILL ALSO REDUCE IMPACTS TO THE CRZ.

TREE 1271 31" MONTEZUMA CYPRESS. HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY THE REMOVAL OF THE SPORT COURT AND EXISTING SIDEWALK WHICH WILL BE PARTIALLY REPLACED BY NEW POOL.

TREE 1275 37.5" PECAN. HERITAGE. THIS TREE IS IN FAIR HEALTH, WITH HOLLOWNESS IN THE TRUNK. THE TRUNK IS LEANING, BUT STABLE. MAJOR BRANCHES EXTEND OVER THE EXISTING HOUSE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY PARTIAL REMOVAL OF OF THE EXISTING REAR PORCH. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 25% OF THE CROWN.

TREE A 38" PECAN. HERITAGE. THIS TREE ON THE NEIGHBORS" PROPERTY, PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED
BY REMOVAL OF EXISTING STORAGE UNITS AND PAVING. NEW
IMPACTS INCLUDE REMOVAL OF EXISTING SEPTIC TANKS AND REPLACEMENT WITH THE NEW SYSTEM.





Revisions By

ARTERBERRY COOKE ARCHITECTURE

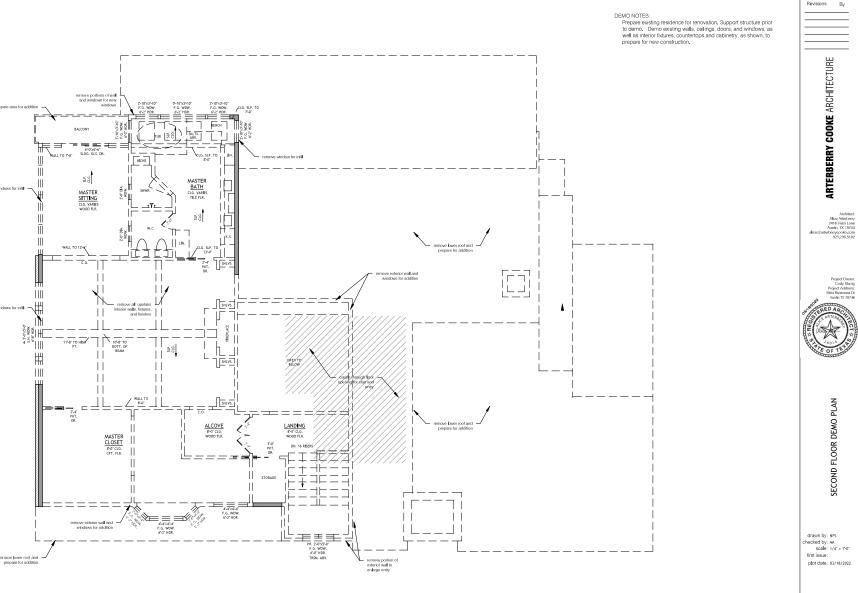
Architect: Alice Arterberry 2416 Vista Lane Austin, TX 78703 @arterberrycooke.com

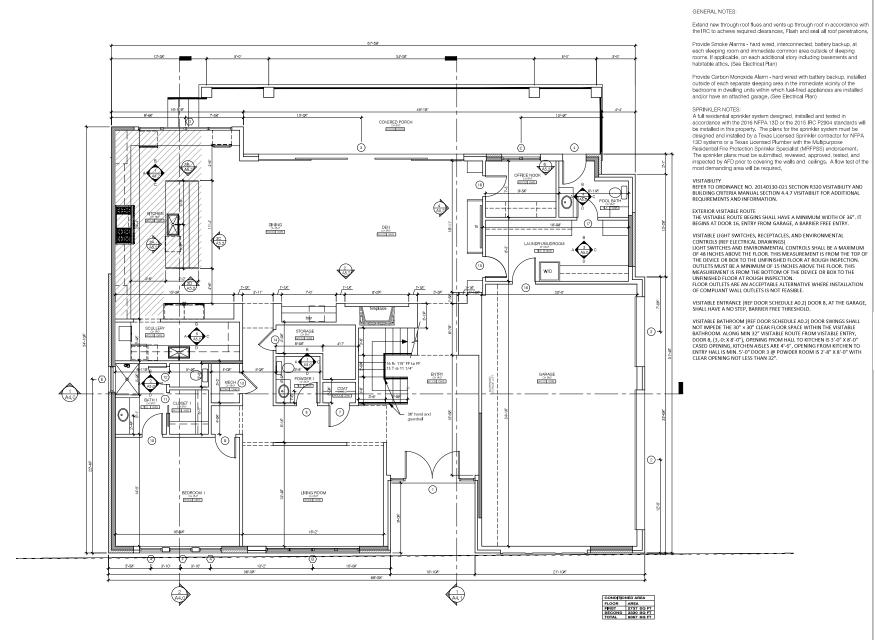
> Project Owner: Cody Stavig Project Address: 2904 Rivercreat Dr Austin TX 78746



FIRST FLOOR DEMO PLAN

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022



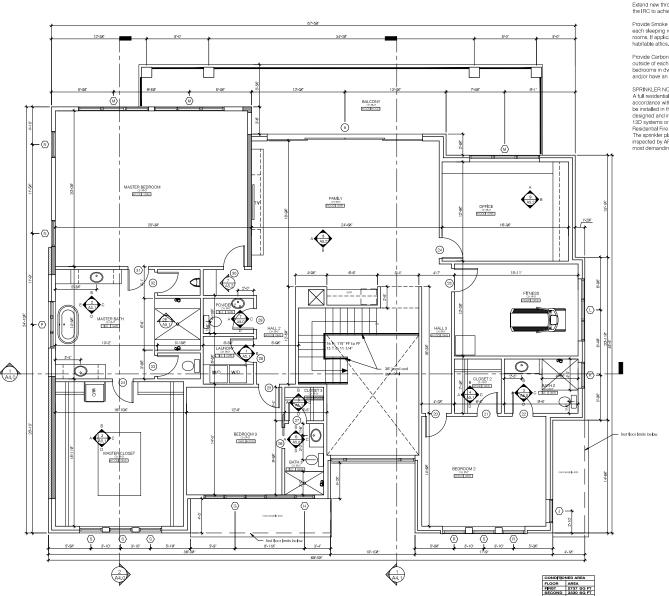


**ARTERBERRY COOKE** ARCHITECTURE



FIRST FLOOR PLAN

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022



GENERAL NOTES:

Extend new through roof flues and vents up through roof in accordance with the IRC to achieve required clearances, Flash and seal all roof penetrations.

Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms, If applicable, on each additional story including basements and habitable attics. (See Electrical Plan)

Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel hired appliances are installed and/or have an attached garage. (See Electrical Plan)

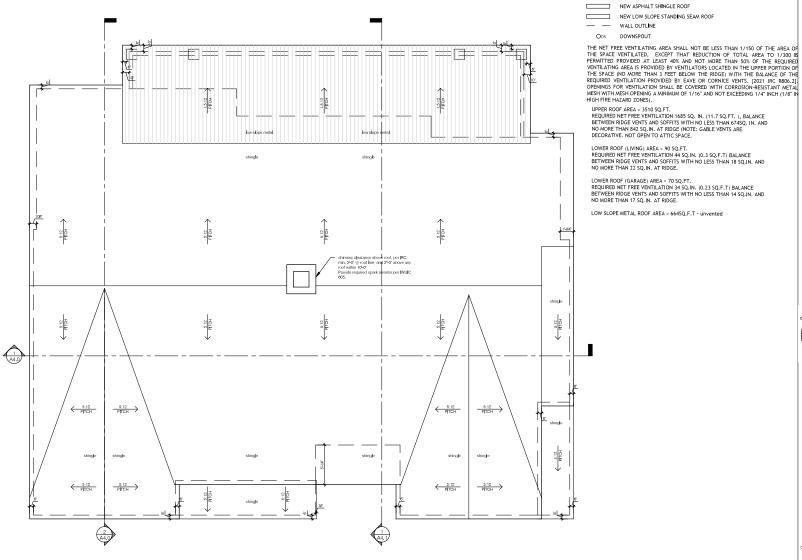
SPRINKLER NOTES:
A full residential sprinkler system designed, installed and tested in accordance with the 2016 NFPA 13D or the 2015 IRC P2904 standards will be installed in this property. The plans for the sprinkler system must be designed and installed by a Texas Licensed Sprinkler contractor for NFPA 13D systems or a Texas Licensed Sprinkler contractor for NFPA Residential Fire Protection Sprinkler Specialist (MRFPSS) encorsement. The sprinkler plans must be submitted, reviewed, approved, tested, and inspected by AFD prior to covering the walls and ceilings. A flow test of the most demanding area will be required.

**ARTERBERRY COOKE** ARCHITECTURE



SECOND FLOOR PLAN

drawn by: NFS checked by: AA scale: 1/4" = 1'-0" first issue: plot date: 03/18/2022



**ROOF LEGEND** 

**ARTERBERRY COOKE** ARCHITECTURE

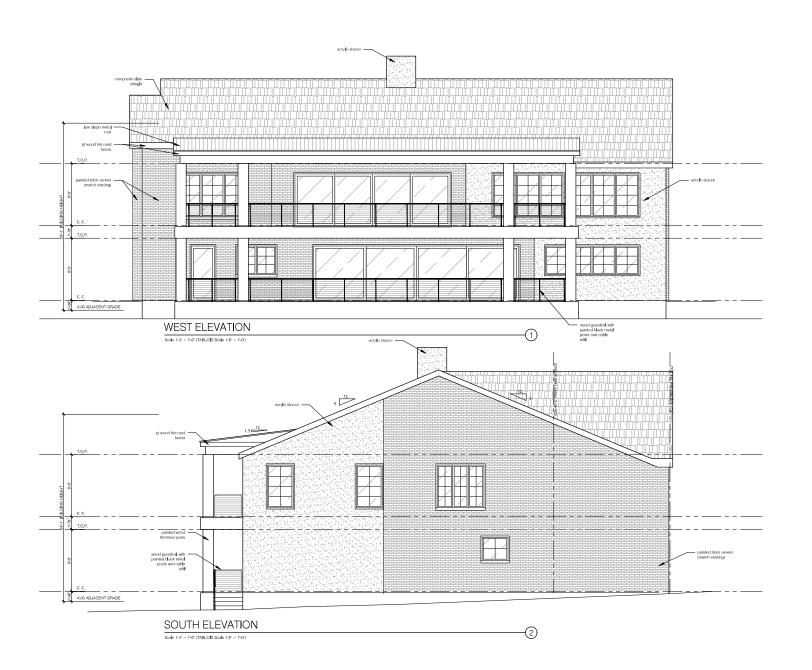


ROOF PLAN

drawn by: NFS checked by: AA scale: 1/4" = 1'-0" first issue: plot date: 03/18/2022



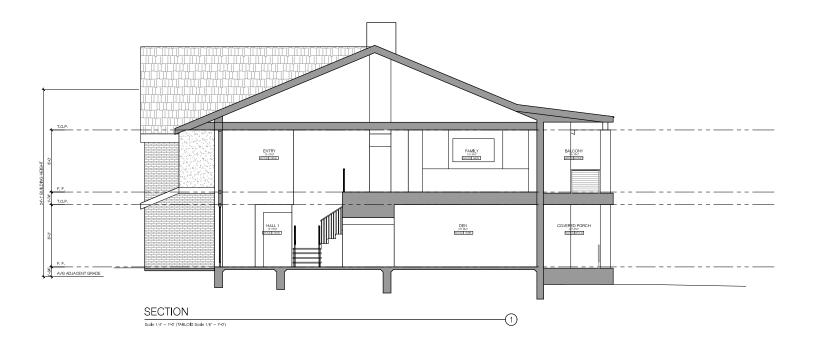






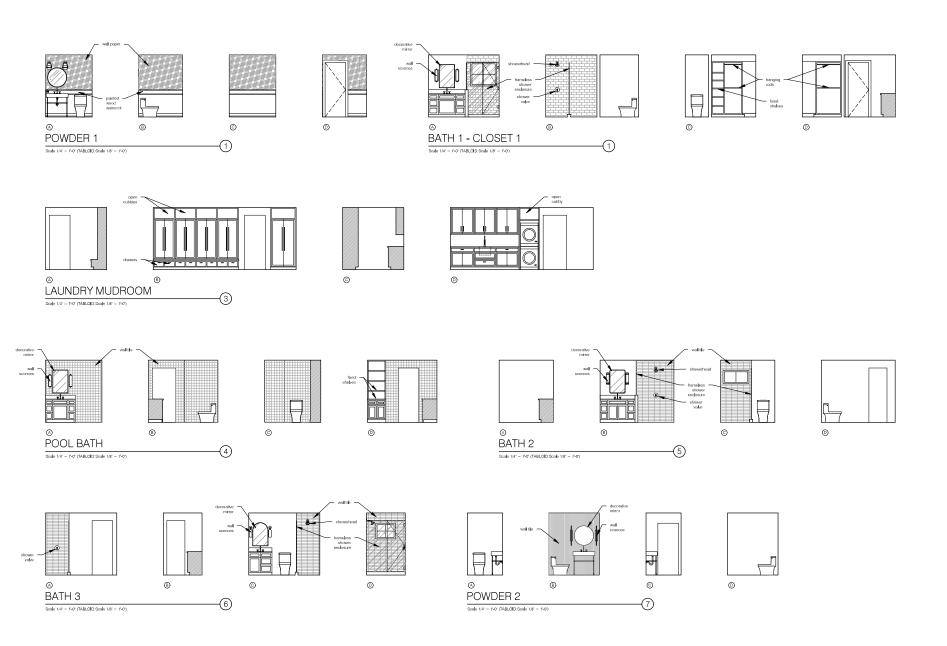






ARTERBERRY COOKE ARCHITECTURE SECTIONS drawn by: NPS checked by: AA scale: 1/4" = 1'-0" first issue: plot date: 03/18/2022

A4.1



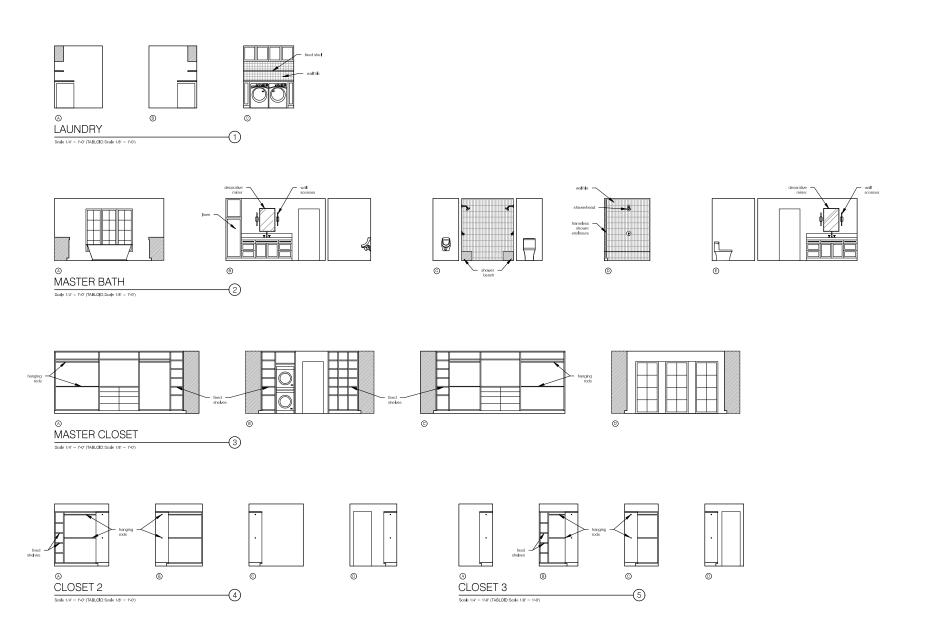
ARTERBERRY COOKE ARCHITECTURE



INTERIOR ELEVATIONS

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022

A5.0



ARTERBERRY COOKE ARCHITECTURE

Activity

Activ

Architect: Alice Arlerberg 2416 Vista Lane Austin, TX 78703 Alica@arterberrycooke.com 323.236.5182

Project Owner.
Cody Staring
Project Addiseas:
2004 Rivercased Dr.
Austin TX 78746

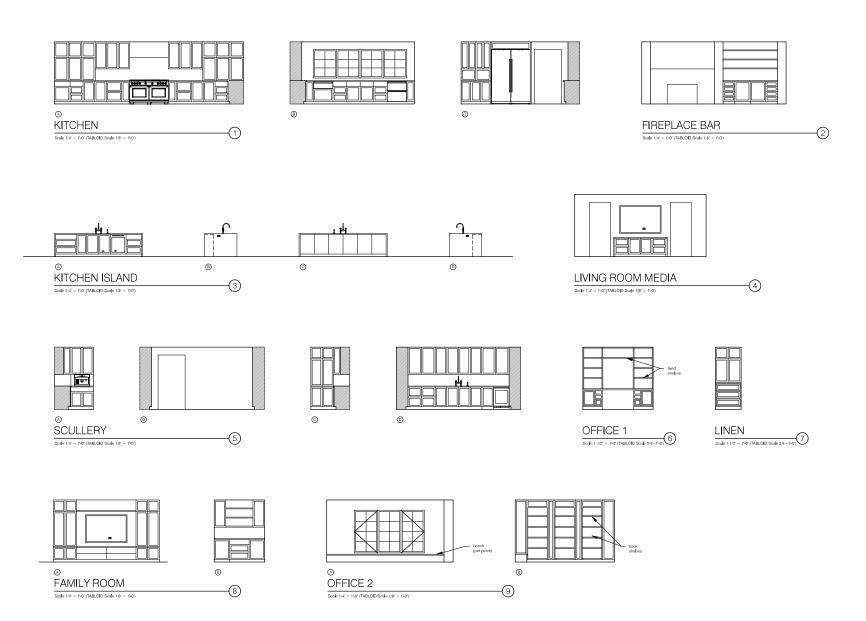
RED A R.

ARTERO

INTERIOR ELEVATIONS

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022

A5.1



ARTERBERRY COOKE ARCHITECTURE

INTERIOR ELEVATIONS

drawn by: NFS checked by: AA scale: 1/4" = 1"-0" first issue: plot date: 03/18/2022

A5.2

## D-4/37

	CHAMBER	Volume (gal)
1	Sedimentation Chamber	277
2	Anaerobic Filtration Chamber	278
3	Aerobic Contact Filtration Chamber	127
4	Clarification Chamber	63
(5)	Disinfection Chamber	4
	Total Volume	749

SPEC	CIFICATIONS
Anaerobic Media	PP / PE
Board Type Aerobic Media	PVC / PP / PE
Aerobic Media	PP / PE
Blower	2.8 cfm
Tank	FRP
Piping	PVC / PP / PE
Access Covers	Plastic / Cast Iron
Disinfectant (Optional)	Chlorine Tablets

	D 1/01						
	CHAMBER	Volume (gal)					
1	Sedimentation Chamber	277					
2	Anaerobic Filtration Chamber	278					
3	Aerobic Contact Filtration Chamber	127					
4	Clarification Chamber	63					
(5)	Disinfection Chamber	4					
	Total Volume 749						
	SPECIFICATIONS						

PLAN VIEW	
18" ACCESS COVER— 18" ACCESS COVER— 24" ACCESS COVER— (TYP)	DISINFECTION CYLINDER (OPTIONAL)
1'-0\frac{1}{8}"  1'-0\frac{1}{8}"  4'-4\frac{7}{8}"  4'-3\frac{1}{8}"  3	1'-2" - 4'-2 <del>7</del> "
SECTION A-A VIEW	

SCUM BAFFLE-

2

FLOW BAFFLE

(CLEANING OPENING)

RECIRCULATION AIR LIFT PUMP -DISINFECTION CYLINDER (OPTIONAL)

∕-4" OUTLET PIPE

-EFFLUENT

V-3/4" AIR INTAKE

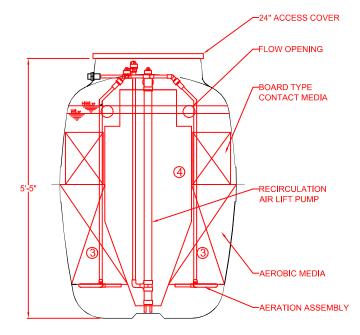
AIR LIFT PUMP

-2'-10<u>1</u>"-

RECIRCULATION PIPE-FLOW OPENING (TYP.)

4" INLET PIP

INLET BAFFL



SECTION B-B VIEW



DATE: 03/21/2021 SCALE: 1/2" = 1"



To whom it may concern,

Re: 2904 Rivercrest. Tag # 1268 43" Pecan, Tag 1269 45.5" Pecan, tag 1274 23.5" Pecan, tag 1275 37.5" Pecan.

Below is a description of our proposed 2 year tree care plan to ensure trees have the best opportunity for a healthy recovery from construction.

## Year one: (Will begin immediately)

**Initial Treatment Pre Construction:** Incorporate organic material into the soil by fracturing the soil via an Air Spade. This reduces soil compaction and increases water movement. This will be performed in wedge shape section in the 1/2 critical root zones.

**Deep Root Treatment:** Apply a mixture of slow released (low nitrogen) fertilizer, micro/macro nutrient pack, and PHC MycorTree Injectable via soil injection for the full critical root zone. There will be 2 treatments per year 6 months apart.

Light pruning to remove deadwood sucker and crossing branches to insure proper growth and health of the tree.

These trees will be inspected quarterly by a certified arborist to insure the trees are reaching the optimal health and growth.

### Year 2

**Deep Root Treatment:** Apply a mixture of slow released (low nitrogen) fertilizer, micro/macro nutrient pack, and PHC MycorTree Injectable via soil injection for the full critical root zone. There will be 2 treatments per year 6 months apart.

Quarterly checks by certified arborist.

Colby Green Owner of Green Leaf Arbor Care 512-720-2733

Tx-4236A

