



DELINEATE studio
ARCHITECTURE - URBAN DESIGN

916 Springdale, Bldg 4 #104
Austin, TX 78702
bart@delineatestudio.com
512.522.3511

MATERIAL HATCHES

| | | | |
|-------------------|-----------------------------------|------------------------------|-----------------------------|
| SITEWORK | | THERMAL, MOISTURE PROTECTION | |
| | EARTH | | BATT INSULATION |
| | GRAVEL | | COMPRESSIBLE JOINT FILLER |
| | CRUSHED STONE | | RIGID INSULATION |
| CONCRETE, MASONRY | | FINISHES | |
| | CONCRETE | | GYPSUM WALLBOARD |
| | BRUCK, U.N.O. | | CEMENT BOARD |
| | BRICK, U.N.O. | | CEMENT STUCCO ON METAL LATH |
| METALS | | | CARPET & PAD |
| | STEEL | | RUBBBER/VCT |
| | ALUMINUM & NON-FERROUS METALS | | MARBLE |
| WOOD | | | |
| | PLYWOOD | | |
| | WOOD FRAMING - THROUGH MEMBER | | |
| | WOOD FRAMING - INTERRUPTED MEMBER | | |
| | FINISHED WOOD/ MILLWORK | | |

SYMBOLS LEGEND

| | |
|------|---|
| | EXISTING CONTOUR |
| | NEW CONTOUR |
| | TREE |
| | ELEVATION TAG (DRAWING #, SHEET #) |
| | SECTION TAG (DRAWING #, SHEET #) |
| | DETAIL TAG (DRAWING #, SHEET #) |
| | EXISTING ELEVATION TC= TOP OF CONCRETE, TG+ TOP OF GRADE TW= TOP OF WALL |
| | NEW ELEVATION TC= TOP OF CONCRETE, TG=TOP OF GRADE TW= TOP OF WALL |
| | KEYED NOTE |
| | WALL TYPE - SEE WALL DETAILS (SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION) |
| | HORIZONTAL ASSEMBLY - SEE ASSEMBLY DETAILS (HORIZONTAL ASSEMBLIES NOTED ON SECTIONS) |
| D.S. | DOWNSPOUT |
| (R) | RELOCATED |
| (E) | EXISTING |
| (D) | DEMOLISH |
| C.J | CONTROL JOINT |

MCCALLUM RESIDENCE

AUSTIN, TEXAS

CONSTRUCTION DOCUMENTS



PROJECT DESCRIPTION

- PROJECT ADDRESS:
2607 MCCALLUM DRIVE
AUSTIN, TX 78703
- LEGAL DESCRIPTION:
S 55 FT OF LOT 22 * & N 15 FT OF
LOT 24 BLK 17 PEMBERTON
HEIGHTS SEC 8
- ZONING:
SF3-NP
- LOT SIZE:
10232 SF
- APPLICABLE CODES:
2021 IRC, 2021 IECC

PROJECT AREAS

| | |
|------------------------|-----------|
| LOT AREA | 10131 SF |
| MAIN HOUSE | 3442 SF |
| Conditioned | |
| Level 1 | 1786 SF |
| Level 2 | 1656 SF |
| GARAGE | 1054 SF |
| Conditioned | |
| Level 2 | 527 SF |
| Unconditioned | |
| Level 1 | 527 SF |
| COVERED PORCH | |
| Main House | |
| Front | 32 SF |
| Back | 18 SF |
| FAR (Gross Floor Area) | 4046 SF |
| | 39.94% |
| BUILDING COVER | 2397 SF |
| | 23.66% |
| IMPERVIOUS COVER | 4377.5 SF |
| | 43.21% |

PROJECT DIRECTORY

| | |
|------------|--|
| OWNER | LAURA AND JOHN LEE (512) 368-0838 laura@lauralehome.com jleecpa3@gmail.com |
| ARCHITECT | DELINEATE STUDIO BART WHATLEY, ARCHITECT (512) 522-3511 bart@delineatestudio.com 916 SPRINGDALE RD. #4-104 AUSTIN, TX 78702 |
| STRUCTURAL | HOLLINGSWORTH PACK CHRIS HEWITT, PE (512) 275-6060 X101 chris.h@holl-pack.com 3801 S CONGRESS AVE #110 AUSTIN, TX 78704 |
| CONTRACTOR | IDM BUILDERS DAVID MORGAN (512) 778-5573 idmbuilders@gmail.com 350 COUNTY ROAD 258 LIBERTY HILL, TX 78642 |

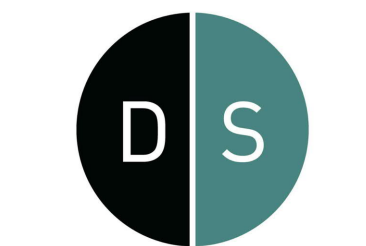
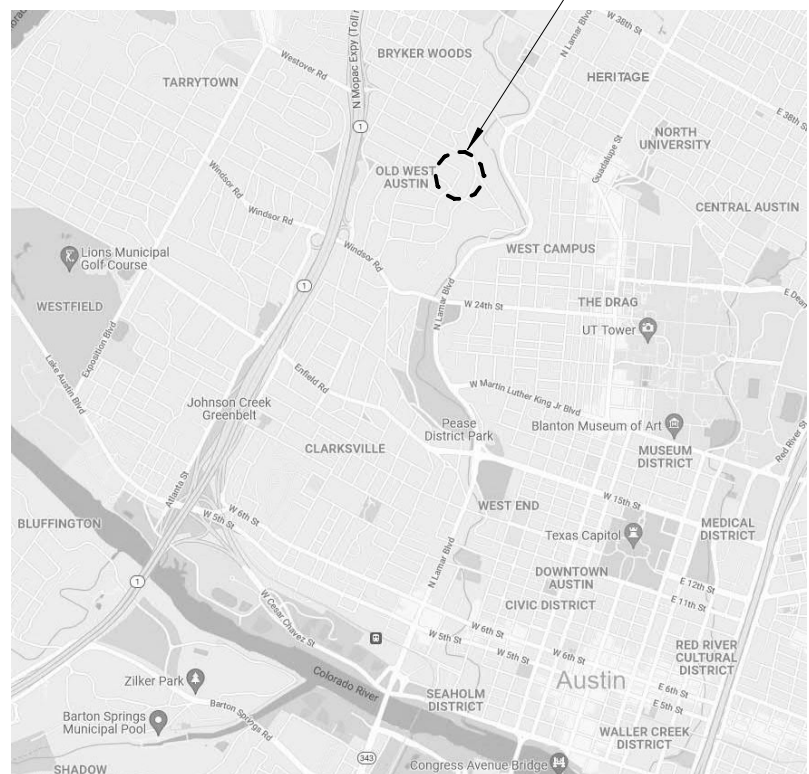
SHEET LIST

| | |
|---------------|---------------------------|
| ARCHITECTURAL | |
| A0.01 | Cover Sheet & Gen Notes |
| A0.21 | Window Types |
| A0.91 | Site Demo Plan |
| A1.01 | Site Plan |
| A1.02 | Site Setback Plan |
| A1.03 | Tree Protection Site Plan |
| A2.01 | Level 1 Floor Plan |
| A2.02 | Level 2 Floor Plan |
| A4.01 | Building Elevations |
| A4.02 | Building Elevations |

GENERAL NOTES

- Drawings are for permitting and do not address all elements of construction. Construction administration services by the architect should be contracted.
- Contractor is responsible for protecting all completed work.
- Contractor shall schedule and obtain permission from building owner for access to any building/site areas outside the limits of construction. Contractor responsible for protecting and cleaning any of these access areas.
- All work shall be constructed in compliance with adopted codes, local amendments/rules, and state regulations. Contractor responsible for coordination of requirements.
- Contractor shall verify and correlate all dimensions on the job site. Use dimensions indicated. Do not scale drawings.
- Immediately notify the architect of any discrepancies in the drawings, specifications, or actual job conditions which affect the execution of the work as intended.
- Contractor shall comply with the Texas statute governing trench safety. Any trench excavation exceeding 5 feet shall comply with Texas "occupational safety" and "health administration" standards. See structural/civil for any special shoring requirements. Geotechnical information may be included in the project manual or available from the architect. Contractor's pay request must contain a separate pay line for excavation safety systems. The above trench requirements are required by Texas law for both public and private projects.
- Contractor shall supply all necessary labor and material necessary to complete the work described herein.
- Fire extinguishers shall be provided in accordance with NFPA 10 and local fire department requirements.
- Access panels shall be provided and installed where required by building code or for the proper operation or maintenance of mechanical/electrical equipment, whether or not indicated on the drawings. Contractor shall coordinate size, location, and type of access panel with work of all trades. All access panels shall receive approval of the architect.
- Contractor shall perform any work within public right-of-way according to gov. agency requirements.
- The contractor shall obtain and pay fees for all necessary permits, licenses, certificates, testing.
- Furnish all new materials except where specifically noted otherwise. Warrant all materials and labor for a period of one year from the date of substantial completion, or the date of beneficial occupancy by the owner, whichever is later. Repair or replace all work that is discovered to be defective during that period.
- The contractor shall coordinate the work of all trades.

VICINITY MAP:



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6/14/2022

MCCALLUM RESIDENCE
NEW CONSTRUCTION
2607 McCallum Drive, Austin, TX 78703

REVISIONS

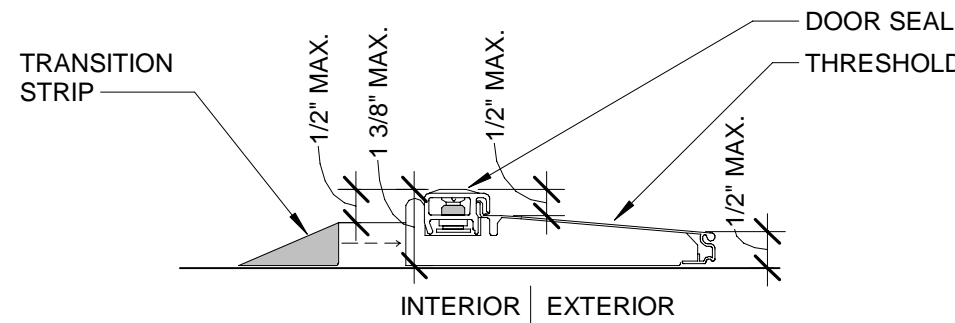
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Cover Sheet & Gen
Notes

CONSTRUCTION
DOCUMENTS
DATE: 6/14/2022
JOB: 2204

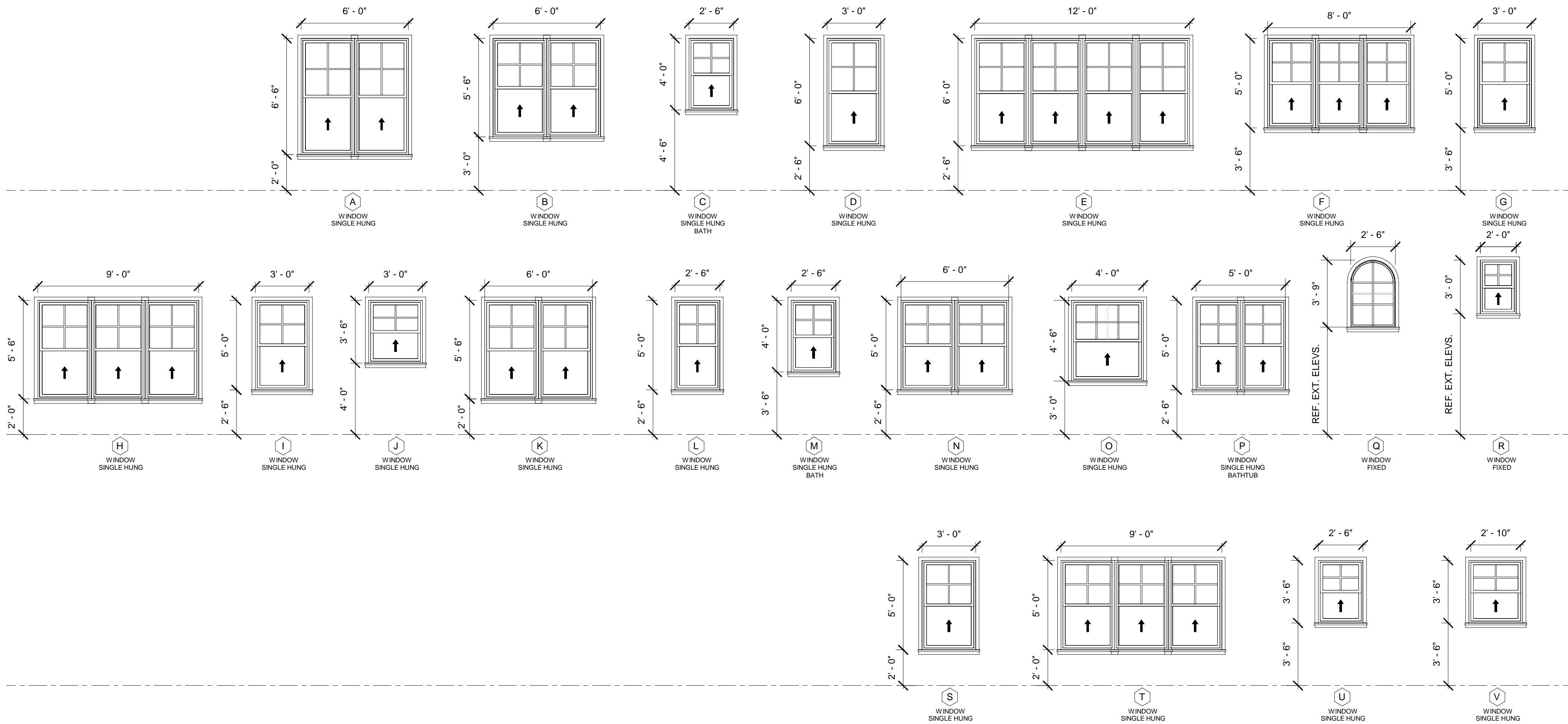
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2 VISITABLE ENTRY THRESHOLD

3\"/>



VISITABILITY NOTES:

- First floor to comply with all visitability standards under city code Sec. 25-12-243, R320. Visiblity items are referenced on floor plans.
- Visitable bathrooms (R320.3): At least 1 bathroom group must contain the following:
A) Minimal net clear opening of 30"; B) Lateral 2x6 blocking, centerline 34" from finished floor, except for the portion behind the lavatory. C) 30"x30" floor space not impeded by door swing. D) Bath walls to have lateral 2x6 blocking, centerline 34" from finished floor, except for portion behind lavatory.
- Visitable light switches, receptacles and environmental controls (R320.4): The first floor of a dwelling must contain the following:
A) All light switches and environmental controls shall not be installed greater than 48" above the finished floor; B) All outlets and receptacles shall be installed no less than 18" above floor. This measurement is from the top of the device or box to the unfinished floor.
- Visitable bathroom route (R320.5): All bathrooms designated for visitability on the first floor will be accessible by a route with a minimum clear pathway of 36" beginning at the visitable entrance and continuing through the living room, dining room, and kitchen. Any living space on a first floor requires a visitable bathroom, though living and kitchen is not required to be on the first floor.
- Visitable dwelling entrance (R320.6): A "no-step" entrance (Detail 2/BP-5) and the door shall have a net clear opening of 32" served by a 36" min. exterior route

WINDOW NOTES

- Glazing within 24" of either side of any door shall be tempered unless noted as wire glass.
- Glazing greater than 9 S.F. in area with a bottom edge less than 18" above (and horizontally within 36") or a walking surface shall be tempered.
- Exterior glazing shall be tinted as selected by owner.
- Minimum window specifications: see energy code compliance report. (See Owner/Architect for actual selection.)
- At least one window in each bedroom shall be 44" A.F.F. max. and open 20" wide min. by 24" high min. and open 5.7 S.F.
- For windows with sills less than 24" A.F.F. and where floors are 30" above exterior grade, window shall open no more than 4" or shall have an interior opening rail/guard that is operable at egress windows.
- Exterior glazing shall be insulated.
- Dimensions are nominal frame sizes, actual sizes vary by manufacturer.
- Contractor responsible for verifying actual dimensions and rough openings.

WINDOW LEGEND

SEE COVER SHEET FOR COMPLETE SYMBOLS
LEGEND

- 1
A101
- DETAIL REFERENCE
- T
- TEMPERED

1 WINDOW TYPES

1/4" = 1'-0"

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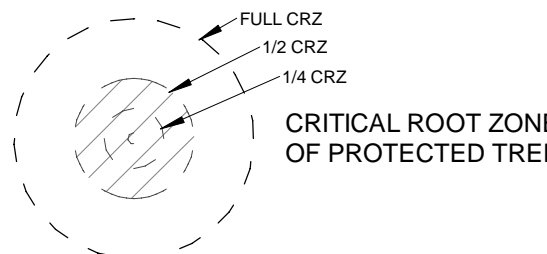
| Window Types | |
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| CONSTRUCTION DOCUMENTS | |
| DATE: | 6/14/2022 |
| JOB: | 2204 |

GENERAL SITE DEMO NOTES:

- Existing house and garage have been demolished under permits 2020-144516 & 2020-144517.
- Coordinate all demolition activities with the appropriate trade, agency, utility company, etc., as required.
- Protect all existing utility service lines, indicated or not, and repair and replace any damaged utility service lines.
- Locate, identify, stub off, and disconnect utility services that are not indicated to remain.

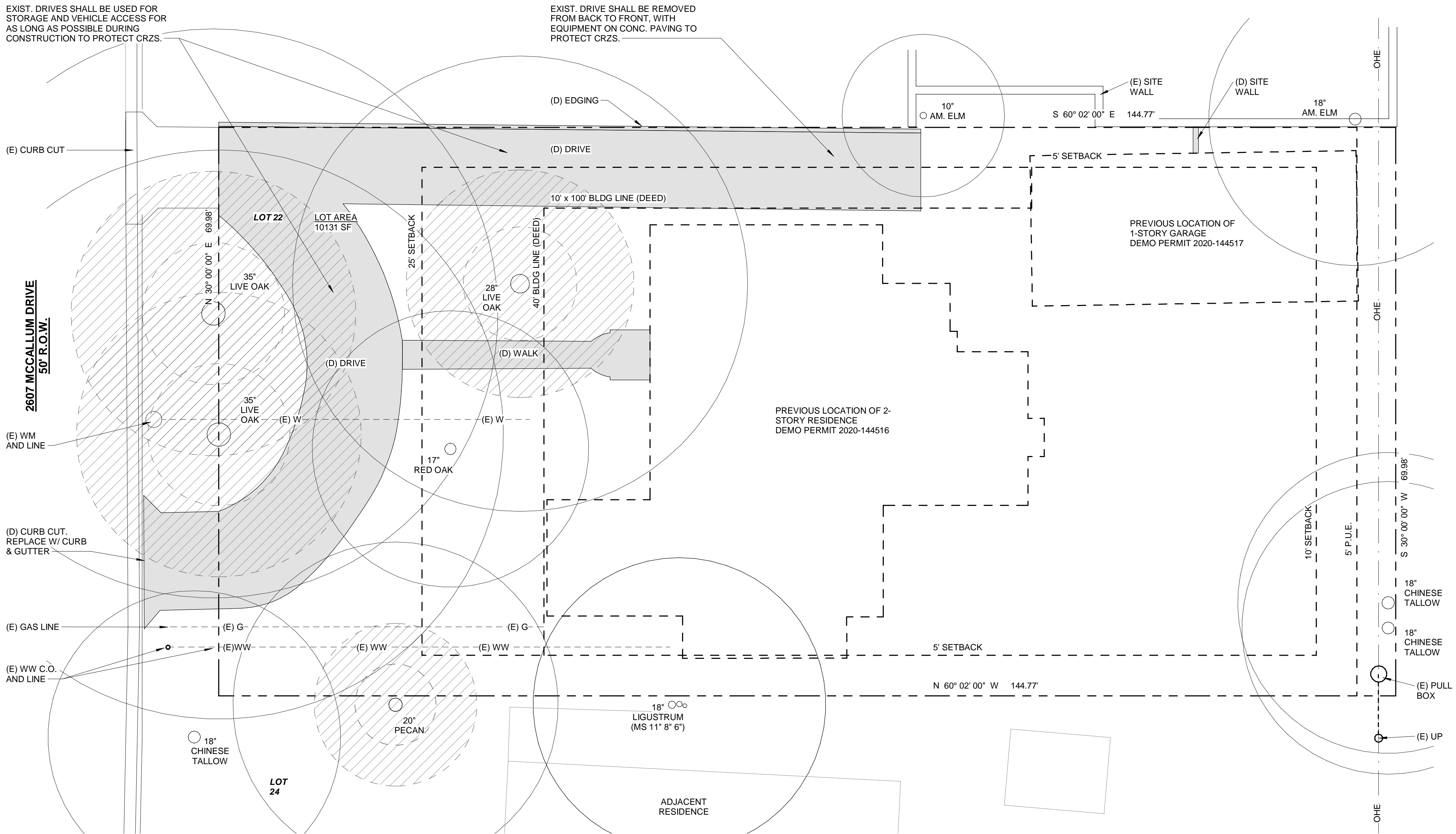
LEGEND

- STRUCTURE TO BE DEMO'D
HARDSCAPE TO BE DEMO'D



ABBREVIATIONS

- (E) EXISTING
(R) RELOCATED
(D) DEMOLISH
C.J. CONTROL JOINT
CRZ CRITICAL ROOT ZONE
CU CONDENSING UNIT
EM ELEC METER
OHE OVERHEAD ELEC
UGE UNDERGROUND ELEC
UP UTILITY POLE
GM GAS METER
WM WATER METER
WW WASTE WATER
IC IMPERVIOUS COVER
D.S. DOWNSPOUT



1

SITE DEMO PLAN

1/8" = 1'-0"

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Site Demo Plan

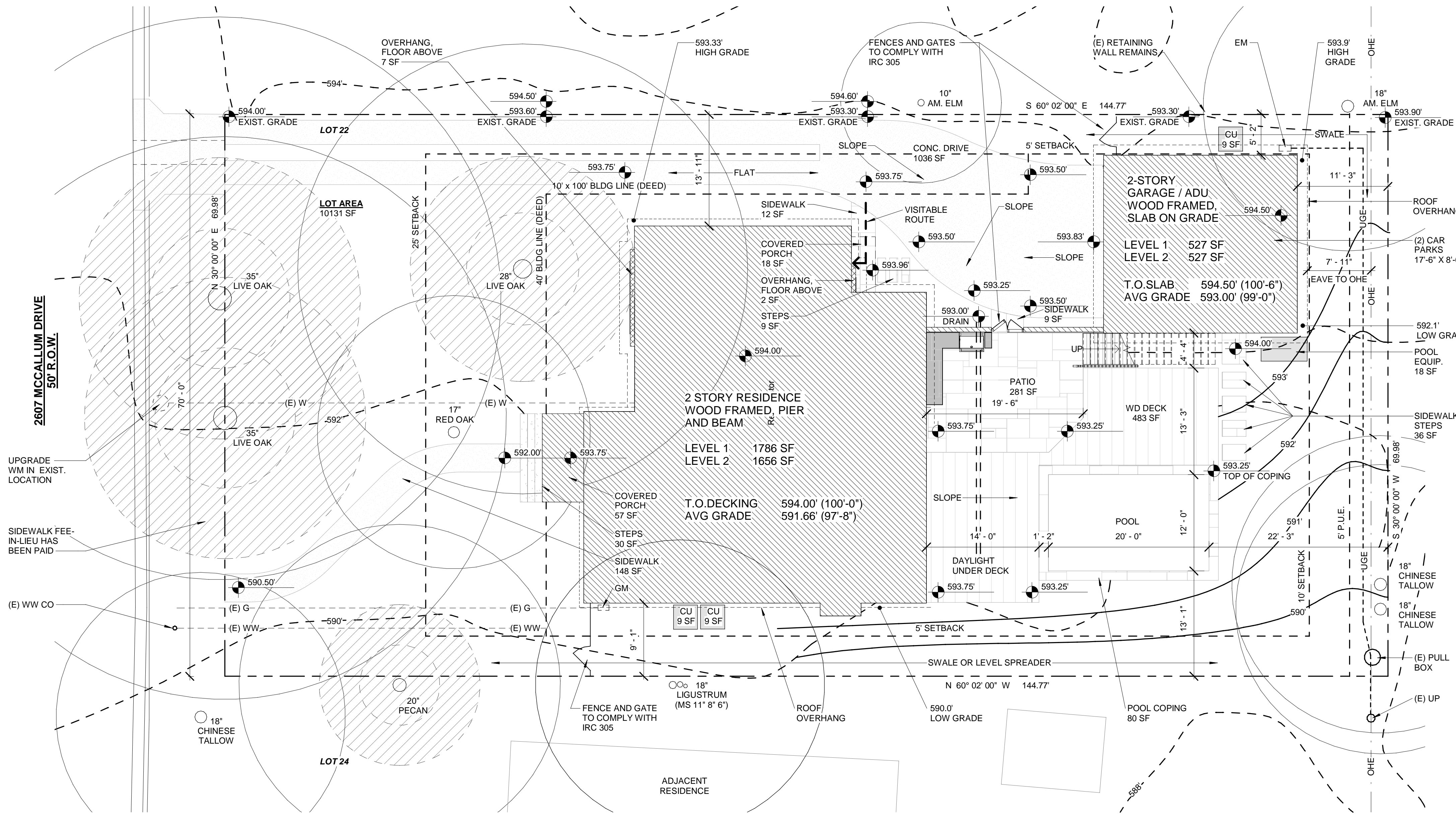
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DATE: 6/14/2022

JOB: 2204

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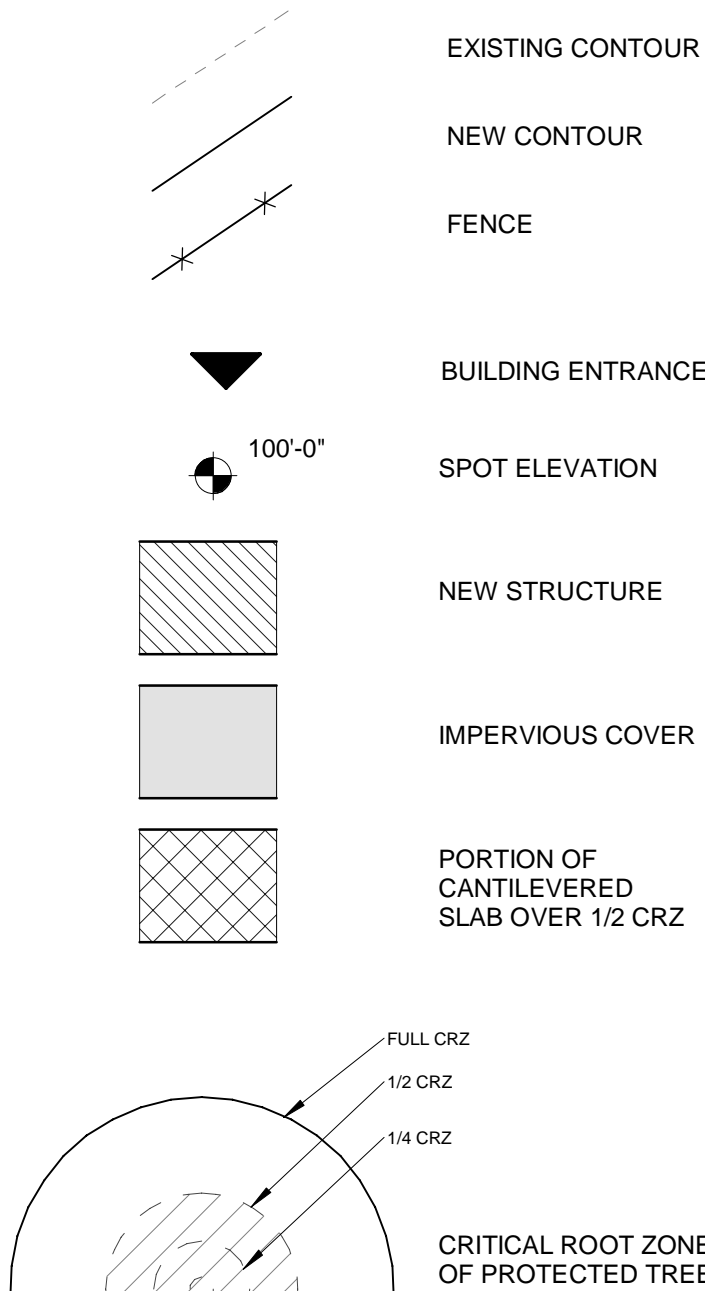
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GENERAL SITE NOTES

- Any work that involves cutting or damage to existing conditions shall be repaired to match existing.
- Locate and mark all utilities prior to construction notify underground utility companies 48 hours prior to any excavation. Repair any damaged utility lines at contractor's expense.
- Construction materials shall be delivered via path and site entrance determined in pre-construction meeting.
- Coordinate with owner for special permits required for any temporary blockage of driveways, streets, or parking areas as required during construction.
- Remove all existing construction and landscaping within the footprint of the new construction.
- Contractor shall construct all new grades as indicated. Assume a constant slope between new relative spot elevations.
- Slope grade away from new building a minimum of 4% for 6 feet. Slope new impervious surfaces away from building at 2% (1/4" per foot) for 6 feet minimum.
- Provide a rough broom finish on all new exterior concrete walks.
- Restore existing landscape areas and lawns damaged by construction with sod.
- Provide reinforced HVAC unit, transformer, and generator pads as required by mechanical and electrical. Pad sizes shown are approximate sizes. Concrete pads shall be sized to accommodate manufacturer's recommendations.
- The limits of construction shall include, but not be limited to 12 feet outside of any constructed or renovated area and not to extend beyond the property line.
- Stockpiling of excavated or fill material shall be limited to an area as defined by the Architect / Owner.
- Trim all trees within 4 feet of new building. Coordinate any tree removal or pruning with the city tree permit. Provide city required tree protection.
- Indicated (100.0) finish floor elevation is a reference elevations. Actual finish floor elevations above sea level differs. All elevations are relative to F.F. (100.0) unless noted without parenthesis as 792.2'
- Site information provided by owner. Architect is not responsible for inaccurate site information or problems caused by inaccurate site information.
- Provide one pre-cast concrete splash block at each downspout extending 4 feet from building, unless downspout is tied into storm drain or drains on to concrete surface.

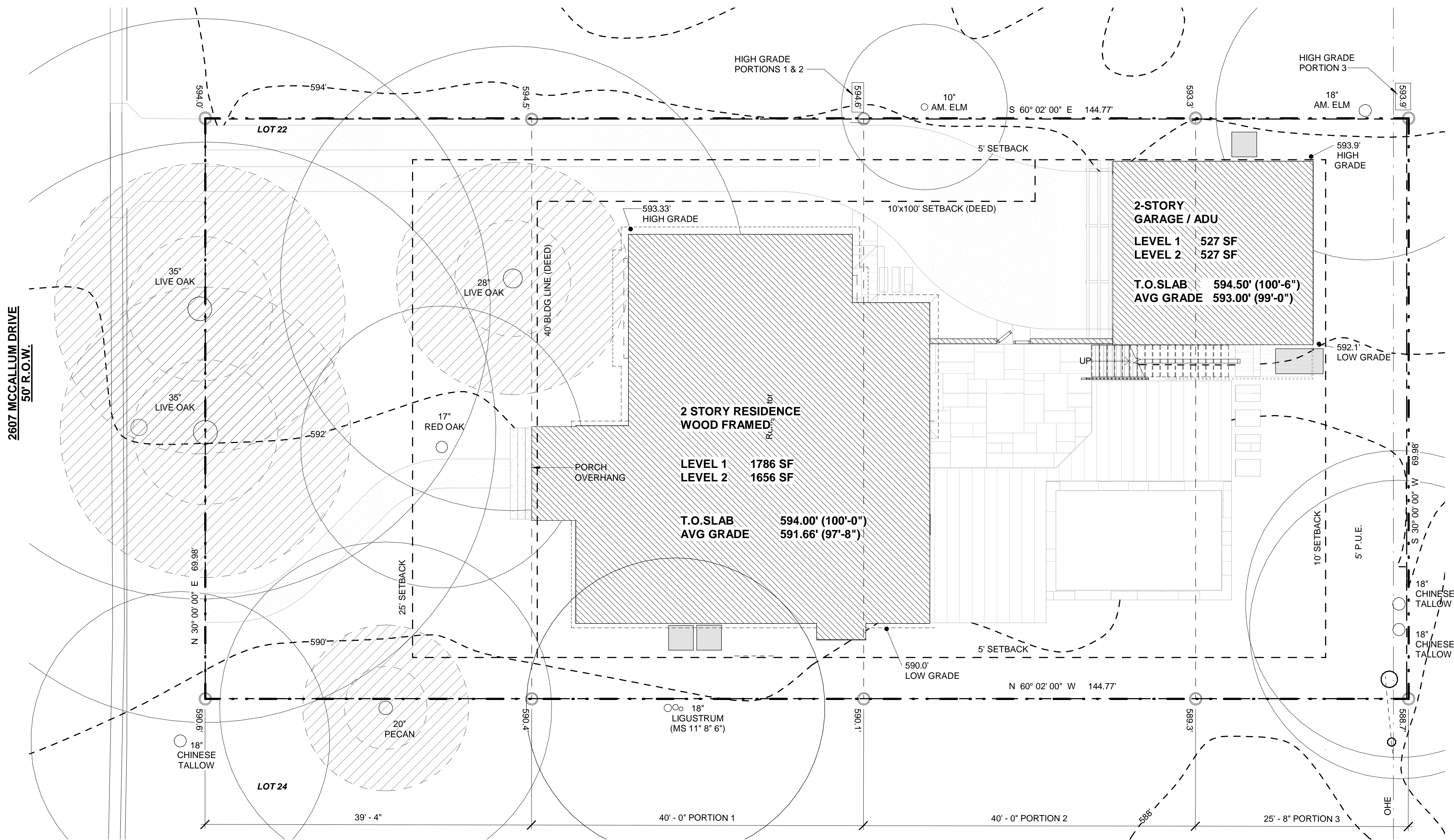
SITE LEGEND

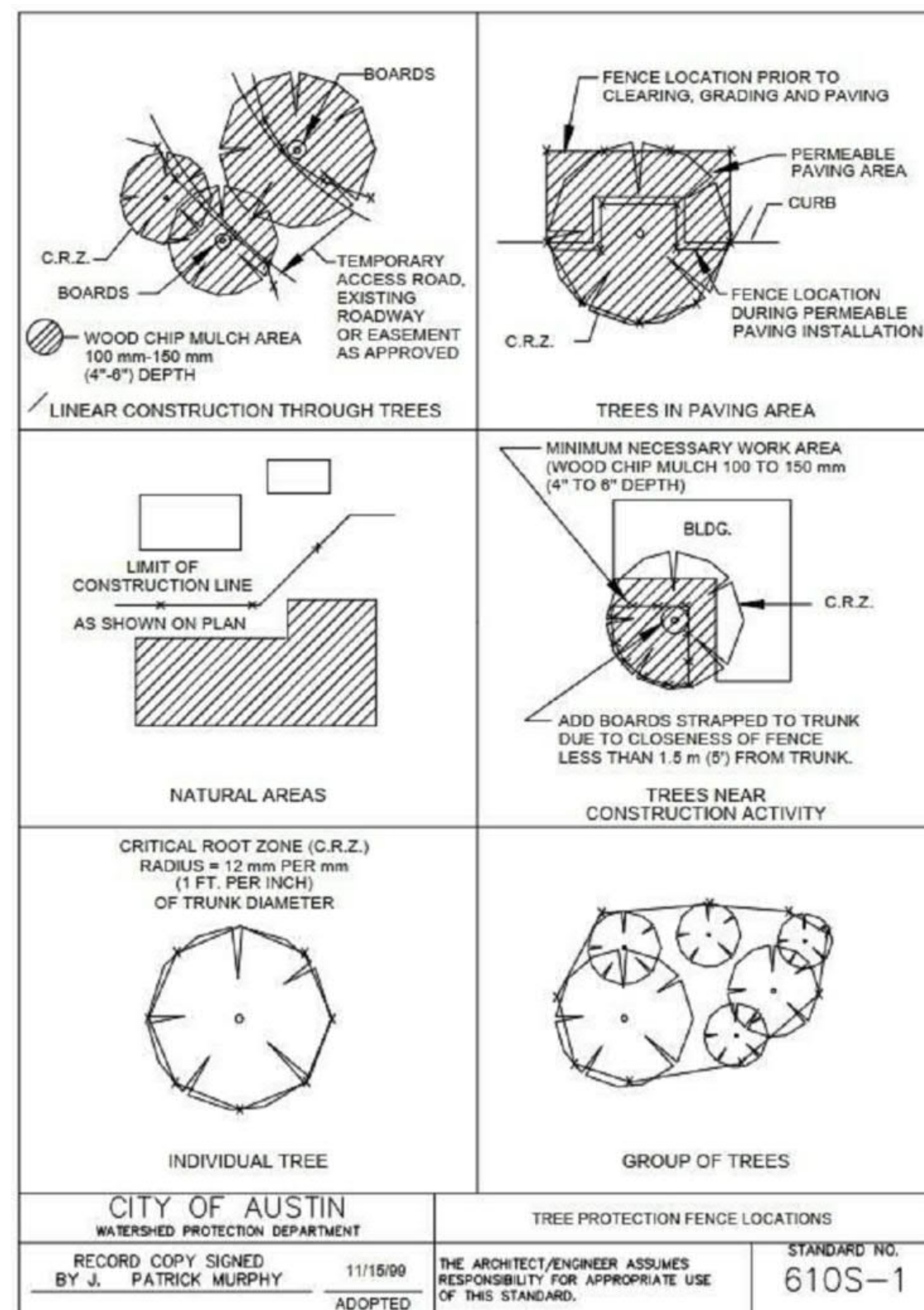


ABBREVIATIONS

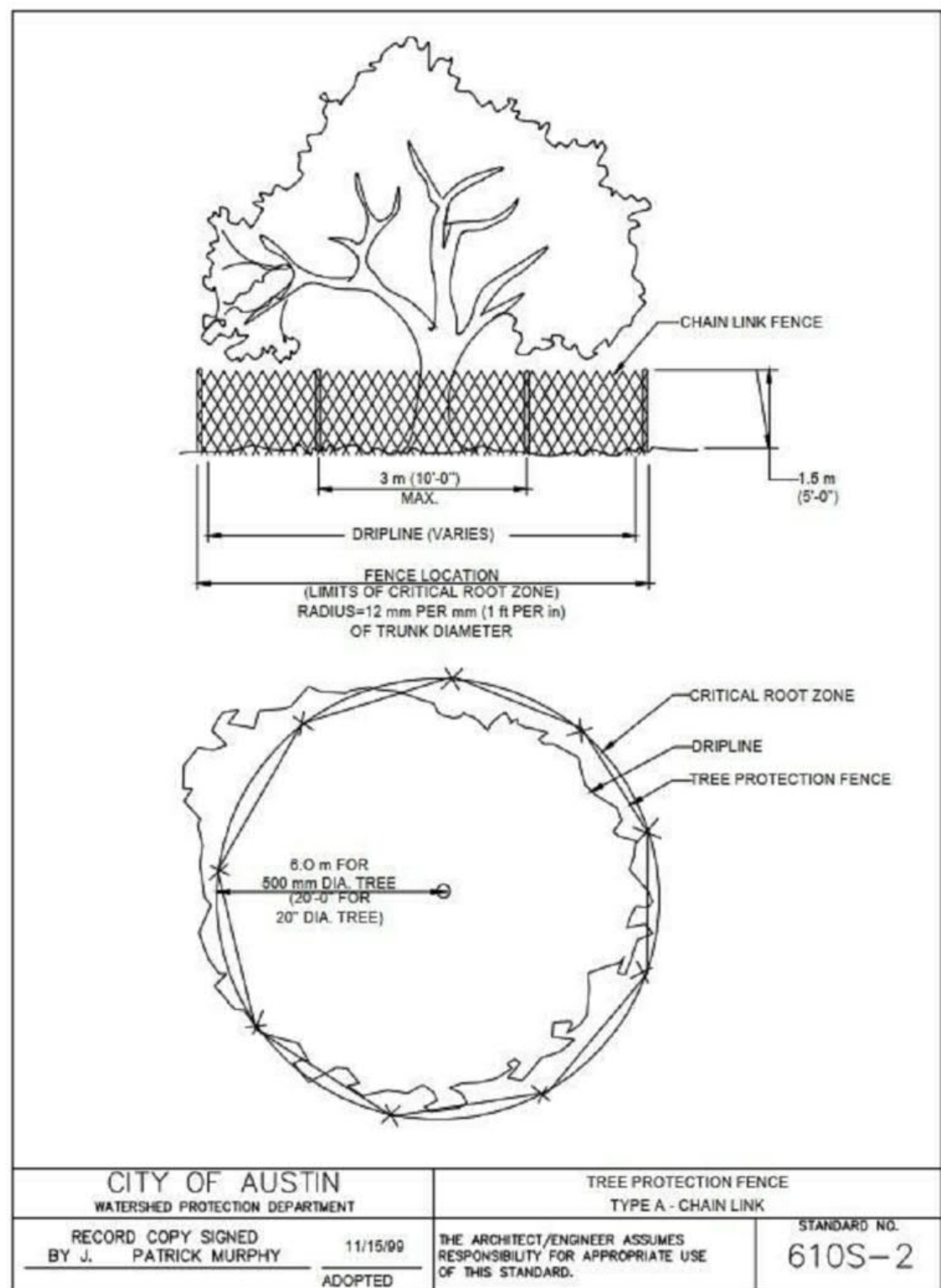
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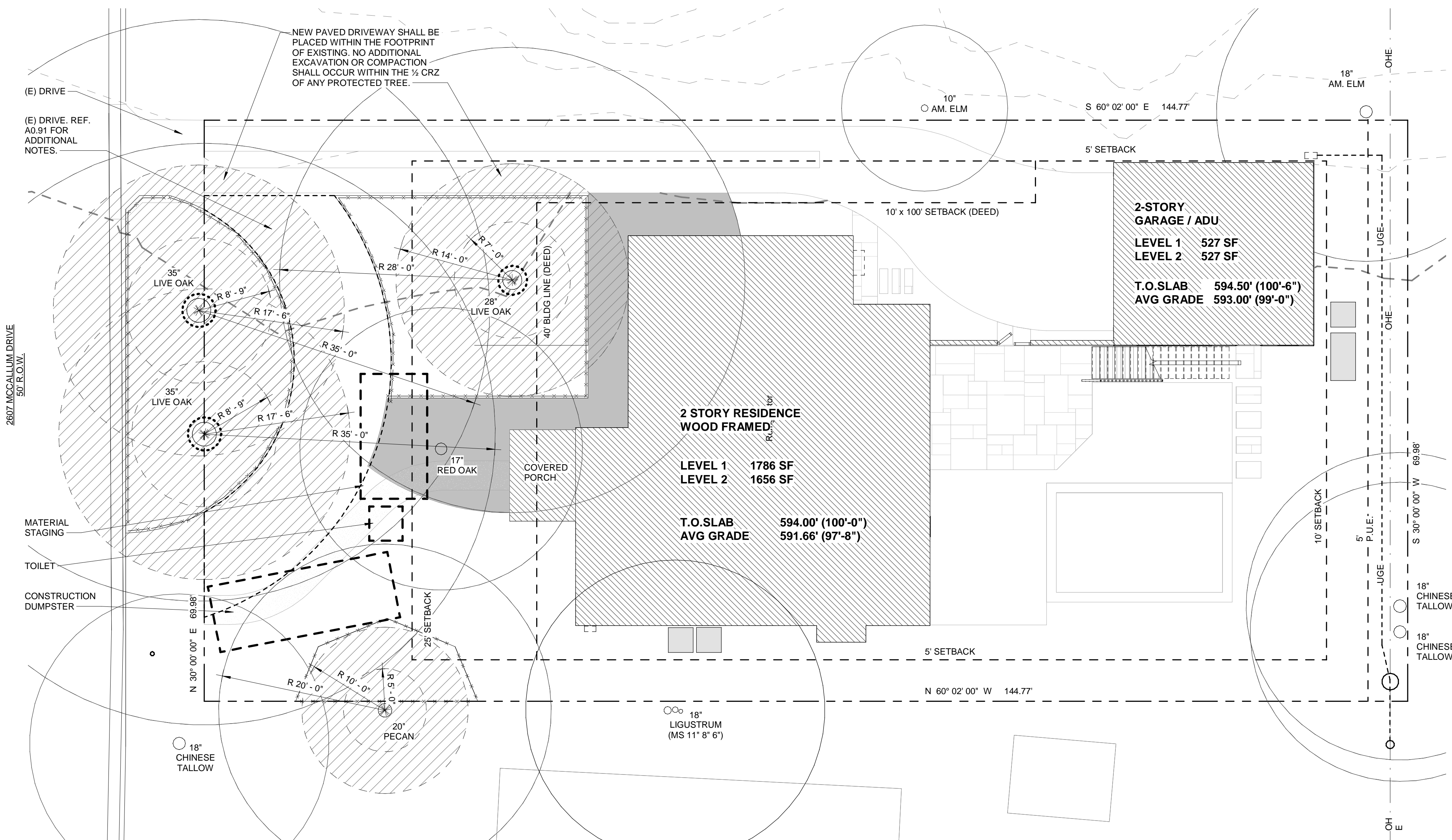
3 TREE PROTECTION DETAILS



2 TREE PROTECTION DETAILS

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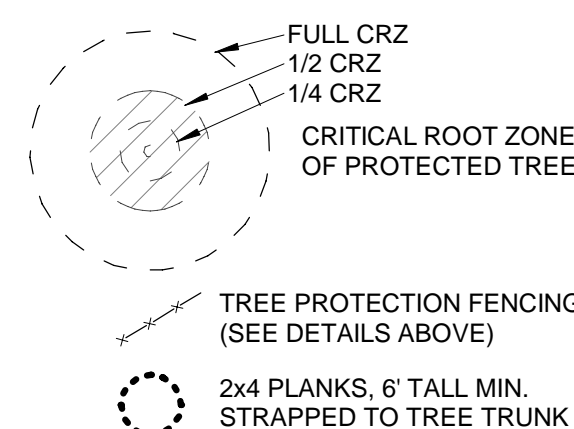
TREE NOTES:

1. Avoid utility routes or meters within the 1/2 CRZ of protected trees. If trenching within the 1/2 CRZ cannot be avoided, the trenches must be air-spaced by a qualified arborist.
2. Avoid the use of aerial lifts, ladders, material staging, concrete washouts, dumpsters, scaffolding, or portable toilets within the 1/2 CRZ of protected trees on the site. No more than 50% of the CRZ may be impacted by storage, staging, or construction materials.
3. Tree protection fencing (5' tall chain link) is required around all protected CRZs. When fencing cannot be installed around the full CRZ throughout construction, place the fencing in the 1/2 CRZ of the tree. No more than the 1/2 CRZ to the full CRZ. When fencing cannot be installed around the 1/2 CRZ throughout construction, 2x4x6 or greater lumber shall be strapped vertically to the tree. 8" of hardwood mulch shall be applied within the full CRZ.
4. All condensing unit pads to be placed on grade, no excavation within 1/2 CRZ.
5. Natural grade elevations to be preserved at CRZ of protected trees.
6. No formwork will be installed within the 1/4 CRZ of a protected tree.

1. New paved driveway shall be placed within the footprint of the existing, paved driveway, and no additional excavation or compaction shall occur within the ½ CRZ of any protected tree.
2. No formwork will be installed within the 1/4 CRZ of a protected tree.

LEGEND

-  NEW STRUCTURE
-  8" LAYER OF MULCH



6 / 14 / 2022

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Tree Protection Site Plan

CONSTRUCTION
DOCUMENTS
DATE: 6/14/2022
JOB: 2204

SHEET:

A1.03

TREE PROTECTION SITE PLAN

1/8" = 1'-0'



14 / 2022

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Level 1 Floor Plan

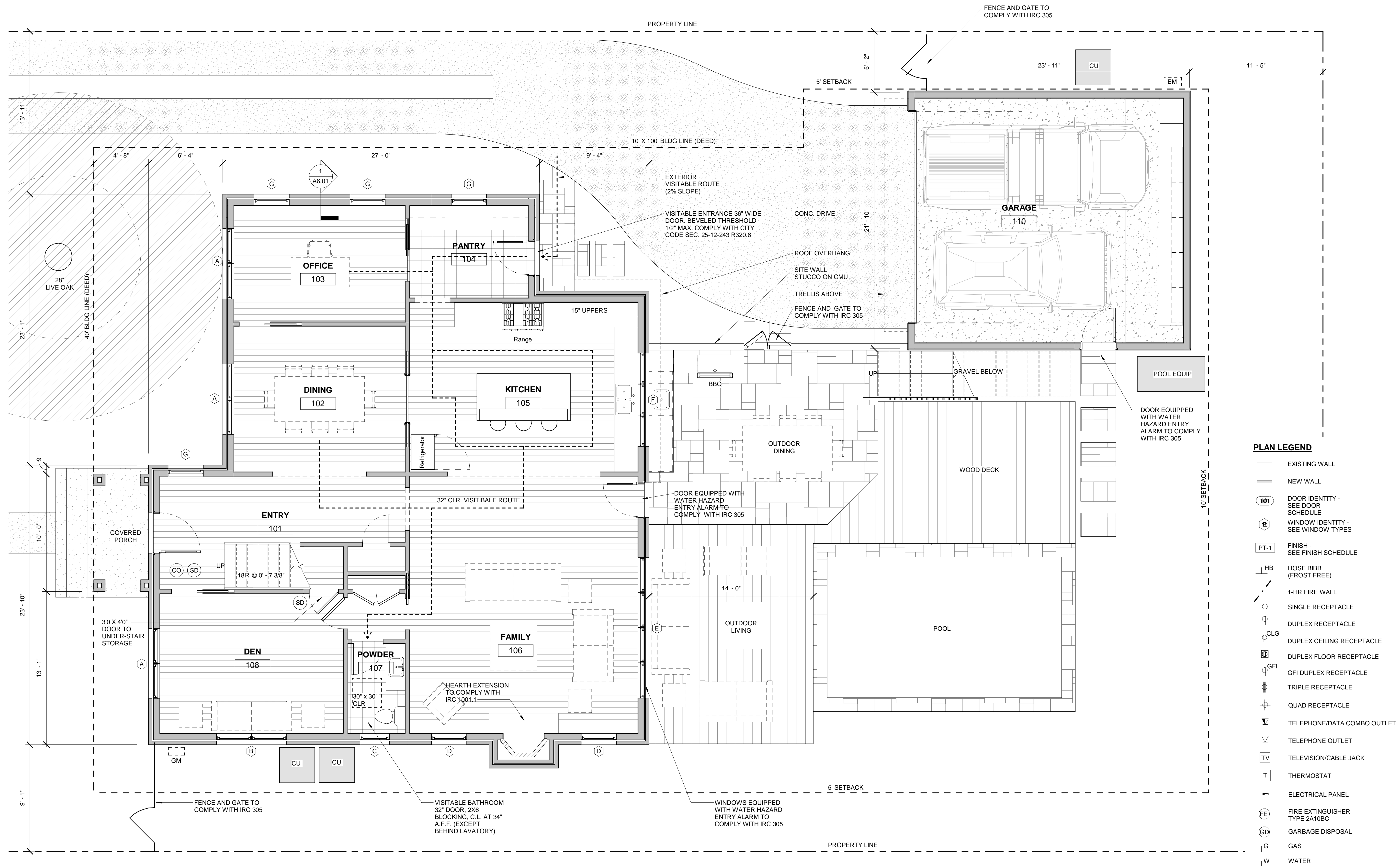
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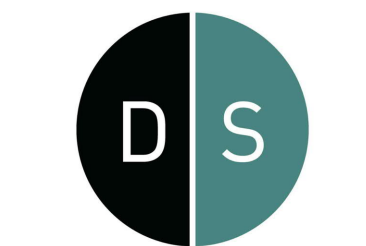
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 **1** LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

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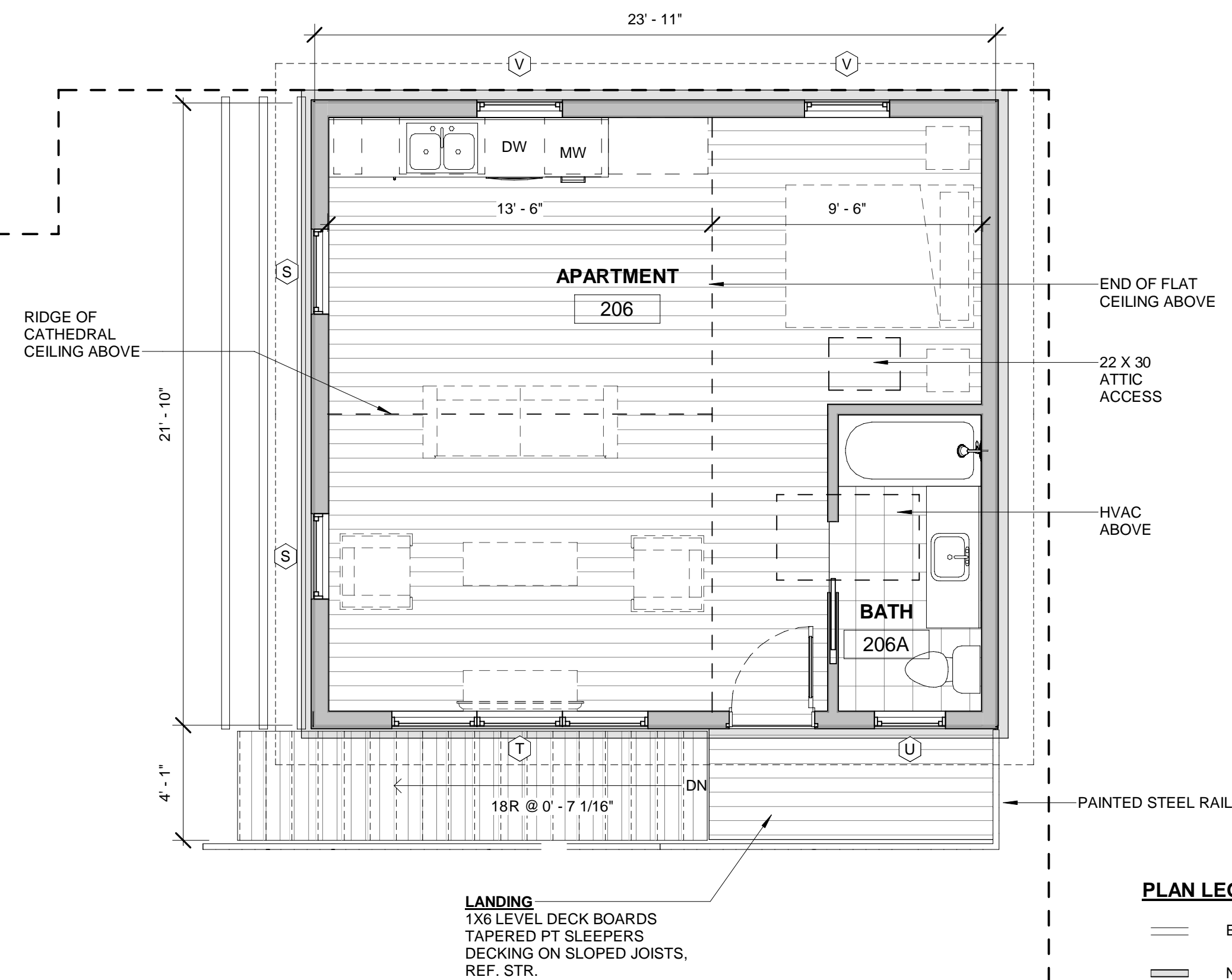
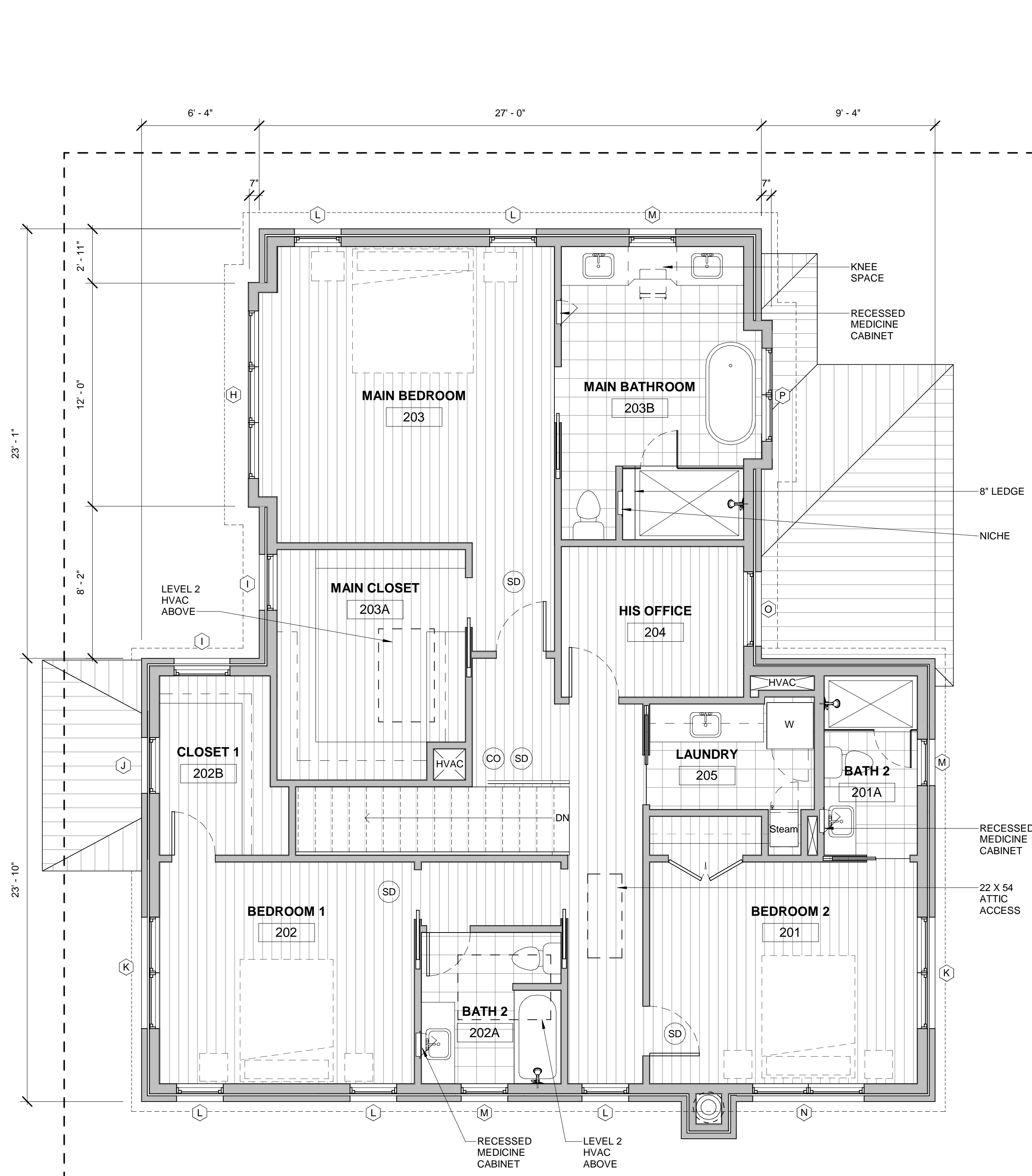
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Level 2 Floor Plan
CONSTRUCTION DOCUMENTS
DATE: 6/14/2022
JOB: 2204

SHEET:

A2.02



PLAN LEGEND

- EXISTING WALL
- NEW WALL
- 101 DOOR IDENTITY - SEE DOOR SCHEDULE
- B WINDOW IDENTITY - SEE WINDOW TYPES
- PT-1 FINISH - SEE FINISH SCHEDULE
- HB HOSE BIBB (FROST FREE)
- 1-HR FIRE WALL
- ⊙ SINGLE RECEPTACLE
- ⊕ DUPLEX RECEPTACLE
- ⊕ CLG DUPLEX CEILING RECEPTACLE
- ⊕ GF1 DUPLEX FLOOR RECEPTACLE
- ⊕ GFI DUPLEX RECEPTACLE
- ⊕ TRIPLE RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ TELEPHONE/DATA COMBO OUTLET
- ⊕ TELEPHONE OUTLET
- TV TELEVISION/CABLE JACK
- T THERMOSTAT
- ELECTRICAL PANEL
- FE FIRE EXTINGUISHER TYPE 2A10BC
- GD GARBAGE DISPOSAL
- G GAS
- W WATER

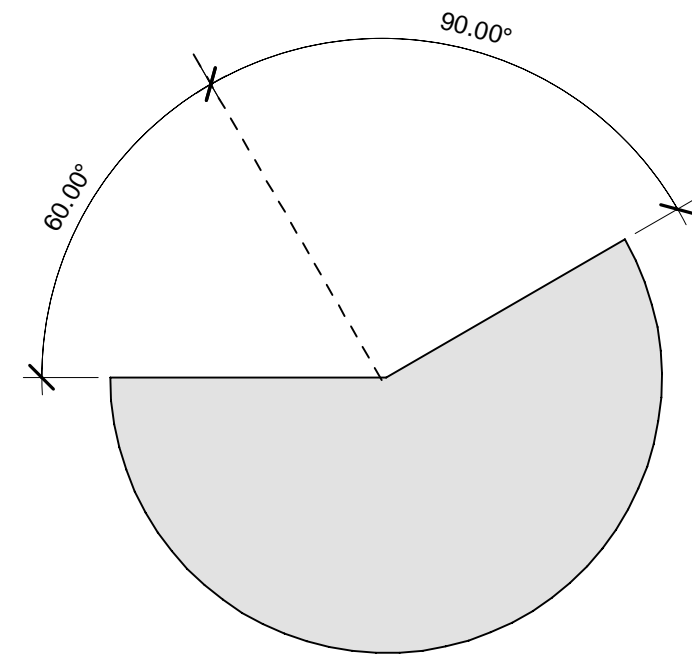


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LEVEL 2 FLOOR PLAN

1/4" = 1'-0"

0' 4'



- ## SOLAR READY NOTES
1. Areas of roof covered by tree canopies more than 50% of annual daylight hours are exempt from solar ready, as are dwelling units less than 800 sf.
 2. The total solar area may be comprised of 1 or 2 zones, both having orientation between 300 deg clockwise to 90 deg of true north. Total solar ready zones shall not be less than 240 sf, with one at least 100 sf. No solar ready zones are to be less than 6'-0" on a side. Areas designated as solar ready are to be free and clear of any and all roof penetrations or obstructions.



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Roof Plan - Solar

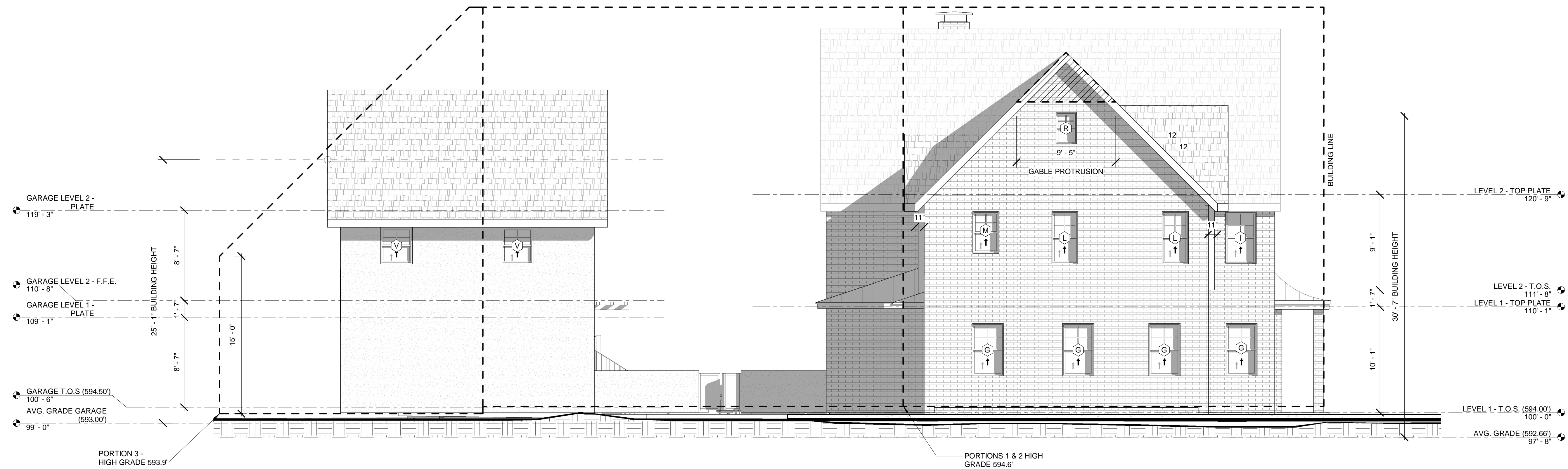
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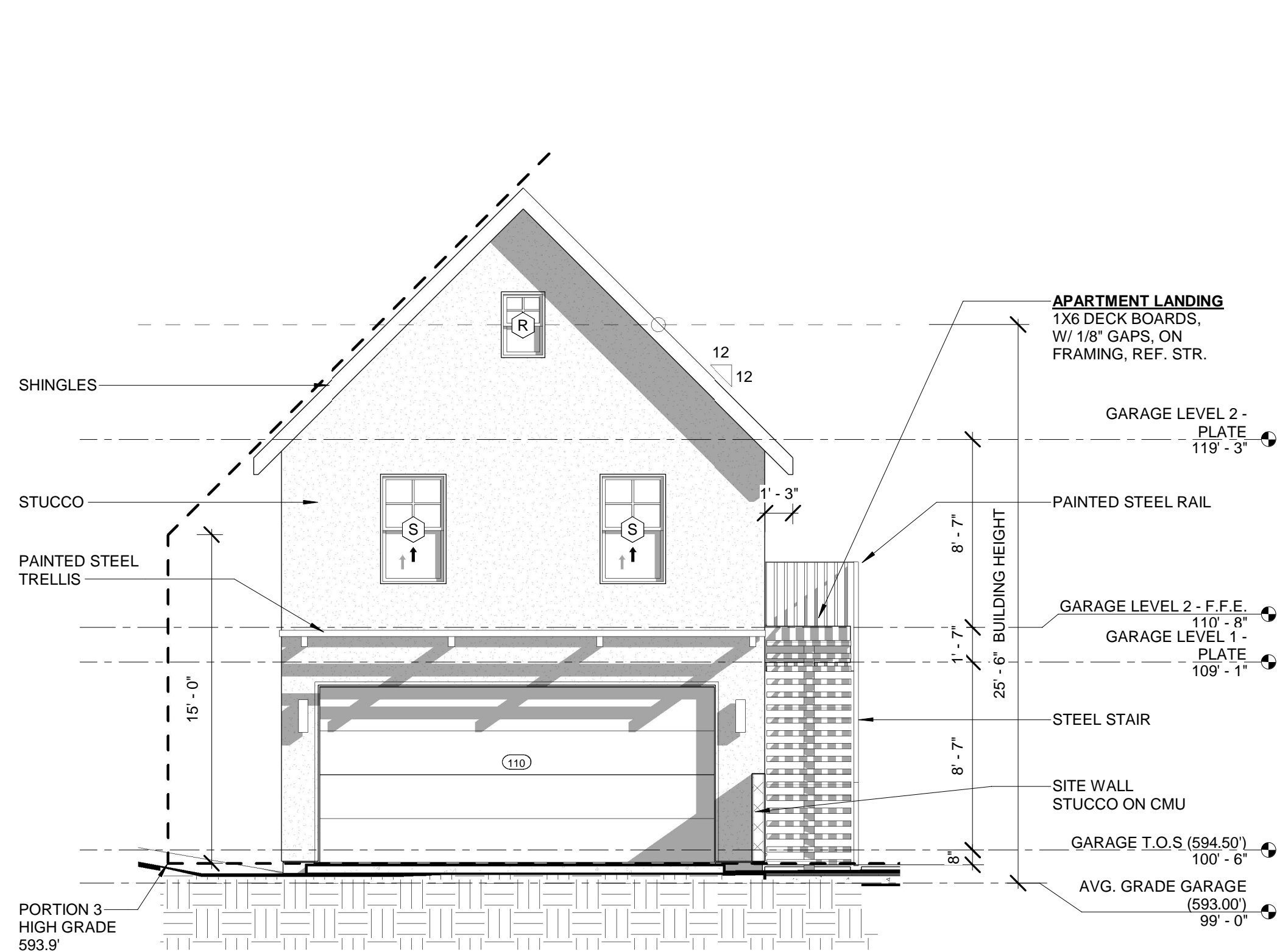
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A2.03



2 NORTH ELEVATION
3/16" = 1'-0"



3 GARAGE WEST ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"

