

2904 RIVERCREST DRIVE  
AUSTIN, TX 78746

**Case # 2022-000021 BA**

# AERIAL



# MAP AERIAL



## VARIANCE REQUEST

**Because the house currently sits 25' from the front property line, we are respectfully seeking BoA Variance from:**

- I. 25-2-492(D) LA zoning front setback encroachment to reduce the required 40-foot setback to 25-foot setback for existing residence.**
- II. 25-2-963(E)(1)(B) to increase the height of a non-complying wall in the front setback from 23'8" to 24'1".**

**The zoning regulations applicable to the property do not allow for a reasonable use because:**

- **The lot is substandard as it was platted as a 15,416 square-foot lot in the mid-1960s. It is less than 1 acre and does not meet the standards prescribed by Lake Austin zoning requirements.**
- **This limits the property owners' ability to reasonably use the site to the highest and best use as contemplated by the original plat and subsequent "A" and "LA" zoning categories.**

## HARDSHIP

**The hardship for which the variance is requested is unique to the property in that:**

- **The applicant respectfully requests the board acknowledge the hardships in place as a result of the lot size being less than 1 acre, City initiated rezoning to LA zoning, existing front setback encroachment acknowledgement via approved building permits over a 30-year period, and the need to perform a substantial remodel on a 1988 era structure.**
- **Compliance with existing 40-foot setback requires either full or partial demolition of the existing residence.**

## HARDSHIP (CONT'D)

**The hardship is not general to the area in which the property is located because:**

- **The site was issued a multitude of development permit approvals, exacerbating ongoing remodels for a noncomplying structure.**

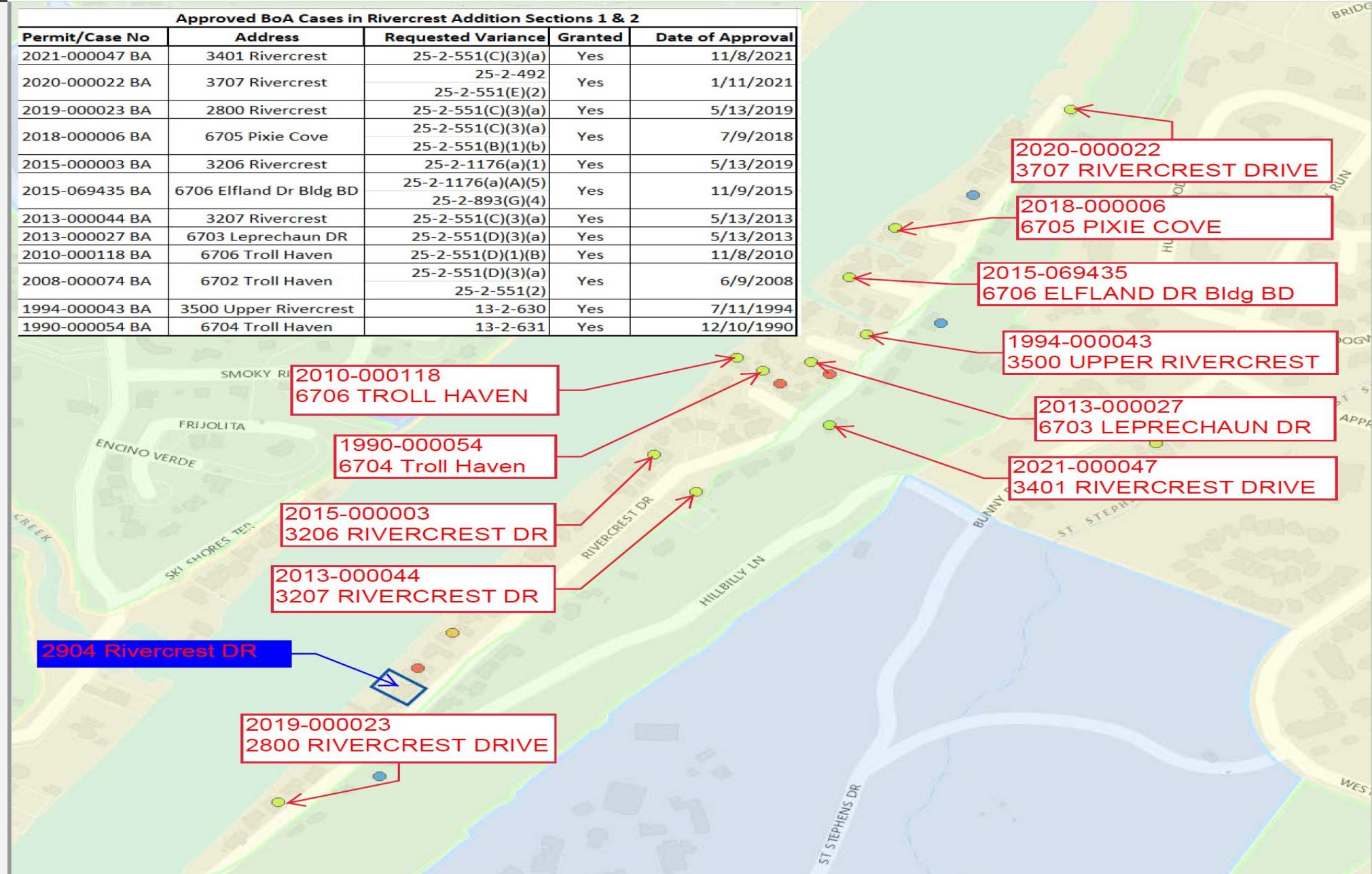
## AREA CHARACTER

**The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:**

- **There is zero known adverse impact on any adjacent property whether it be near or far from this site.**
- **The reduction in impervious cover from 50% to 35% is a benefit not only to the environment but also alleviates any potential drainage concerns which may or may not have been an issue over the years (we are not aware of any drainage issues).**

# APPROVED BOARD OF ADJUSTMENT VARIANCE CASES NEARBY

D-4/9-PRESENTATION



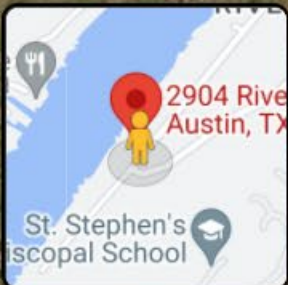
## STREET VIEW



## STREET VIEW

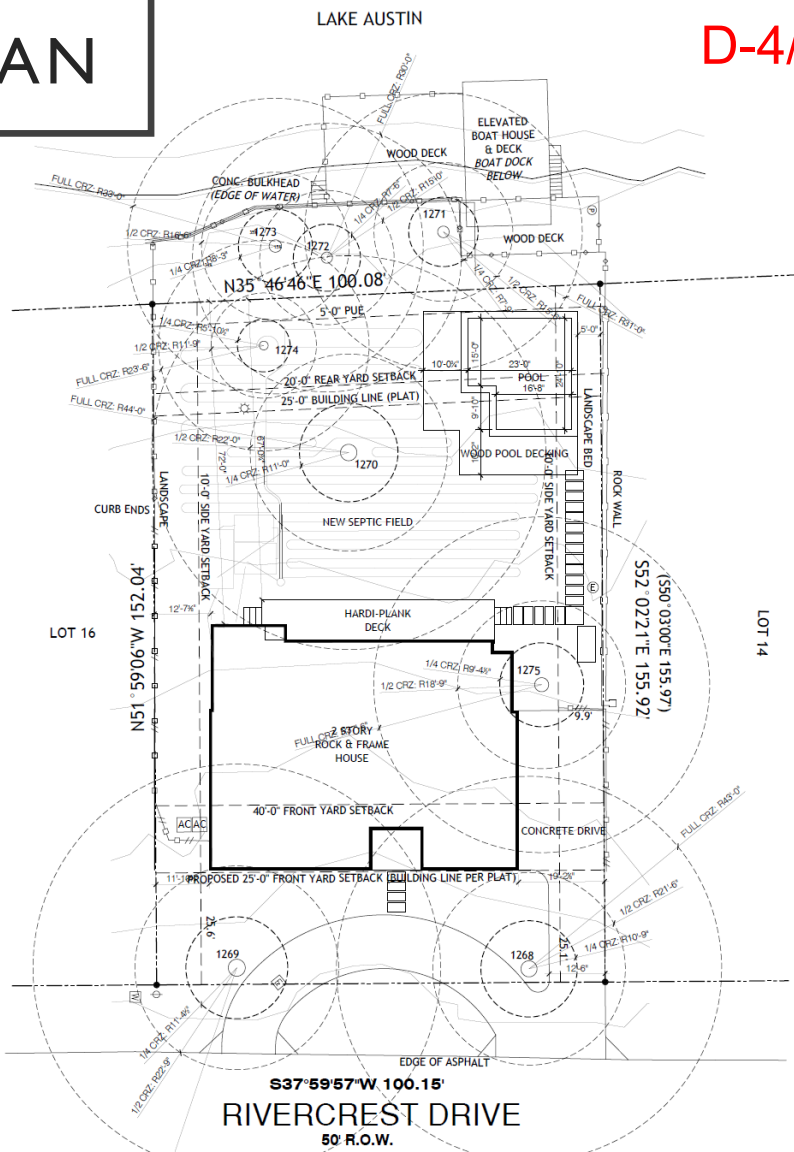
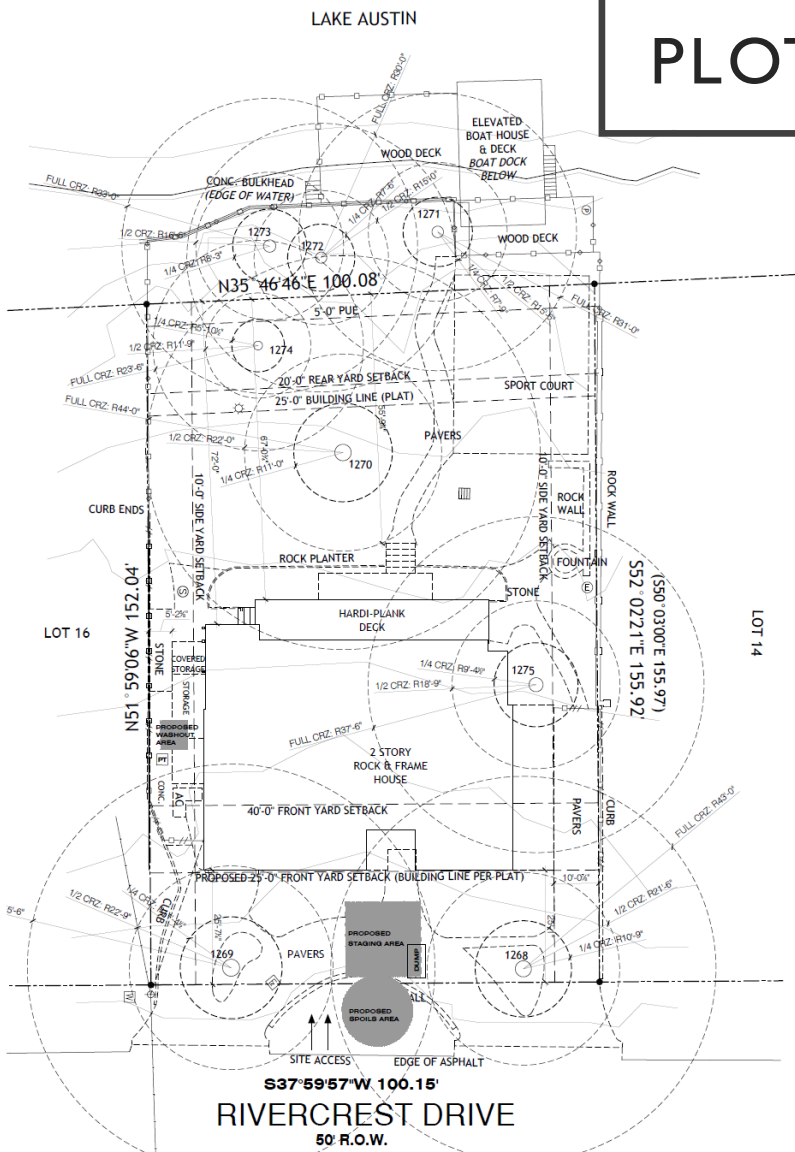


## STREET VIEW



Google

PLOT PLAN



D-4/13 PROPOSED SEPARATION

- SEPARATION NOTES:
- \* A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
  - \* No more than 25 percent of the critical root zone shall be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit, BEFORE performing this work.)
  - \* Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 1/2 CRZ
  - \* Portable Toilet, Concrete Washout and Paint Washout may not be placed within a protected tree's FULL CRZ
  - \* Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5" in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
  - \* If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

ARTERBERRY COOKE ARCHITECTURE

Project Owner:  
Alice Arterberry  
2416 Vista Lane  
Austin, TX 78703  
alice@arterberrycooke.com  
323.236.5182

Project Owner:  
Cody Draving  
Project Address:  
2904 Rivercrest Dr  
Austin TX 78746

SITE PLANS

drawn by: HFS  
checked by: AA  
scale: 1" = 16'-0"  
first issue:  
plot date: 02/15/2022

A1.0

# IMPERVIOUS COVER

D-4/14-PRESENTATION

ARTERBERRY COOKE ARCHITECTURE

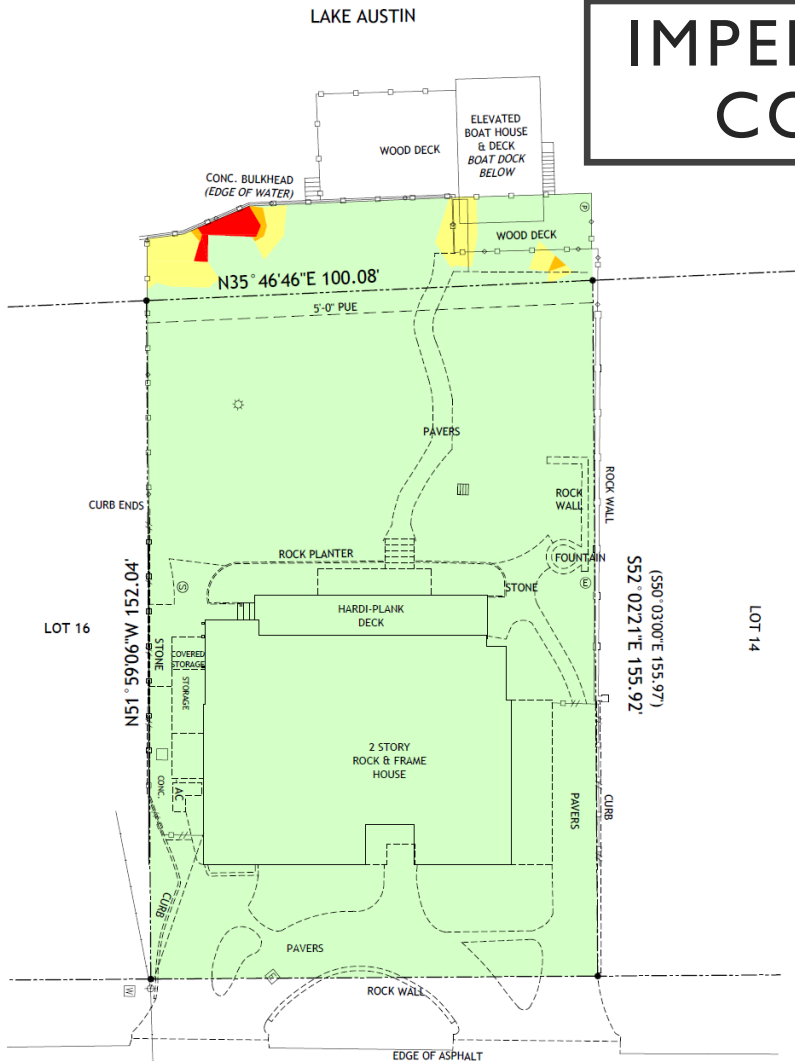
Architect:  
Alice Arterberry  
2816 Vista Lane  
Austin, TX 78703  
alice@arterberrycooke.com  
323.236.5182

Project Owner:  
Cody Stang  
Project Address:  
2904 Rivercrest Dr  
Austin TX 78746

IMPERVIOUS COVER MAPS

drawn by: HFS  
checked by: AA  
scale: 1" = 16'-0"  
first issue:  
plot date: 03/08/2022

A1.1



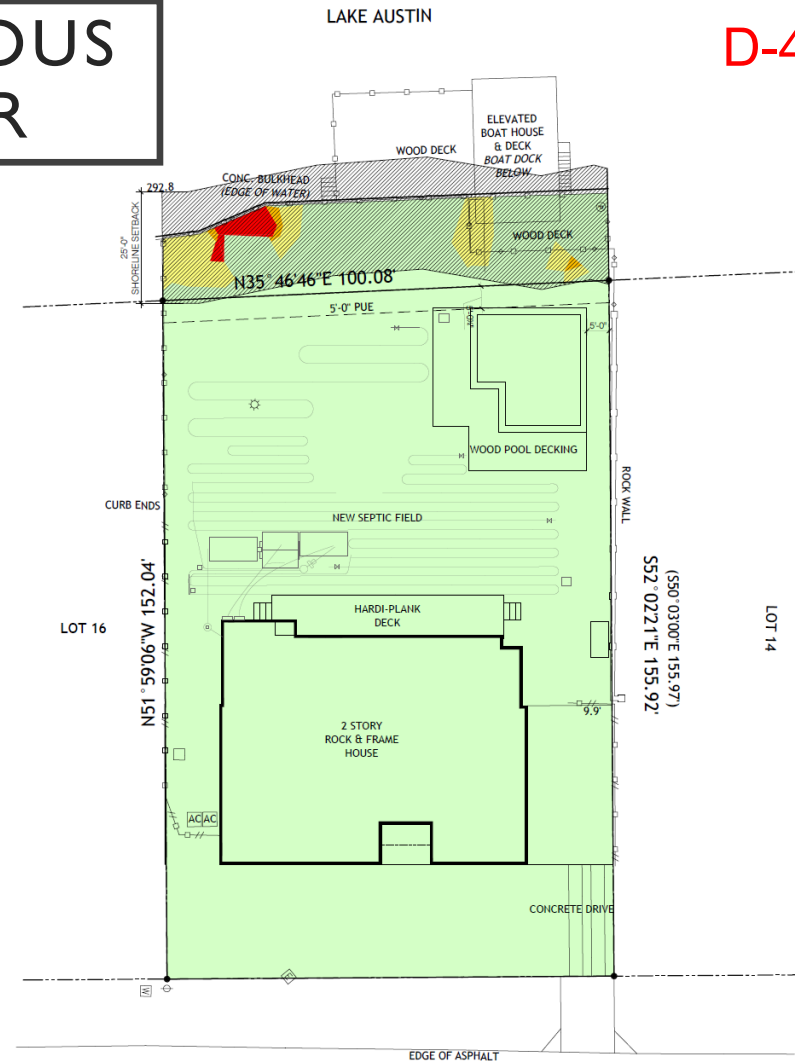
LOT AREA 15385.75 SQFT  
(EXCLUDES 25'-0" SHORELINE SETBACK)

EXISTING	IMPERVIOUS COVER
AREA	
FRONT PORCH	28.25 SQFT
HOUSE	3859.52 SQFT
DRIVEWAY	1825.66 SQFT
COVERED PORCH	462.87 SQFT
UNCOVERED PORCH	209.57 SQFT
SIDEWALK	856.67 SQFT
OTHER FLATWORK	131.51 SQFT
STORAGE	226.84 SQFT
TOTAL	7600.82 SQFT
IMPERVIOUS COVER	49.40%

EXISTING IMPERVIOUS COVER	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE
AREA	SYMBOL	NET AREA	ALLOWED	ALLOWED	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT
0-15%		15385.75	35%	4385.01	7600.62	49.40%			
>15%-25%		0	10%	0.00	0.00	0.00%			
>25%-35%		0	0%	0.00	0.00	0.00%			
>35%		0	0%	0.00	0.00	0.00%			
TOTALS		15385.75		4385.01	7600.62	49.40%			

EXISTING/DEMO SITE PLAN

Scale 1/16" = 1'-0" (TABLOID Scale 1/32" = 1'-0")



LOT AREA 15385.75 SQFT  
(EXCLUDES 25'-0" SHORELINE SETBACK)

PROPOSED	IMPERVIOUS COVER
AREA	
FRONT PORCH	28.25 SQFT
HOUSE	3472.50 SQFT
DRIVEWAY	825.89 SQFT
COVERED PORCH	462.87 SQFT
UNCOVERED PORCH	60.66 SQFT
OTHER FLATWORK	172.53 SQFT
WOOD POOL DECK (55%)	265.36 SQFT
TOTAL	5253.30 SQFT
IMPERVIOUS COVER	34.79%

NEW IMPERVIOUS COVER	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE	PER ZONE
AREA	SYMBOL	NET AREA	ALLOWED	ALLOWED	PROPOSED	PROPOSED	PROPOSED	PROPOSED	PROPOSED
IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT	IC LIMIT
0-15%		15385.75	35%	4385.01	5253.30	34.79%			
>15%-25%		0	10%	0.00	0.00	0.00%			
>25%-35%		0	0%	0.00	0.00	0.00%			
>35%		0	0%	0.00	0.00	0.00%			
TOTALS		15385.75	35%	4385.01	5253.30	34.79%			

PROPOSED SITE PLAN

Scale 1/16" = 1'-0" (TABLOID Scale 1/32" = 1'-0")

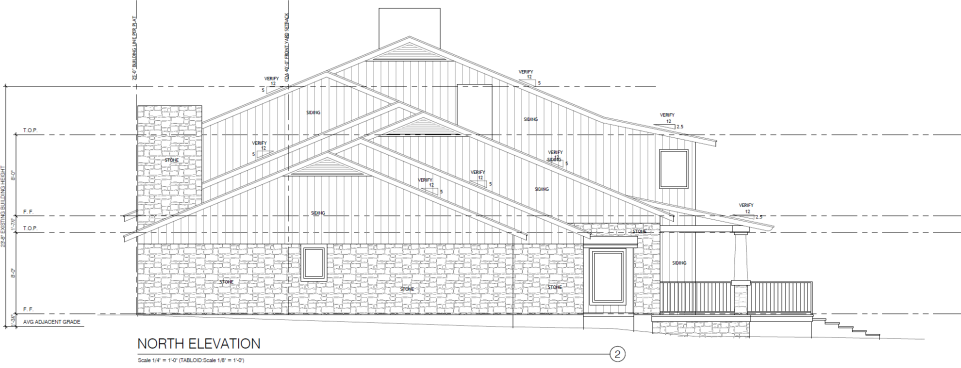
Existing IC  
= 50%

Proposed IC  
= 35%

EAST AND NORTH ELEVATIONS

D-4/15-PRESENTATION

EXISTING



Revisions By

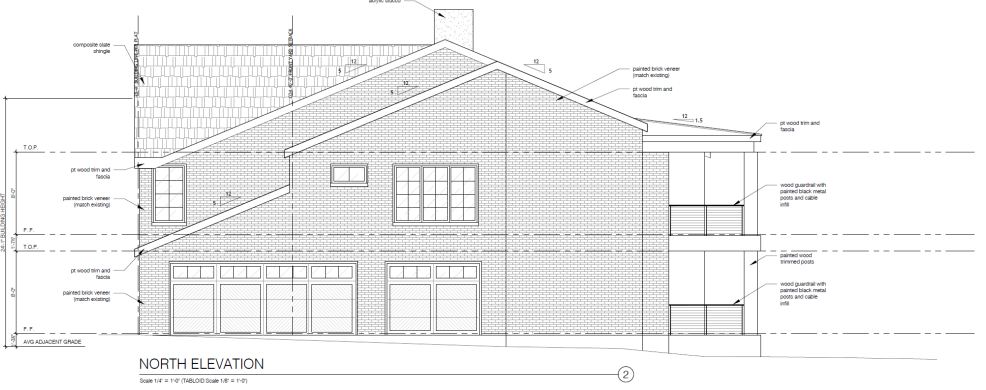
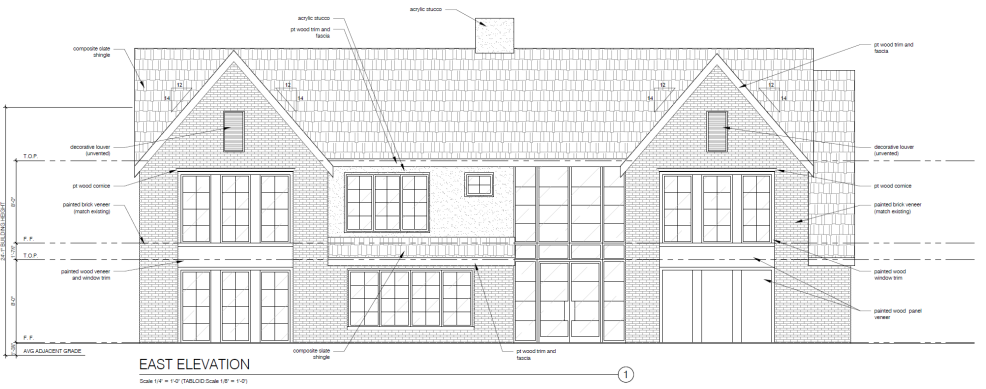
ARTERBERRY COOKE ARCHITECTURE

Project Owner  
Cook, Sheng  
Project Address  
2801 W. 10th St.  
Austin, TX 78704  
Plot Date: 03/18/2022

EXISTING ELEVATIONS

A3.0

PROPOSED



Revisions By

ARTERBERRY COOKE ARCHITECTURE

Project Owner  
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Project Address  
2801 W. 10th St.  
Austin, TX 78704  
Plot Date: 03/18/2022

ELEVATIONS

A3.0

# Roof Modification East and North Elevations

D-4/16-PRESENTATION

Revisions By

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ARTERBERRY COOKE ARCHITECTURE

Architect:  
Alice Arterberry  
2416 Vista Lane  
Austin, TX 78703  
alice@arterberrycooke.com  
323.235.5182

Project Owner:  
Cody Zhang  
Project Address:  
2924 Rivercrest Dr  
Austin, TX 78706

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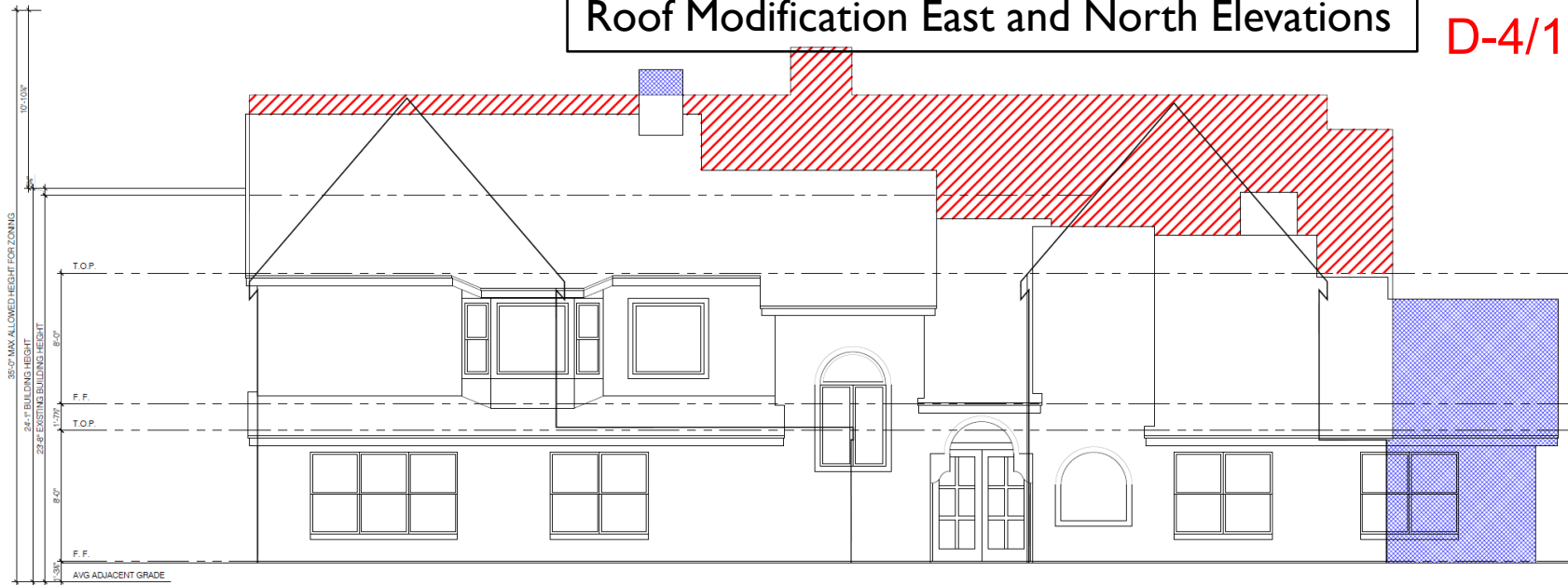
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ARTERBERRY COOKE ARCHITECTS

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checked by: AA  
scale: 1/4" = 1'-0"  
first issue:  
plot date: 03/08/2022

ZONING EXHIBIT

A3.2

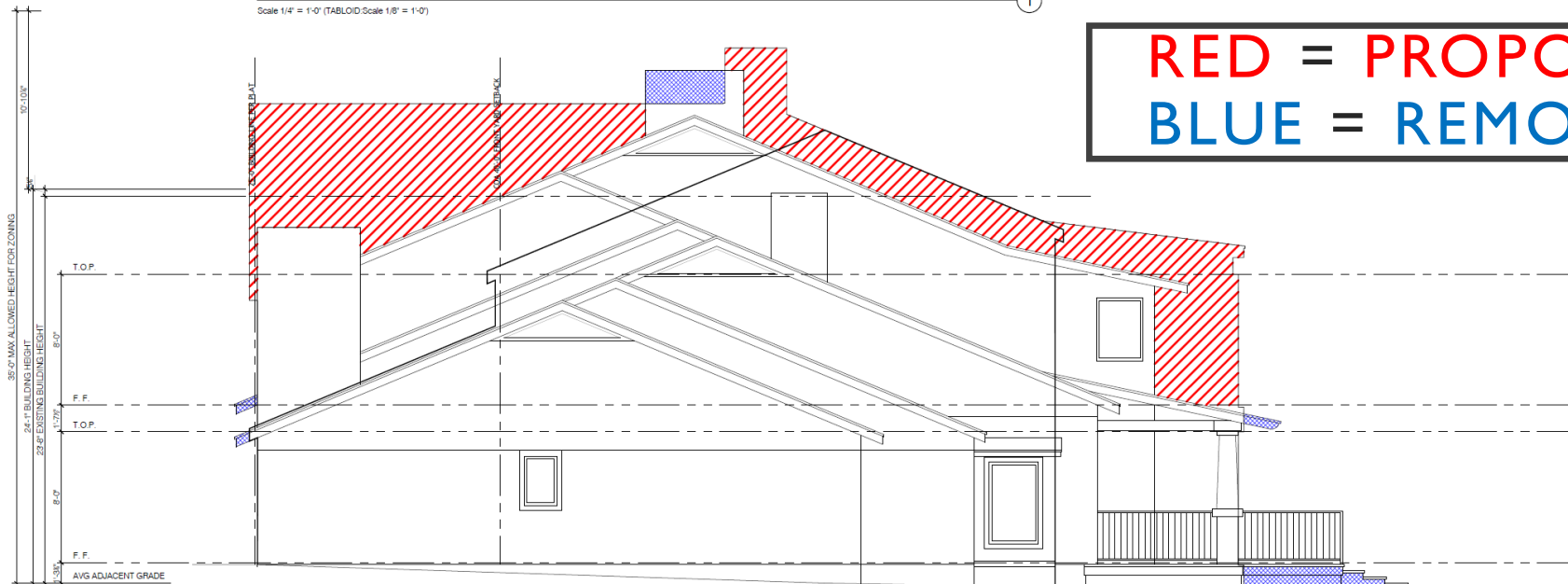


EAST ELEVATION

Scale 1/4" = 1'-0" (TABLOID Scale 1/8" = 1'-0")

①

RED = PROPOSED  
BLUE = REMOVED



NORTH ELEVATION

Scale 1/4" = 1'-0" (TABLOID Scale 1/8" = 1'-0")

②

////// VOLUME ADDED  
■■■■ VOLUME REMOVED

WEST AND SOUTH ELEVATIONS

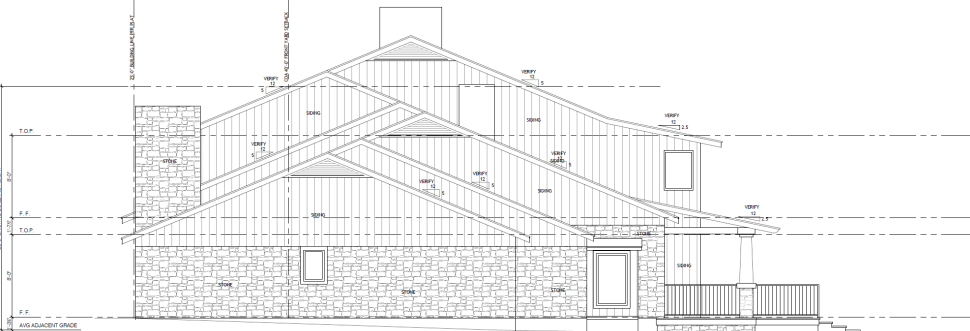
D-4/17-PRESENTATION

EXISTING



EAST ELEVATION  
Scale 1/4" = 1'-0" (TABLOO Scale 1/8" = 1'-0")

1



NORTH ELEVATION  
Scale 1/4" = 1'-0" (TABLOO Scale 1/8" = 1'-0")

2

Revisions By

# Roof Modification West and South Elevations

## D-4/18-PRESENTATION

Revisions	By

ARTERBERRY COOKE ARCHITECTURE

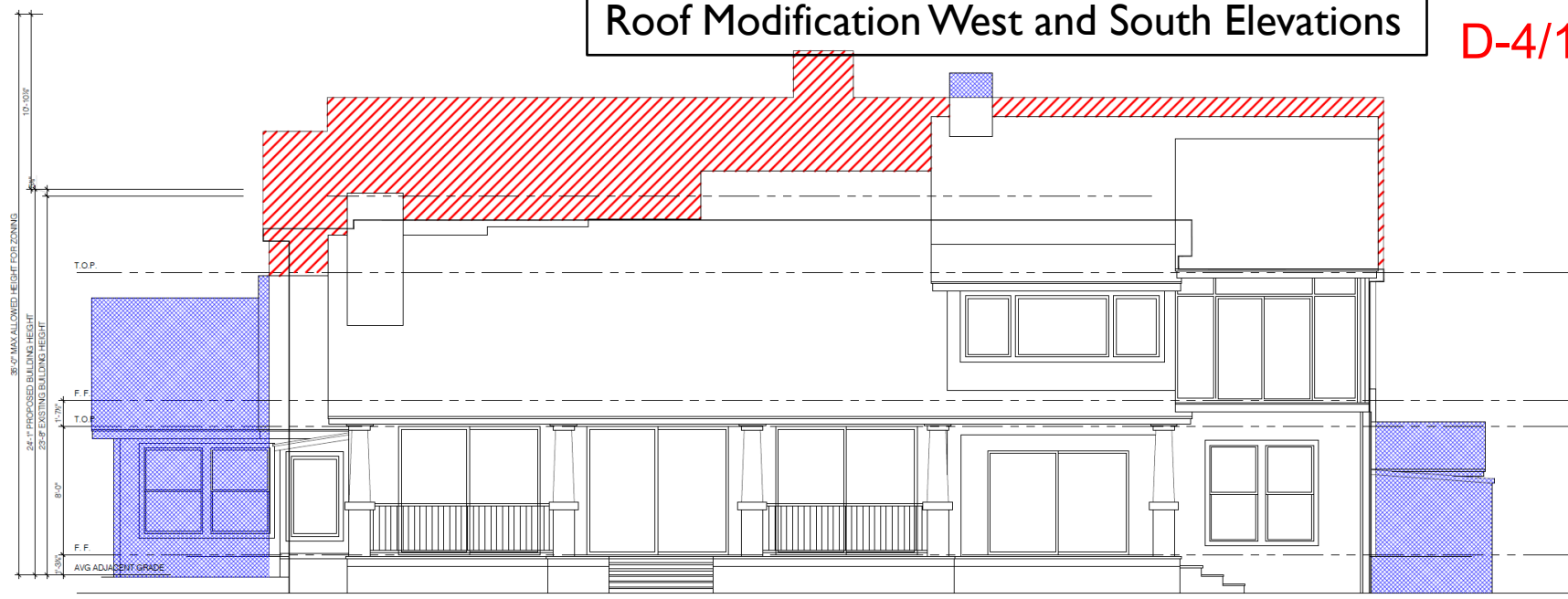
Architect:  
Alice Arterberry  
2416 Vista Lane  
Austin, TX 78703  
alice@arterberrycooke.com  
323.236.5182

Project Owner:  
Cosy Slaving  
Project Address:  
2904 Rivercrest Dr  
Austin, TX 78746

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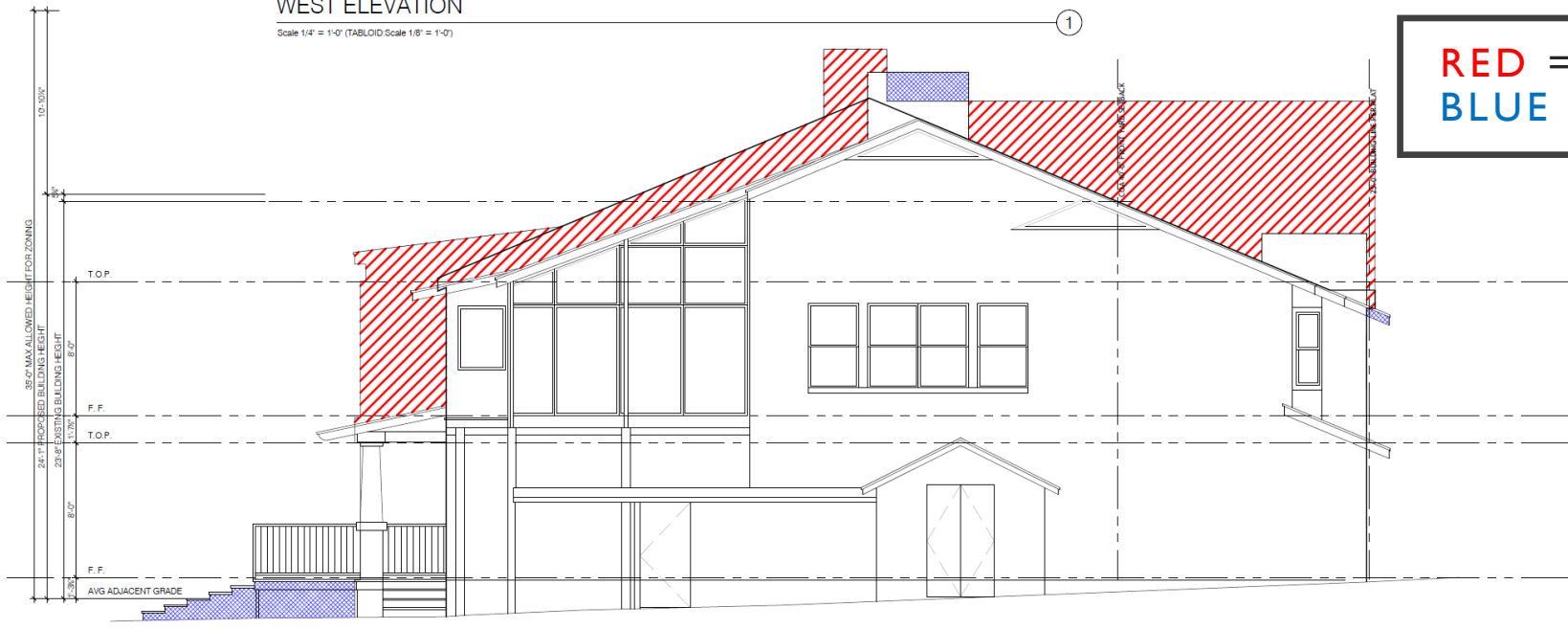
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WEST ELEVATION

Scale 1/4" = 1'-0" (TABLOID Scale 1/8" = 1'-0")

RED = PROPOSED  
BLUE = REMOVED



SOUTH ELEVATION

Scale 1/4" = 1'-0" (TABLOID Scale 1/8" = 1'-0")

/// VOLUME ADDED  
/// VOLUME REMOVED

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plot date: 03/08/2022

A3.3

ZONING EXHIBIT

# SUBMITTED PROPOSED ROOF PLAN

D-4/19-PRESENTATION

## ROOF LEGEND

- NEW ASPHALT SHINGLE ROOF
- NEW LOW SLOPE STANDING SEAM ROOF
- WALL OUTLINE
- DOWNSPOUT

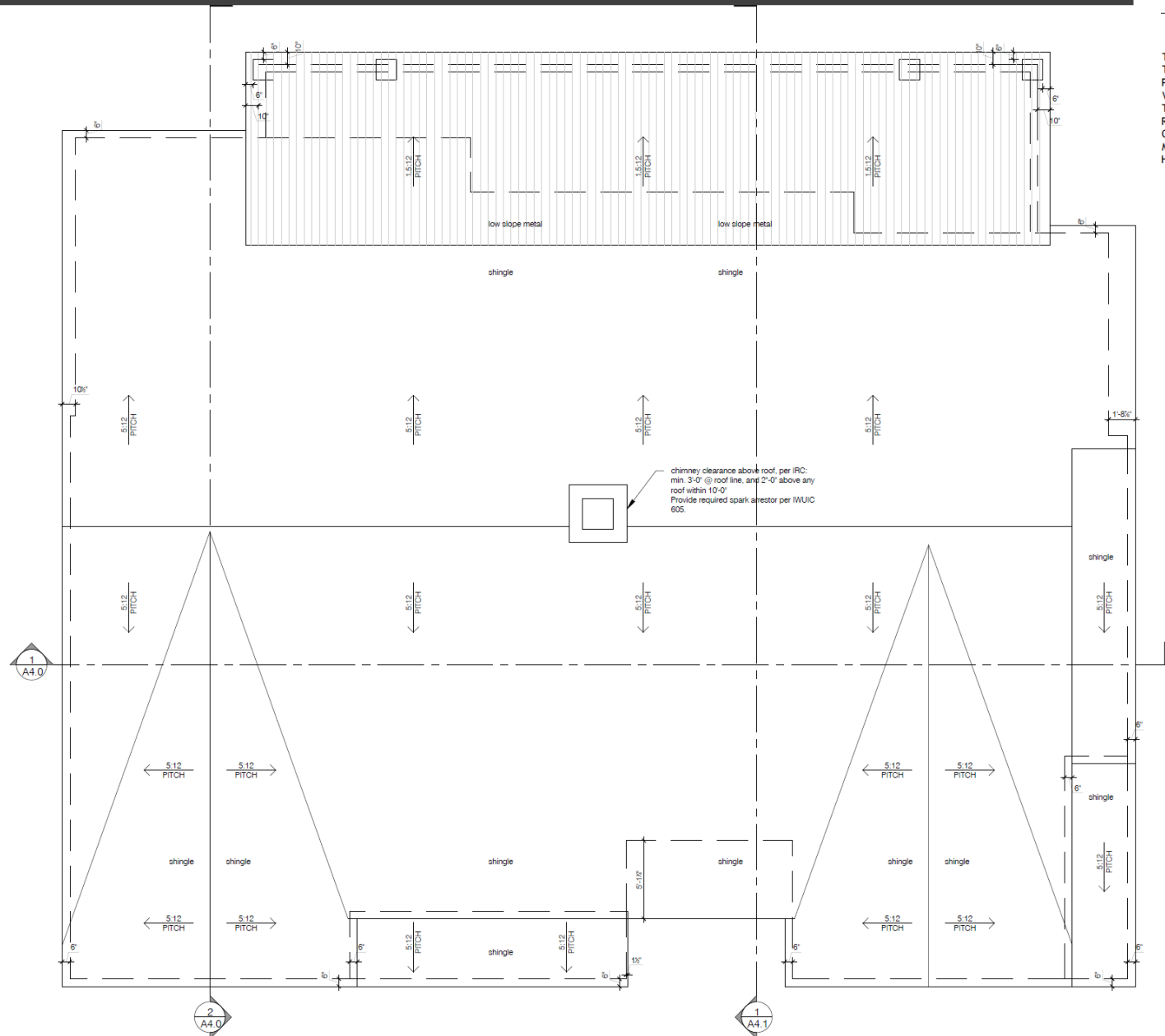
THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT REDUCTION OF TOTAL AREA TO 1/300 IS PERMITTED PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE (NO MORE THAN 3 FEET BELOW THE RIDGE) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. [2021 IRC R806.2] OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENING A MINIMUM OF 1/16" AND NOT EXCEEDING 1/4" INCH (1/8" IN HIGH FIRE HAZARD ZONES).

UPPER ROOF AREA = 3510 SQ.FT.  
REQUIRED NET FREE VENTILATION 1685 SQ. IN. (11.7 SQ.F.T.), BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 674SQ. IN. AND NO MORE THAN 842 SQ.IN. AT RIDGE (NOTE: GABLE VENTS ARE DECORATIVE. NOT OPEN TO ATTIC SPACE).

LOWER ROOF (LIVING) AREA = 90 SQ.FT.  
REQUIRED NET FREE VENTILATION 44 SQ.IN. (0.3 SQ.F.T) BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 18 SQ.IN. AND NO MORE THAN 22 SQ.IN. AT RIDGE.

LOWER ROOF (GARAGE) AREA = 70 SQ.FT.  
REQUIRED NET FREE VENTILATION 34 SQ.IN. (0.23 SQ.F.T) BALANCE BETWEEN RIDGE VENTS AND SOFFITS WITH NO LESS THAN 14 SQ.IN. AND NO MORE THAN 17 SQ.IN. AT RIDGE.

LOW SLOPE METAL ROOF AREA = 664SQ.F.T - unvented



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Architect:  
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Austin, TX 78703  
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323.236.5182

Project Owner:  
Cody Staring  
Project Address:  
2904 Rivercrest Dr  
Austin, TX 78746

ROOF PLAN

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ARTERBERRY COOKE ARCHITECTS

**LOT 16**

**LOT 14**

**RIVERCREST DRIVE**

**50' R.O.W.**

**S37°59'57"W 100.15'**

**S52°03'00"E 155.97'**

**N51°59'06"W 152.04'**

**N35°46'46"E 100.08'**

**ELEVATED BOAT HOUSE & DECK BOAT DOCK BELOW**

**WOOD DECK**

**CONC. BULKHEAD (EDGE OF WATER)**

**WOOD POOL DECKING**

**HARDI-PLANK DECK**

**2 STORY ROCK & FRAME HOUSE**

**CONCRETE DRIVE**

**PROPOSED 25'-0" FRONT YARD SETBACK (BUILDING LINE PER PLAT)**

**40'-0" FRONT YARD SETBACK**

**10'-0" SIDE YARD SETBACK**

**10'-0" SIDE YARD SETBACK**

**5'-0" PUE**

**25'-0" REAR YARD SETBACK**

**25'-0" BUILDING LINE (PLAT)**

**LANDSCAPE**

**LANDSCAPE**

**ROCK WALL**

**Water Lines**

**Pool Equipment**

**Soil Profile #1**

**Soil Profile #2**

**Soil Profile #3**

**Soil Profile #4**

**Soil Profile #5**

**Soil Profile #6**

**Soil Profile #7**

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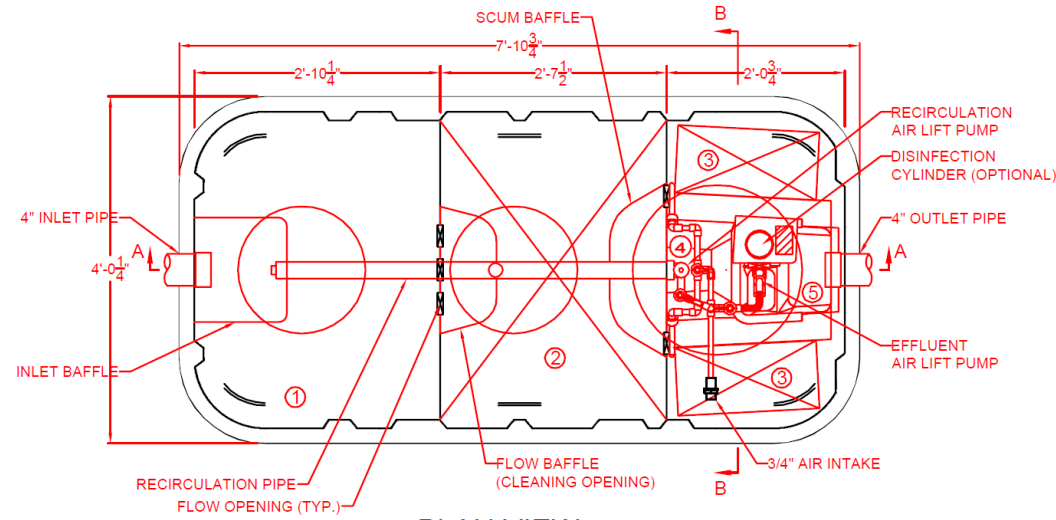
S37°59'57"W 100.15'

RIVERCREST DRIVE

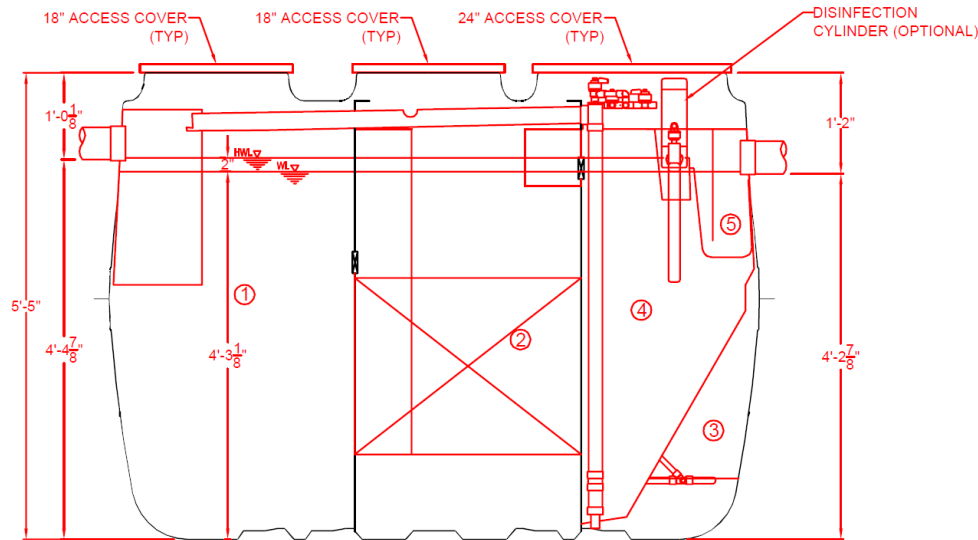
50' R.O.W.

# ON-SITE SEWAGE FACILITY STRUCTURAL

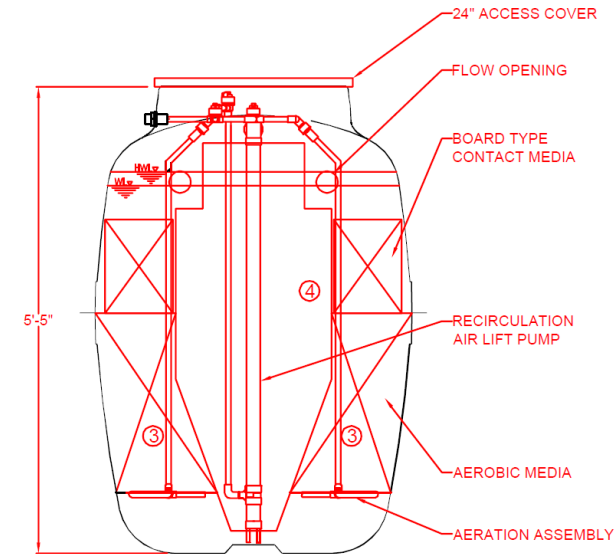
D-4/21-PRESENTATION



**PLAN VIEW**



**SECTION A-A VIEW**



**SECTION B-B VIEW**

	CHAMBER	Volume (gal)
①	Sedimentation Chamber	277
②	Anaerobic Filtration Chamber	278
③	Aerobic Contact Filtration Chamber	127
④	Clarification Chamber	63
⑤	Disinfection Chamber	4
Total Volume		749

SPECIFICATIONS	
Anaerobic Media	PP / PE
Board Type Aerobic Media	PVC / PP / PE
Aerobic Media	PP / PE
Blower	2.8 cfm
Tank	FRP
Piping	PVC / PP / PE
Access Covers	Plastic / Cast Iron
Disinfectant (Optional)	Chlorine Tablets



**CEN-5**  
Structural Drawing

DATE: 03/21/2021 SCALE: 1/2" = 1"

# TREE IMPACTS

## D-4/22-PRESENTATION

### TREE ORDINANCE Notes:

- \* A minimum of 50 percent of the critical root zone must be preserved at natural grade, with natural ground cover.
- \* There is no cut or fill within the 1/4 critical root zones. No impacts are permitted within the 1/4 critical root zone.
- \* Prior to construction, 5' high chain-link mesh, protective fencing is required around all trees within the LOC. When the protective fencing cannot incorporate the entire 1/2 critical root zone, an 8" layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the critical root zone. Additionally, min 2x4 or greater size planks (6' tall minimum) to be strapped securely around a protected tree's trunk and root flare when protective fencing doesn't incorporate the entire 1/2 CRZ for any reason at any time in the project.
- \* There is no cut or fill 4" or greater within the 1/2 critical root zone of protected trees. Only piers are allowed within 1/2 critical root zone and piers must be air-spaded.
- \* Demolition within the 1/2 critical root zone must be accomplished with hand tools.
- \* Not more than 25 percent of the crown should be removed within an annual growing season, and that the percentage and distribution of foliage to be removed shall be adjusted according to the plant's species, age, health, and site. If any pruning is required, a Certified Arborist must perform the pruning and pruning may only happen once during the project duration. This should occur prior to construction to avoid damaging the trees during construction. A "paid in full" receipt from a Certified Arborist, for the work, will be required from the Final Tree Inspector. If 25% or more of the canopy is desired to be removed, the Certified Arborist must provide a written report to us to seek a permit. BEFORE performing this work.)
- \* Access routes, Material Staging, Dumpster and Spoils may not be placed within a protected tree's 1/2 CRZ
- \* Portable Toilet, Concrete Washout and Paint Washout may not be placed within a protected tree's FULL CRZ
- \* Avoid the 1/2 Critical Root Zones of protected trees with any newly proposed utility work. If trenching within the 1/2 CRZ of protected trees cannot be avoided, the trenches will be air spaced by a Certified Arborist for the top 30" to avoid cutting roots 1.5" in diameter and the paid receipt for the work will be required by the Final Tree Inspector.
- \* If heavy equipment will be rolling over any area of the full CRZ of protected trees, provide 3/4" plywood over 2x4 lumber over 12" layer of mulch to bridge over the roots and prevent soil/ root compaction. After construction is completed, spread mulch around site to leave a max layer of 3" within root zones.

TREE 1268 43" PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 15% OF THE CROWN.

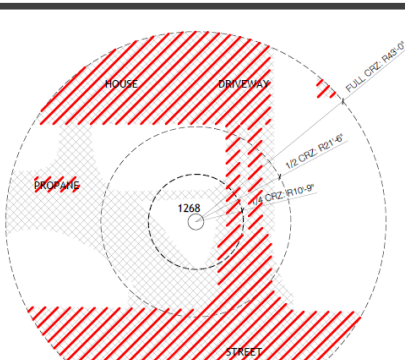
TREE 1269 45.5" PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REVISION/REMODEL OF THE EXISTING DRIVEWAY. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 10% OF THE CROWN.

TREE 1270 44" PECAN, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REPLACEMENT OF THE EXISTING SEPTIC SYSTEM. NEW SYSTEM PIPING NO MORE THAN 4" BELOW GRADE. PIPING REDUCED BY APPROX. 70%. ADDITIONALLY REMOVAL OF EXISTING PORCH EXTENSION AND STAIRS TO ACCOMMODATE THE SEPTIC SYSTEM WILL ALSO REDUCE IMPACTS TO THE CRZ.

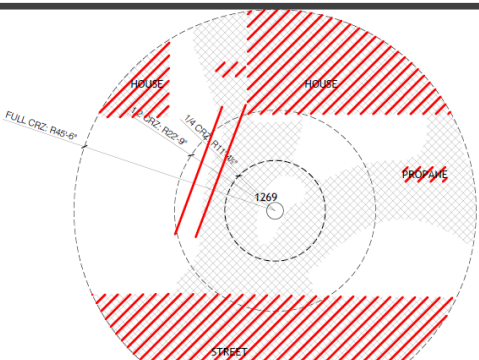
TREE 1271 31" MONTEZUMA CYPRESS, HERITAGE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY THE REMOVAL OF THE SPORT COURT AND EXISTING SIDEWALK WHICH WILL BE PARTIALLY REPLACED BY NEW POOL.

TREE 1275 37.5" PECAN, HERITAGE. THIS TREE IS IN FAIR HEALTH, WITH HOLLOWNESS IN THE TRUNK. THE TRUNK IS LEANING, BUT STABLE. MAJOR BRANCHES EXTEND OVER THE EXISTING HOUSE. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY PARTIAL REMOVAL OF OF THE EXISTING REAR PORCH. TRIMMING TO ACCOMMODATE 2ND STORY ADDITION AT APPROXIMATELY 25% OF THE CROWN.

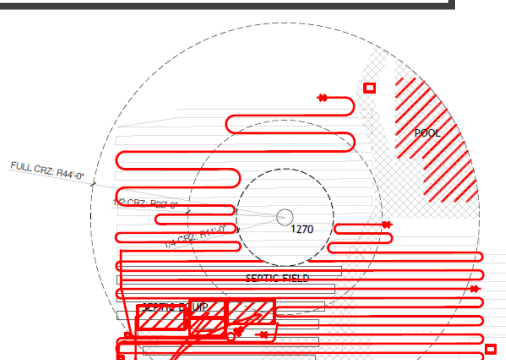
TREE A 38" PECAN, HERITAGE. THIS TREE ON THE NEIGHBORS' PROPERTY. PROPOSE CRITICAL ROOT ZONE IMPACTS BE REDUCED BY REMOVAL OF EXISTING STORAGE UNITS AND PAVING. NEW IMPACTS INCLUDE REMOVAL OF EXISTING SEPTIC TANKS AND REPLACEMENT WITH THE NEW SYSTEM.



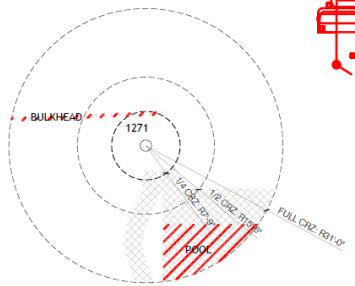
CRITICAL ROOT IMPACTS  
TOTAL CRZ 5808.8 SQFT  
EXISTING IMPACTS 3601.1 SQFT  
PROPOSED IMPACTS 2685.1 SQFT  
IMPACT AS % OF CRZ 44.2%  
REDUCED IMPACT 1036.0 SQFT



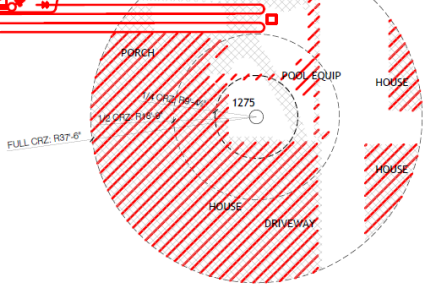
CRITICAL ROOT IMPACTS  
TOTAL CRZ 6503.9 SQFT  
EXISTING IMPACTS 4277.6 SQFT  
PROPOSED IMPACTS 2601.0 SQFT  
IMPACT AS % OF CRZ 39.99%  
REDUCED IMPACT 1676.5 SQFT



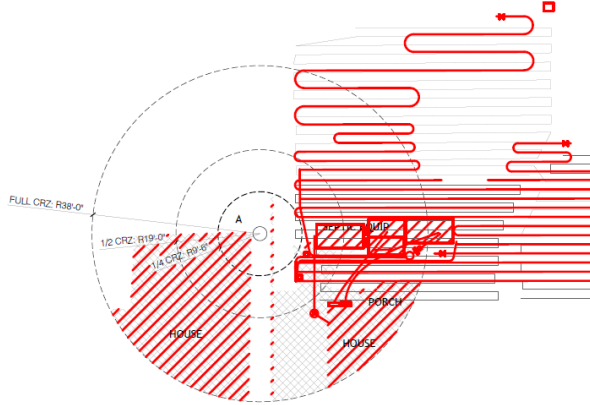
CRITICAL ROOT IMPACTS  
TOTAL CRZ 6082.1 SQFT  
EXISTING IMPACTS 1432.1 SQFT  
PROPOSED IMPACTS 968.8 SQFT  
IMPACT AS % OF CRZ 15.9%  
REDUCED IMPACT 463.2 SQFT  
THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED  
NEW SEPTIC SYSTEM PIPING BEYOND THE 1/4 CRZ  
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE



CRITICAL ROOT IMPACTS  
TOTAL CRZ 3019.1 SQFT  
EXISTING IMPACTS 528.8 SQFT  
PROPOSED IMPACTS 205.6 SQFT  
IMPACT AS % OF CRZ 6.8%  
REDUCED IMPACT 323.2 SQFT



CRITICAL ROOT IMPACTS  
TOTAL CRZ 4417.9 SQFT  
EXISTING IMPACTS 2727.3 SQFT  
PROPOSED IMPACTS 2417.6 SQFT  
IMPACT AS % OF CRZ 54.7%  
REDUCED IMPACT 309.7 SQFT



CRITICAL ROOT IMPACTS  
TOTAL CRZ 4536.5 SQFT  
EXISTING IMPACTS 1625.7 SQFT  
PROPOSED IMPACTS 1425.3 SQFT  
IMPACT AS % OF CRZ 31.5%  
REDUCED IMPACT 196.4 SQFT  
THE EXISTING SEPTIC SYSTEM NEEDS TO BE REPLACED  
PIPING TO BE PLACED LESS THAN 4" BELOW GRADE

IMPACT SUMMARY					
MARK	SIZE	TYPE	IMPACTS	REDUCTION	
1268	43"	PECAN	44.2%	YES	
1269	45.5"	PECAN	39.99%	YES	
1270	44"	PECAN	15.9%	YES	
1271	31"	MONTEZUMA CYPRESS	6.8%	YES	
1272	30"	MONTEZUMA CYPRESS	NO NEW		
1273	35"	MONTEZUMA CYPRESS	NO NEW		
1274	23.5"	PECAN	NO NEW		
1275	37.5"	PECAN	57.4%	YES, VARIANCE REQ'D	
A	38"	PECAN	31.5%	YES	

ARTERBERRY COOKE ARCHITECTURE

Architect:  
Alice Arterberry  
2410 Vista Lane  
Austin, TX 78703  
alice@arterberrycooke.com  
323.236.9182

Project Owner:  
Cody Stavig  
Project Address:  
2904 Riverwood Dr  
Austin TX 78746

TREE IMPACTS

drawn by: HFS  
checked by: AA  
scale: 1" = 16'-0"  
first issue:  
plot date: 03/08/2022

A1.2

THANK YOU