

From: Amy Thompson
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: BOA Case # C15-2020-0020 _ Resident Objection
Date: Monday, May 11, 2020 12:20:13 AM
Attachments: [Case Number C15-2020-0020 Public Comment Objection Thompson.pdf](#)
[1401 E 3RD ST Site Plan.pdf](#)

*** External Email - Exercise Caution ***

Dear Ms. Ramirez,

Attached please find my public comments and related documentation to support my STRONG OBJECTION to the request for set back incursion in BOA Case # C15-2020-0020 .

This case raises public safety as well as social equity concerns. As such, I appreciate the board's attention to neighbor input.

Should you have any questions or concerns, please do not hesitate to contact me.

Thank you,
Amy Thompson
512-659-7666
1402 E. 2nd St.
Austin, Texas 78702

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Previously Denied BOA case C15-2020-0020

Public Comment Re: Case Number C15-2020-0020 (1401 East 3rd St.)

Submitted by: Amy Thompson, Adjacent Property owner at 1402 East 2nd St.; tel: 512-659-7666

Position: I **STRONGLY OBJECT** to the proposed variance (see comments below)

As an adjacent neighbor to this property I am opposed to the requested variance for set back requirements at this property for the following reasons:

- 1) **Health and Safety Concerns**
- 2) **Social Equity Concerns**

As the homeowner immediately to the south of this property, I have an immediate interest in **the Health and Safety Concerns** associated with new structure that is being built in violation of City codes designed to prevent the spread of house fires. As a resident, I first alerted the City to my concerns about this set back violation on January 20th, 2018, in a letter to my planning commission district representative, Jeff Thompson. At that point the foundation for the property had been staked out, but not poured. I sent Jeff a pictured of the clear violation of the minimum 5 foot setback and he in turn pulled the site plan and contacted City staff.



The site plan (attached) confirmed that the plan was approved in violation of the code, but no immediate justification was apparent. Once the foundation was poured in violation of the code, I sent another inquiry. The response by City staff to this inquiry was dismissive, despite the clear violation and

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threat to the health and safety of adjacent property owners. I understand Commission Thompson pursued the inquiry further, but I was never informed of the results, and have been frustrated and concerned by the situation ever since.

In 2017, an historic structure stood at this property. The property had been recommended for preservation by the City's survey of Historic East Austin and the neighborhood strongly supported its preservation. The developers seeking its demolition argued repeatedly that the building had to be demolished for health and safety reasons, based primarily on its grandfathered location within the 5' side setback. The developers argued strongly, and apparently convincingly, before the City Planning Commission that the health and safety of the neighboring properties was of greater community importance than the structure's value as a contributing structure to the disappearing history of East Austin's minority/ working class communities. For the planning department to turn a blind eye to the set-back violation included in the new site plans within months of the much loved historic structure's destruction, was a slap in the face to neighboring property owners and the community as a whole. It reflects a callous preference for the promotion of development and support of commercial developers in East Austin neighborhoods regardless of the impact on residential property owner's needs and shared community values. Supporting developer's profit margins simply can not be valued above the health and safety of residents, let alone the preservation of communal goods. City staff's support of this set-back violation raises **Social Equity Issues**, and should not be allowed to continue.

Any financial impact that this will have on the property's current owner, however regrettable, cannot take precedence over public safety. Moreover, it cannot be prioritized without calling attention to the historic inequities in the application of City's planning code.

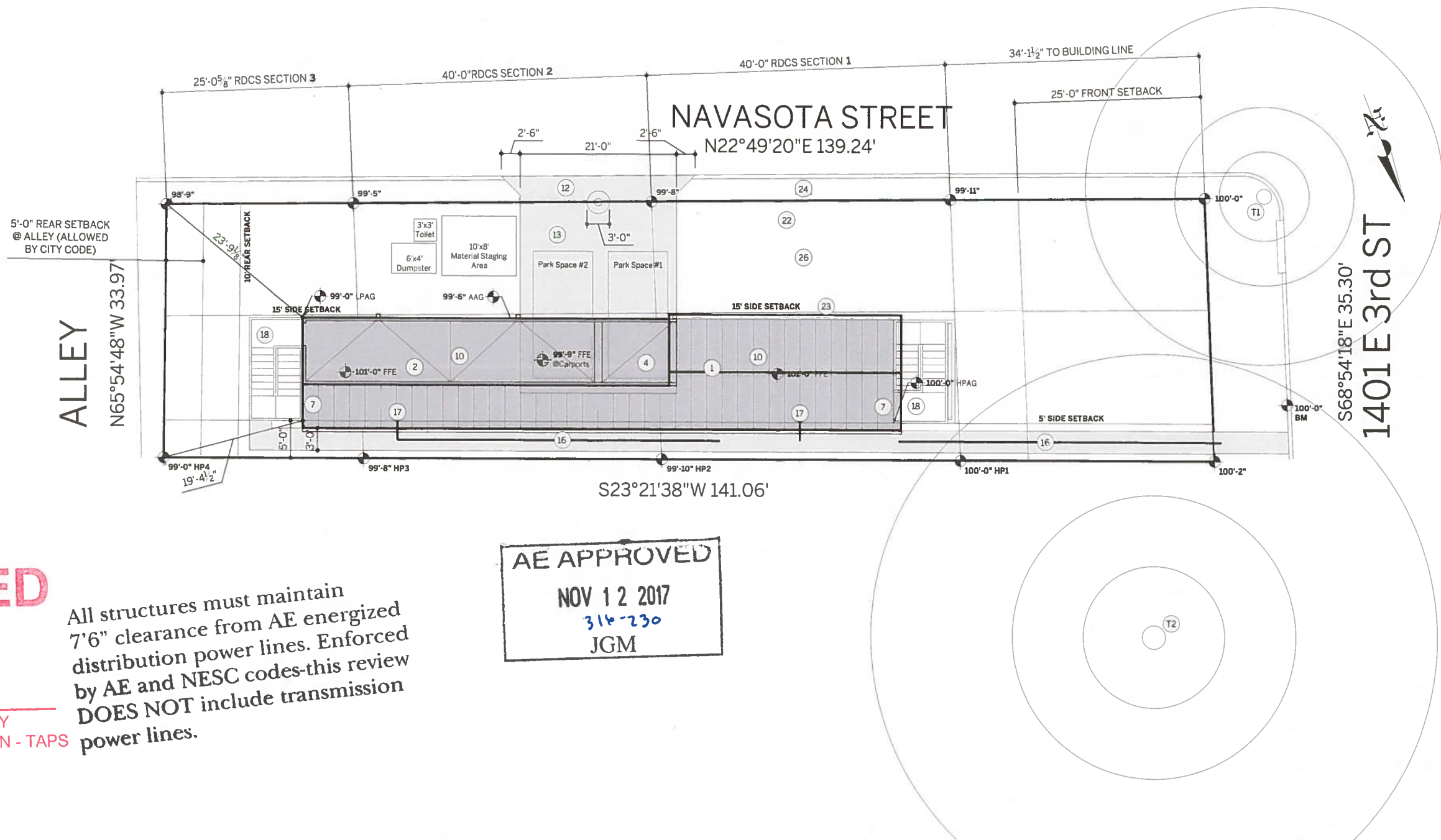
It is unlikely that the current developers acquired this property without understanding the setback violation in place and its potential financial impact to completing construction on the site. However, even if that is the case, and that it is somehow staff's fault that the site plan erroneously approved the site plan violation – that is no reason to allow an exception. The City planning department often changes its interpretation and support of site plans during the construction process and very often resulting in significant expense to residential property owners. I have personally suffered a significant comparably financial hardship and know of other residents in the neighborhood who have as well. Yet, while I know of no case in which financial hardship was successfully argued to facilitate approval of a requested variance for a residential property in our neighborhood – I can site several incidents in which financial hardship was explicitly discussed and considered in the weighing of the impact of a request made by developers. This bias in the application of city code is an equality issue. The physical safety and financial security of individuals and families should not be weighed less than the profit margin of commercial investors.

Please feel free to contact me for further information or documentation if needed.

Thank you for your attention to this case.

Amy Thompson

Previously Denied BOA case C15-2020-0020



REVIEWED

NOV 13 2017

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

AE APPROVED
NOV 12 2017
314-230
JGM

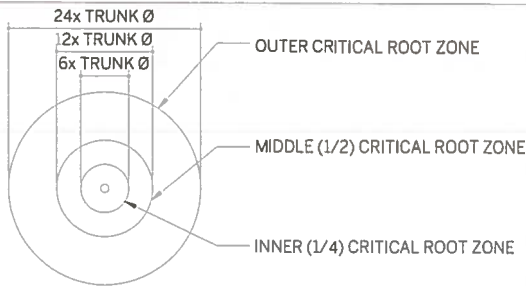
CITY OF AUSTIN
APPROVED FOR PERMIT
J. Rodney Gonzales
Development Services Department
By Date 12-7-17
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | |
|---|---|---|
| 01 New primary residence. | 11 New spiral stair to roof deck. | 17 New step-free entry into residence. Maximum vertical rise 1/2". |
| 02 New accessory residence. | 12 New Type I driveway approach per City of Austin standards. | 23 New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable. |
| 03 New attached garage. | 13 New concrete driveway. | 24 Location of existing water meter. |
| 04 New attached carport. | 14 New conc. driveway ribbon. | 25 Location(s) of new water meter(s), as applicable. |
| 05 New detached garage. | 15 New sidewalk in right-of-way per City of Austin standards. | 26 Location of new water supply and waste water line to primary residence. |
| 06 New detached carport. | 16 New visitable route from public way to residence. Minimum width 3'-0". Maximum cross-slope 1:50. | 27 Location of new water supply to secondary residence or additional unit, as applicable. |
| 07 New covered porch w/ deck or habitable space above. | | |
| 08 New covered porch w/o deck or habitable space above. | | |
| 09 New uncovered deck. | | |
| 10 New uncovered roof deck. | | |

CRITICAL ROOT ZONES AT PROTECTED TREES.



LIST OF PROTECTED TREES.

| # | TRUNK Ø | SPECIES |
|----|---------|-----------|
| T1 | 24" | CEDAR ELM |
| T2 | 38" | PECAN |

DISCLAIMERS.

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SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.

GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL.

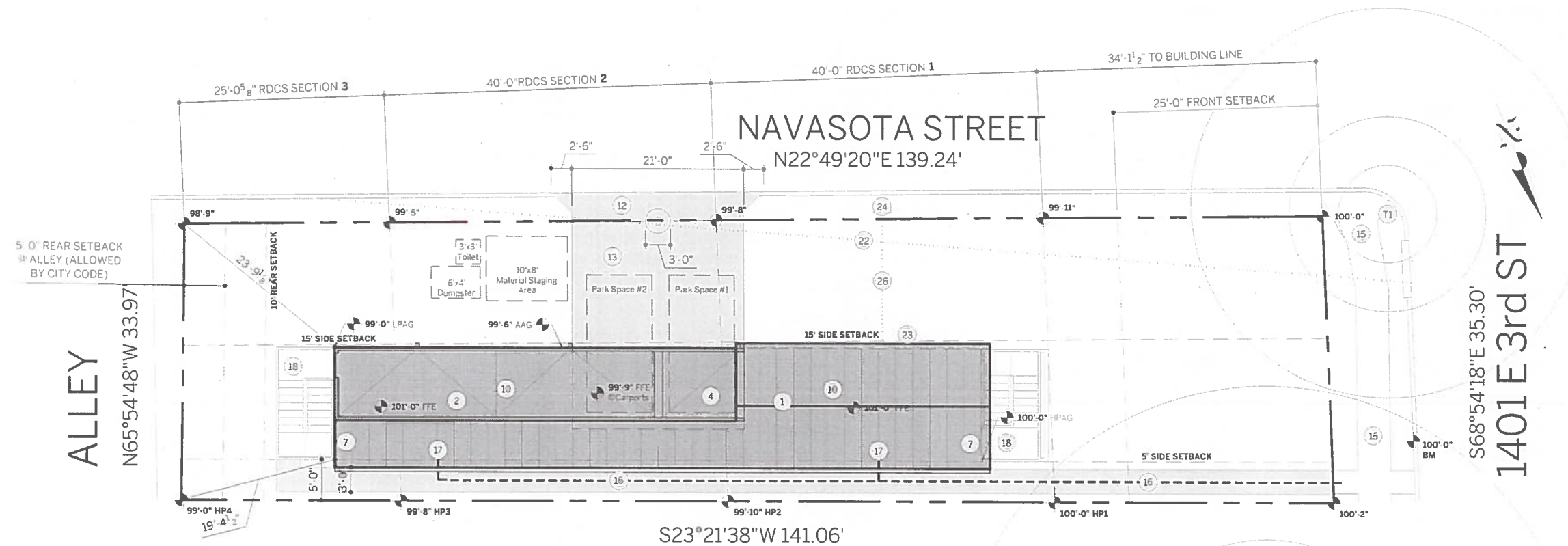
City of Austin
REVIEWED FOR CODE COMPLIANCE

1 Site Plan

Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

OCHONA
Development + Architecture
SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702
ISSUE DATE 02 Nov 2017.
SHEET TYPE Site Plan.
A000

Previously Denied BOA case C15-2020-0020

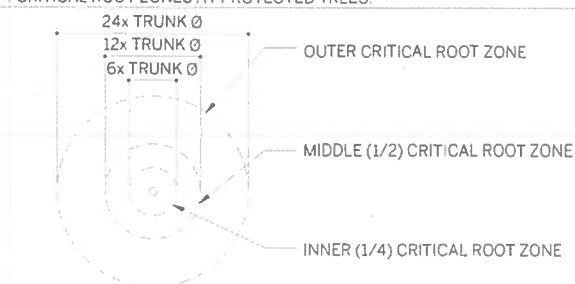


REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | | | | | | |
|----|--|----|---|----|---|----|--|
| 01 | New primary residence. | 11 | New spiral stair to roof deck. | 17 | New step-free entry into residence. Maximum vertical rise 1/2". | 23 | New electrical meter(s) for primary residence and secondary residence or additional unit, as applicable. |
| 02 | New accessory residence. | 12 | New Type I driveway approach per City of Austin standards. | 18 | New pre-fabricated steel staircase. | 24 | Location of existing water meter. |
| 03 | New attached garage. | 13 | New concrete driveway. | 19 | New concrete patio, uncovered. | 25 | Location(s) of new water meter(s), as applicable. |
| 04 | New attached carport. | 14 | New conc. driveway ribbon. | 20 | New wood deck, uncovered. | 26 | Location of new water supply and waste water line to primary residence. |
| 05 | New detached garage. | 15 | Existing sidewalk in right-of-way. | 21 | New decomposed granite patio, uncovered. | 27 | Location of new water supply to secondary residence or additional unit, as applicable. |
| 06 | New detached carport. | 16 | New visitable route from public way to residence. Minimum width 3'-0". | 22 | Existing overhead electric service. | | |
| 07 | New covered porch w/ deck or habitable space above. | | Maximum cross-slope 1.50. | | | | |
| 08 | New covered porch w/o deck or habitable space above. | | REFER TO SHEET A101 FOR CONTINUATION OF ROUTE TO INTERIOR OF UNIT. | | | | |
| 09 | New uncovered deck. | | | | | | |
| 10 | New uncovered roof deck. | | | | | | |

CRITICAL ROOT ZONES AT PROTECTED TREES



LIST OF PROTECTED TREES.

| # | TRUNK Ø | SPECIES |
|----|---------|-----------|
| T1 | 24" | CEDAR ELM |
| T2 | 38" | PECAN |

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SEAL OF ARCHITECT



ISSUE DATE **02 Nov 2017.**

0 1 2 4 8 16

GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL

1 Site Plan

Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

OCHÔNA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

| | |
|------------|--------------|
| ISSUE DATE | 02 Nov 2017. |
| SHEET TYPE | Site Plan. |

A000

Previously Denied BOA case C15-2020-0020

| THIS SET CONSISTS OF THE FOLLOWING SHEETS: | | | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|---|---|--|---|--|--|--|--|---|
| GO01 Cover Sheet GO02 General Notes GO03 Specifications GO04 Standard Details GO05 Standard Details GO06 Door Schedules GO07 Window Schedules | A100 Site Plan A101 Floor Plans, Level 01 A102 Floor Plans, Level 02 A103 Floor Plans, Level 03 A104 Roof Plans A105 MEP Plans, Level 01 A106 MEP Plans, Level 02 A107 MEP Plans, Level 03 | A201 Elevations, Bldg 1 A202 Elevations, Bldg 1 A203 Elevations, Bldg 1 A204 Elevations, Bldg 1 A205 Elevations, Bldg 2 A206 Elevations, Bldg 2 A207 Elevations, Bldg 2 A208 Elevations, Bldg 2 | A301 Sections A401 Interior Elevations A402 Interior Elevations A403 Interior Elevations | S101 Foundation Plans S102 Floor Framing Plans S103 Roof Framing Plans S104 Wall Bracing Plans S201 Foundation Details S202 Framing Details | | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in GO01 through GO07 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  ISSUE DATE 02 Nov 2017. | <div>REVIEWED FOR CODE COMPLIANCE City of Austin</div>  |
| | | | | | | | | <div>OCHONA Development + Architecture</div> <div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div> <div>ISSUE DATE 02 Nov 2017.</div> <div>SHEET TYPE Cover Sheet.</div> <div>G001</div> |

1. These documents comprise a portion of a contract between the Owner and the General Contractor. No contract is implied or stated between the Owner and any other party, nor between the Architect and any party.
2. No set of contract documents is able to contain all the information required to construct a project. Interpretation by the General Contractor is required. By use of these documents, both the Owner and the General Contractor assent to this understanding of the nature of contract documents.
3. The General Contractor is responsible for the provision of minor details and appurtenances not shown in the contract documents.
4. The General Contractor and his/her subcontractors are responsible for the final design of the HVAC, plumbing, and electrical systems.
5. The General Contractor may not revise or modify the contract documents, in whole or in part, without the prior approval of the Owner. Consultation with the Architect beforehand is strongly recommended.
6. The General Contractor may not modify the plans, elevations, or site plan shown in the contract documents without obtaining Architect consultation and Owner approval beforehand.
7. Should the Owner request changes to the contract documents, the General Contractor is responsible for ensuring that the changes do not result in a built condition that does not comply with codes and/or regulations. Consultation with the Architect and/or an Inspector is highly recommended.
8. The Architect is not an inspector and is not liable for the General Contractor's failure to execute the Work in accordance with the contract documents and/or in conformance with any and/or all applicable codes, laws, statutes and regulations.
9. The Owner shall not be held liable nor be made to pay for the remediation of work judged substandard and/or rejected by the Architect, the Owner, and/or any Inspector (municipal or third-party). The Owner alone reserves the right to accept work judged substandard by either the Architect or the Owner. Should the Owner elect to accept substandard work, the Owner reserves the right to request monetary credit and/or a reduction in the contract sum.
10. The Owner and/or the Architect shall be permitted to access the project site, in part and as a whole, at any reasonable time without prior notice. If the project site, in part or as a whole, is locked or otherwise secured, the Architect shall coordinate with the General Contractor to gain access. Neither the Owner nor the General Contractor shall be held liable for the consequences of the Architect's presence onsite unless said consequences arise from an unsafe or otherwise substandard project condition.
11. The General Contractor is solely responsible for obtaining and maintaining all such bonding, sureties, and insurances such as may be required to shield the Owner from claims pertaining to the General Contractor's and/or Subcontractors' execution of the Work and their respective conduct onsite.
12. The General Contractor is solely responsible for ensuring that working conditions onsite are safe and comply with all relevant rules, laws, codes, and standards. Likewise, the General Contractor is solely responsible for ensuring that all personnel onsite conduct themselves in a safe and prudent manner at all times, whether or not the General Contractor is present.

1. The General Contractor is responsible for ensuring built compliance with all codes, regulations, and standards such as may be in force. These codes include but may not be limited to:

2. Should the General Contractor become aware of a condition shown or depicted in the contract documents that would result in a violation of any code or regulation listed above, the General Contractor shall contact the Architect immediately for resolution.
3. The General Contractor shall be responsible for obtaining any permit not provided beforehand by the Owner.
4. The General Contractor and/or his/her subcontractors shall be responsible for coordinating all required inspections.
5. The Owner and/or the General Contractor shall commission a third-party inspector. Failure on the part of the Owner and/or the General Contractor to retain a third-party inspector shall release the Architect from any and all liability for the project.
6. Neither the Owner nor the Architect shall be considered to act in the role of an Inspector. While the Owner and the Architect shall endeavor to alert the General Contractor to any perceived or observed defect in the construction, failure to do so shall not in any way relieve the General Contractor from his/her obligation to ensure that the built work is safe, of good quality, and compliant with all relevant codes and regulations.
7. The General Contractor is responsible for ensuring that all work, whether performed by subcontractors or by the General Contractor him/herself, is of good workmanship and quality.

(Ref: City of Austin ordinance #20140130-021 and City of Austin amendments to section R320 to the 2012 International Residential Code)

1. Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
2. Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
3. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
4. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
5. At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.
6. A visible route shall be provided from public way to the no-step entrance of each dwelling unit. Said visible route shall be a minimum 36" in clear width and shall have a maximum cross-slope of 1:50.

1. All trees 19" in trunk diameter and greater at a height of 4'-6" above grade are protected by municipal ordinance.
2. No protected tree shall be removed without a permit.
3. To the extent that space allows, all protected trees shall be surrounded with a chain-link fence per City of Austin standard details 610S-2 and 610S-4, installed at a distance of 12 times the trunk diameter from the center of the tree. (EG: The protective fence for a 20" tree shall be installed 20'-0" from the center of the tree.)
4. Where space does not allow extent of a protective fence described in (3) above, the protective fence shall be installed as far as possible from the trunk and 2x4 wood boards shall be strapped to the trunk for a distance of at least 8' above the ground per City of Austin standard detail 610S-4.
5. All excavation within critical root zones shown on site plan shall occur under the guidance and supervision of a licensed private arborist.

1. FOUNDATIONS.
A. All concrete slab-on-grade and pier+beam foundations shall be engineered by a structural engineer licensed in the state of Texas.
B. All concrete intended for exposure as flooring shall be protected during construction.

2. FRAMING.
- A. All wall framing shall be engineered by a structural engineer licensed in the state of Texas.
 - B. All wall studs shall be sized as indicated otherwise in architectural or engineering drawings.
 - C. All floor and roof trusses shall be engineered by a structural engineer licensed in the state of Texas.
3. SHEATHING and DECKING.
- A. All wall sheathing shall be, at a minimum, 7/16" OSB unless indicated otherwise on engineering drawings.
 - B. All floor decking shall be, at a minimum, 1-1/4" OSB "screwed and glued" unless indicated otherwise on engineering drawings.
 - C. All roof decking shall be, at a minimum, 5/8" OSB with a radiant barrier facing downward (unless spray-foam insulation is to be used).
4. AIR AND WATER BARRIERS.
- A. All exterior wall sheathing shall receive a vapor-permeable air+water barrier equal to or better than Fortifiber HydroTex.
 - B. All sheathing shall be sealed at joints and junctions as required by manufacturer.
 - C. Sheathing at window and door assemblies shall be shingled over head and jamb fins and shall be further sealed with compatible self-adhered membrane flashing.
 - D. All roof sheathing shall receive an ice+water shield.

- 5. INSULATION, SEALANTS and VENTILATION.**
- A.** All exterior wall and roof assemblies shall receive insulation consisting of one of the following types (SELECTED PRODUCT IS INDICATED IN SPECIFICATIONS ON SHEET G003):
- 1) Open-cell spray foam insulation;
- 2) Blown-in batt insulation; or,
- 3) Paperless fiberglass batt insulation.
- B.** All insulation shall comply with the following minimum thermal-performance requirements:
- Roofs R-38
- Walls R-19
- C.** All walls surrounding bathroom areas shall receive paperless fiberglass batt insulation.
- D.** Where blow-in batt insulation or fiberglass batt insulation is to be used, roof cavities shall be ventilated by means of continuous perforated cement-board soffits and ridge vents.
- E.** All penetrations through exterior cladding shall be sealed with silicone sealant to prevent water intrusion.
- F.** All crawlspaces beneath pier+beam foundations shall be ventilated by means of 6" diameter round vents with insect screens.

- 6. EXTERIOR CLADDING AND TRIM.**
- A. All exterior cladding shall be installed in strict accordance with manufacturers' instructions and placed per architectural elevations.
- B. All cement-board cladding shall be smooth with no false wood grain.
- C. All cement-board plank siding shall be 6" or 12" exposure, as noted on architectural elevations. Where no exposure size is given, 6" horizontal exposure shall be assumed.
- D. All joints in cement-board plank siding shall be staggered and puttied before painting.
- E. All vertical cement-board paneling shall be made from 4' x 8' sheets of smooth cement board with no false wood grain, with battens at 24" o.c. unless otherwise noted.
- F. All wood siding shall be clear-sealed cedar or redwood shiplap siding, 6" exposure unless noted otherwise. Where no exposure size is given, 6" horizontal exposure shall be assumed.
- G. All stucco cladding shall be 3-coat portland-cement stucco (NO EIFS OR SYNTHETIC STUCCO) on paper-backed metal lath with the 3rd coat consisting of an elastomeric color coating.
- H. Unless noted otherwise, all stucco cladding shall receive control joints as per the following:
- 1) VERTICAL JOINTS: at a spacing of 32" maximum in plan and at all window-door corners.
- 2) HORIZONTAL JOINTS: at the top of deck of every floor level.
- J. All stone cladding shall be Austin-chalk or Lueders limestone masonry, random-ashlar bond, nominal 4-1/2" thickness.
- K. All exterior trim shall be RealTrim, nominal 1x4 size, smooth all sides (S4S) with no false wood grain.
- L. All exterior fasciae shall be cement board or RealTrim, nominal 1x6 size, smooth all sides (S4S) with no false wood grain.

7. ROOFING
 A. All roofing shall consist of one of the following assemblies (SELECTED PRODUCT IS INDICATED ON G003):
 -----1) Standing-seam metal roofing, 1-1/2" minimum seam, dark-bronze finish;
 -----2) 30-year composition-shingle roofing;
 -----3) Walkable PVC roofing; or,
 -----4) Torch-down asphaltic rolled roofing.
 B. All roof decks above conditioned space shall receive walkable PVC roofing.
 C. All balconies and uncovered decks above covered porches shall receive walkable PVC roofing.

- A. DECKS and BALCONIES.**
A. All roof decks above conditioned space shall receive one of the following deck surfaces (SELECTED PRODUCT IS INDICATED ON G003):
 -----1) Synthetic-wood decking on treated-wood sleepers; or,
 -----2) Walkable PVC roofing.
- B.** All balconies and uncovered wood decks above covered porches shall receive one of the following deck surfaces (SELECTED PRODUCT IS INDICATED ON G003):
 -----1) Synthetic wood decking on treated wood deck structure per structural engineer; or,
 -----2) Walkable PVC roofing.
- C.** All sleepers and structure used under synthetic wood decking shall be pressure-treated without exception.
- D.** All thinset ceramic or porcelain tile used on decks and balconies shall be installed upon a suitable crack-isolation membrane.
- E.** All roof decks, balconies, and uncovered roof decks above covered porches shall receive steel railings as per the following (SELECTED PRODUCT IS INDICATED ON G003):
 -----1) 36" minimum height balustrade comprised of 1.5" square steel tubing attached to front of exterior fascia or balcony, with stainless-steel cable railing at 3.5" vertical separation o.c.; or,
 -----2) 36" minimum height parapet with continuous metal coping on top.

- FLASHINGS, COPINGS, GUTTERS, and SCUPPERS.
- A. All flashings and counterflashings shall be galvanized steel unless noted otherwise.
- B. All joints between flashings shall be lapped and sealed unless acceptable per industry standard based on specific conditions.
- C. All copings on parapets and deck railings shall be galvanized steel, dark-bronze finish, unless noted otherwise.
- D. All copings on parapets shall be continuous with sealed lap joints (NO BUTT JOINTS, EVEN IF SEALED).
- E. All low eaves on shed, gable, and hip roofs shall receive 6" gutters unless noted otherwise. Where roof plan does not show gutters, 6" gutter shall be assumed.
- F. All gutters shall be either dark-bronze finish to match metal roof or painted to match fascia.
- G. All downspouts shall be either dark-bronze finish to match gutter or painted to match cement-board siding.
- H. Downspouts shall be provided as per the following:
-----1) WALLS LESS THAN 20' IN LENGTH: One downspout
-----2) WALLS GREATER THAN 20' IN LENGTH: One downspout per 20' of length, minimum two per wall
- J. Downspouts shall be located near corners at ends of walls and centered in middle of walls unless specifically noted otherwise on architectural elevations. Where downspouts are not shown, downspouts shall be located as per this note.
- K. Through-wall scuppers shall be provided at all parapets.
- L. Through-wall scuppers shall be 6" wide by 6" tall and shall be galvanized-metal or TPO-coated metal.
- M. Scuppers shall be located as indicated in architectural elevations and roof plans. Where no scuppers are indicated in architectural elevations or roof plans, scuppers shall be located as follows:
-----1) PARAPET LESS THAN 10' IN LENGTH: One scupper, in center
-----2) PARAPETS GREATER THAN 10' IN LENGTH: One scupper per 10' of wall length, minimum two
- N. All scuppers shall be installed such that roof and/or deck material behind parapet shingles on top of back of scupper.
- P. All undersides of copings and gutter attachments to cladding shall be sealed with silicone sealant.
- Q. All through-wall scuppers shall be sealed at all junctions with exterior wall.

10. WINDOWS.
- A. All windows shall be one of the following specifications (SELECTED PRODUCT IS INDICATED ON G003):
- 1) VINYL fin-mounted windows, Andersen 100 series or better; or,
 - 2) ALUMINUM-CLAD WOOD fin-mounted windows, Andersen 200 series or better.
- B. All sleeping rooms shall have at least one window rated for egress by the manufacturer.
- C. All windows shall be tempered as indicated in the architectural plans. Where no tempering requirements are indicated in architectural plans, windows meeting ANY of the following conditions shall be tempered:
- 1) All windows in showers or baths with head height at or below 96" AFF;
 - 2) All windows within 24" of the arc of any swinging door;
 - 3) All windows within 24" of the jamb of any sliding door;
 - 4) All windows with sill heights below 12" AFF;
 - 5) All windows with any single pane of glazing larger than 36 square feet in area.
- D. All awning and casement windows whose sill height is lower than 24" above finish floor shall be fitted with window-opening control devices (WOCDs).
- E. All windows shall be listed as compliant with current energy codes and shall have a maximum U-factor of 0.40 without exception.
- F. The General Contractor is responsible for ensuring that thermal performance is compliant with all relevant energy codes and the requirements of these contract documents.

11. EXTERIOR DOORS
A. All exterior doors shall be one of the following:
-----1) SOLID-CORE WOOD SWINGING DOORS with tempered glazing;
-----2) STEEL SWINGING DOORS with tempered glazing; or,
-----3) ALUMINUM SLIDING DOORS with tempered glazing
B. All exterior swinging doors shall receive lever hardware (NO KNOBS).

12. INTERIOR DOORS.
A. All interior doors shall be one of the following:
----- 1) SOLID-CORE WOOD DOORS with flat paneling; or,
----- 2) SOLID-CORE WOOD DOORS with 5-panel (5x1) paneling.
B. Doors shall be paint-grade unless noted otherwise.
C. Swinging doors shall receive lever hardware (NO KNOBS).

13. TRIM AND CASINGS
- A. All interior baseboards shall be one of the following assemblies:
- 1) 1x4 flat MDF or paint-grade wood with no quarter-round; or,
- 2) 1x4 stain-grade wood with no quarter-round.
- B. All interior door trim shall be one of the following assemblies:
- 1) 1x4 flat MDF or paint-grade wood, or,
- 2) 1x4 stain-grade wood.
14. FLOORING
- A. All flooring shall be one of the following assemblies:
- 1) Clear-sealed polished concrete, Level 4 finish;
- 2) Engineered-wood plank flooring, finish as per OWNER;
- 3) Carpet, color as per OWNER;
- 4) Ceramic tile, 12x12 or as selected by OWNER; or,
- 5) Ceramic tile, 1" diameter white "penny tile" with black grout.
- B. All interior tile shall be installed upon a crack-isolation membrane.

15. DRYWALL AND BACKING.
- A. All interior drywall at walls shall be 1/2" gypsum board except at common walls between duplex units.
- B. All interior drywall at common walls between duplex units shall be 5/8" TYPE X gypsum board.
- C. All interior drywall at ceilings shall be 5/8" gypsum board.
- D. All drywall at WET AREAS (baths, utility rooms) shall consist of one of the following:
-1) Exterior-grade fiberglass-backed gypsum board, installed at full height of wall; or,
-2) Cementitious backer board, installed at full height of wall.


16. PAINTING AND TEXTURING.
- A. All exterior cladding suitable for painting (stucco, cement board, fasciae and trim) shall receive exterior-grade latex paint. Color shall be WHITE unless otherwise selected by OWNER.
- B. All exterior metal suitable for painting (railings, columns, beams, balustrades) shall receive exterior-grade latex paint intended for use on metal. Color shall match roof unless otherwise selected by OWNER.
- C. All interior walls, trim, casings, and ceilings shall be receive no-VOC latex paint. Color shall be WHITE unless otherwise selected by OWNER.
- D. All interior walls and ceilings shall receive orange-peel texture.

17. CABINETS and COUNTERTOPS.
 A. All interior cabinets and shelving shall consist of one of the following assemblies:
 -----1) Paint-grade wood or MDF cabinetry, or;
 -----2) Stain-grade wood cabinetry.
 B. All cabinets shall be full-flush-overlay cabinets with concealed (European) hinges and drawer extensions.
 C. All drawer fronts shall receive brushed-nickel linear pulls installed as follows:
 -----VERTICAL DIMENSION: CL of pull 1" below top of drawer front.
 -----HORIZONTAL DIMENSION: Centered on width of drawer front.
 D. All door fronts shall receive brushed-nickel linear pulls installed as follows:
 -----VERTICAL DIMENSION: CL of pull 1" below top of door front (at BASE) or 1" above top of door front (at UPPERS).
 -----HORIZONTAL DIMENSION: Centered on width of door front.
 E. All countertops shall be either GRANITE or SOLID-SURFACE as selected by OWNER. Where OWNER has made no selection, countertops shall be white Silstone.

18. ELECTRICAL SYSTEMS.
A. Electrical systems shall be designed by master electrician.
B. A whole-house surge protector shall be installed unless deleted by OWNER.
C. Location of meters and load center shall be determined by master electrician.

19. PLUMBING SYSTEMS.
- A. Plumbing systems shall be designed by master plumber.
 - B. Interior supply shall be via flexible (PEX) system with manifold.
 - C. A master cutoff valve shall be installed at manifold unless deleted by OWNER.
 - D. All piping in exterior walls shall be insulated.

20. HVAC SYSTEMS.
- A. HVAC systems shall be designed by master HVAC technician.
- B. HVAC systems shall consist of one of the following:
- 1) Heat pump compliant with current energy code;
- 2) Gas furnace with 10% makeup air compliant with current energy code;
- 3) Ductless split system compliant with current energy code.
- C. All HVAC systems shall incorporate makeup air as required by energy code.

| | | | |
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|--|---|---|--|

| SPECIFICATIONS (CONFIRM WITH OWNER PRIOR TO INSTALLATION). | |
|--|--|
| Element | Material |
| Foundation | Slab-on-grade, engineered by others |
| Framing, walls | 2x4 / 2x6 wood studs, Southern Yellow Pine #2 or better |
| Framing, floors | Pre-fabricated roof trusses, engineered by others |
| Framing, roofs | Pre-fabricated roof trusses , engineered by others |
| Sheathing, walls | 7/16" minimum oriented-strand-board |
| Decking, floors | 1-1/8" oriented-strand-board, mechanically fastened and adhered |
| Decking, roof | 3/4" minimum oriented-strand-board |
| Water-resistive barrier | Fortifiber Hydro-Tex water-resistive barrier |
| Insulation | Fiberglass batt insulation, R19 at walls, R38 at roofs |
| Siding | Cement-board plank siding + stucco, REF: ELEVATIONS |
| Trim, exterior | RealTrim or similar, nominal 1x4 size, S4S (smooth four sides) |
| Roofing | Standing-seam metal roofing on ice+water shield + walkable PVC |
| Windows | Vinyl, Andersen 100 series or better, BLACK |
| Doors, exterior | Vinyl or fiberglass, tempered as req'd, Andersen or better |
| Flooring, general | Engineered wood flooring (OR OWNER SELECTION) |
| Flooring, baths | Ceramic "penny" mosaic tile, black grout (OR OWNER SELECTION) |
| Flooring, kitchens | Engineered wood flooring (OR OWNER SELECTION) |
| Flooring, utility | Porcelain tile, 12" x 12" (OR OWNER SELECTION) |
| Drywall, walls, general | 1/2" gypsum board |
| Drywall, walls, wet areas | Cementitious backer board OR glass-mat-faced gypsum board |
| Drywall, ceilings | 5/8" gypsum board |
| Tile, baths + kitchens | Subway tile, 3" x 6", white, stack bond |
| Trim, baseboards | 1x4 wood, flat profile, painted, NO QUARTER-ROUND |
| Trim, casings | 1x4 wood, flat profile, painted |
| Doors, interior | Solid-core wood doors (NO PANELING), painted |
| Door hardware, exterior | Schlage Century One keyed handleset w/ Latitude lever |
| Door hardware, interior | Schlage Plymouth Style privacy/passage sets, Latitude levers |
| Cabinetry | Paint-grade MDF or wood cabinetry, full-flush overlay (NO EXPOSED FACE FRAMES), European-style hinges, flat-panel doors (no stile-and-rail paneling) |
| Countertops | Solid-surface countertops, white (OWNER SELECTION) |

| APPLIANCE SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE). | |
|--|--|
| Appliance | Specification |
| Refrigerator+freezer | GE Cafe series Energy Star 22.1 cu.ft. counter-depth French-door refrigerator, stainless-steel, model no. CYE22TSHSS |
| Range | GE Cafe series 30" free-standing range with storage drawer, stainless steel, model no. CGS975SEDSS |
| Microwave+vent hood | GE Cafe series 1.7 cu.ft. convection over-the-range microwave oven, stainless steel, model no. CVM1790SSSS |
| Dishwasher | GE Cafe series stainless interior built-in dishwasher with hidden controls, model no. CDT765SSFSS |
| Washer | GE Energy Star front-load washer, model no. GFWH1200HWW |
| Dryer | GE front-load electric dryer, model no. GFDN120EDWW, stacked |
| Disposal | Waste King Legend Series 1 HP disposal, model no. 8000TC |

| PLUMBING SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE). | |
|---|---|
| Fixture | Specification |
| Kitchen sink | Kohler Vault undermount sink, single-hole, model no. K-3839-1 |
| Kitchen faucet | Kohler Sensate electronic pull-down kitchen sink faucet K-72218 NOTE: REQUIRES UNSWITCHED 120V POWER OUTLET |
| Bathroom sink | Kohler Verticyl undermount bathroom sink K-2883 |
| Bathroom faucet | Kohler Purist widespread faucet K-14406-3, cross handles |
| Bathtub | Kohler Villager bath K-715 (left drain) or K-716 (right drain) |
| Bath+shower head+faucet | Kohler Purist bath+shower valve trim with cross handles and 90 ° spout, model no. K-T14421-3E, with Rite-Temp valve with diverter and stops, model no. K-11748-KS |
| Toilet | Kohler Persuade dual-flush toilet, model no. K-3654 w/ Brevia elongated toilet seat, model no. K-4774 |

| ELECTRICAL SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE). | |
|---|--|
| Fixture | Specification |
| Ceiling fan w/ light kit | Fanimation Involution two-bladed ceiling fan, satin nickel, FP4520SN with satin-nickel blades, B4500SN, and light kit, LK4520SN |
| Ceiling fan, wet locations | Fanimation Zonix ceiling fan, satin nickel, FP4640SN |
| Ceiling-mounted light | Lighting Inc. one-light ceiling mount, item # 335157, E26 LED lamp |
| Recessed ceiling light | Lighting Inc. air-tight IC, item # 605638, E26 LED lamp |
| Recessed ceiling light trim | Lighting Inc. 6" pro-optic LED trim, item # 725403, white, E26 LED lamp |
| Pendant light, small | Lighting Inc. one-light LED pendant, item # 754421, G4 LED lamp |
| Pendant light, large | Lighting Inc. one-light LED pendant, item # 539505, E26 LED lamp |
| Exterior light | Lighting Inc. one-light outdoor fixture, item # 336638, E26 LED lamp |
| Vanity light | Lighting Inc. two-light vanity fixture, item # 300295, E26 LED lamp |

| MECHANICAL SCHEDULE (CONFIRM WITH OWNER PRIOR TO PURCHASE). | |
|---|---------------------------------------|
| Fixture | Specification |
| HVAC system | Trane gas furnace with 90% makeup air |
| Exhaust fan | Broan model 684 exhaust fan |

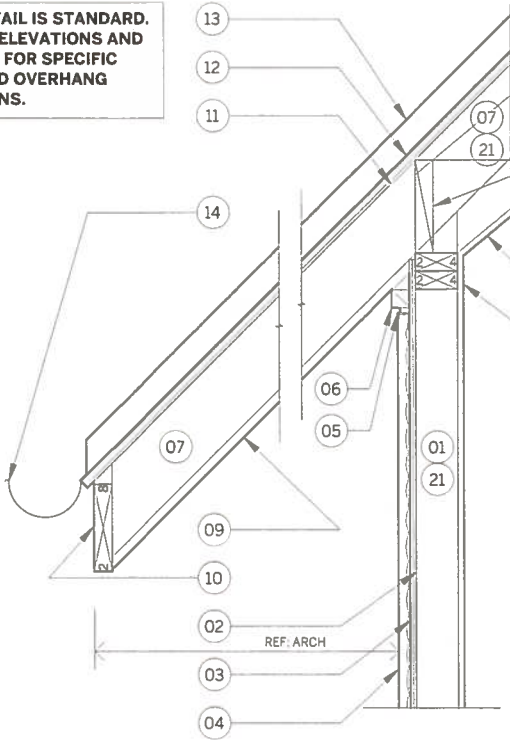
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Previously Denied BOA case C15-2020-0020

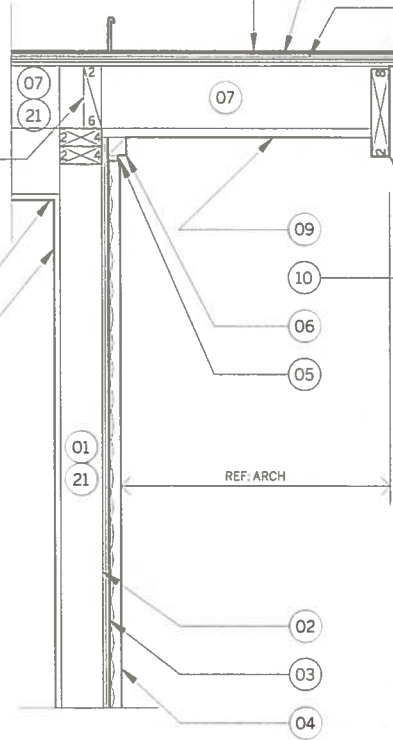
STANDARD FRAMING DETAILS (WOOD-FRAMED CONSTRUCTION).
Scale 3/4" = 1'-0" @ 11x17 / Scale 1-1/2" = 1'-0" @ 24x36.

F01 Standard low eave detail

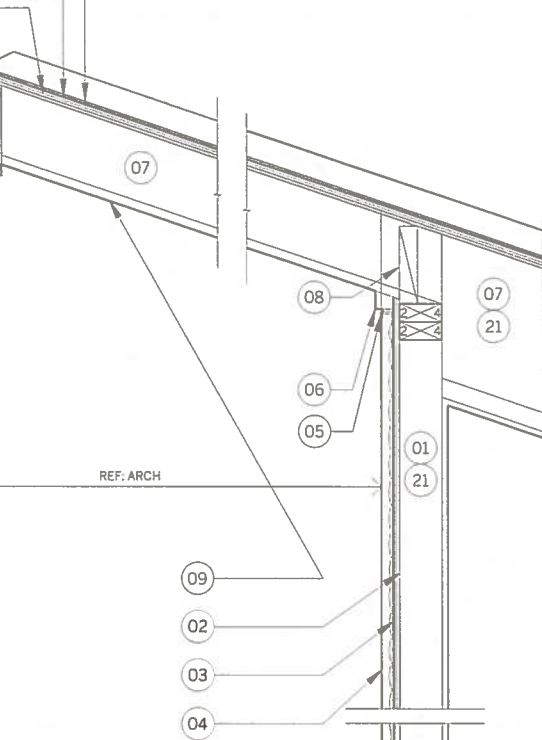
NOTE: DETAIL IS STANDARD.
REFER TO ELEVATIONS AND
SECTIONS FOR SPECIFIC
SLOPE AND OVERHANG
DIMENSIONS.



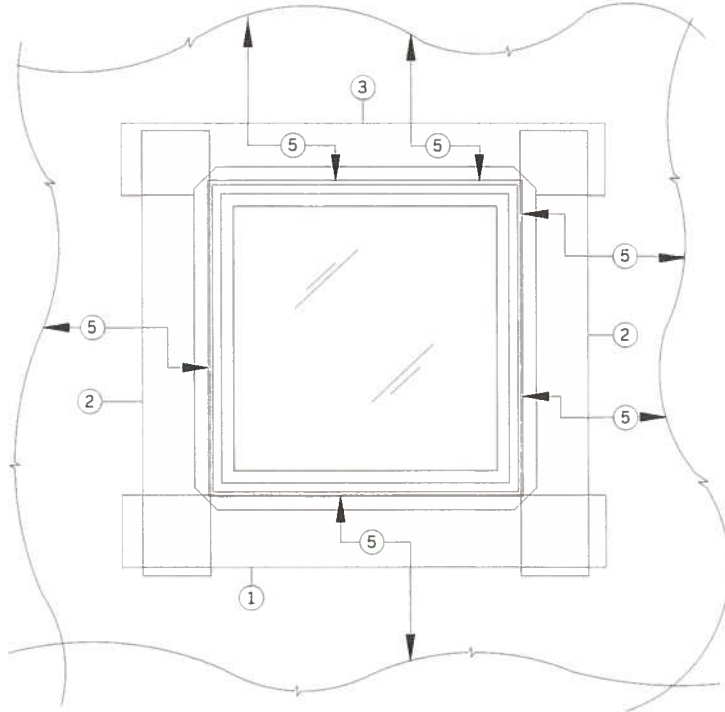
F02 Standard rake detail



F03 Standard high eave detail

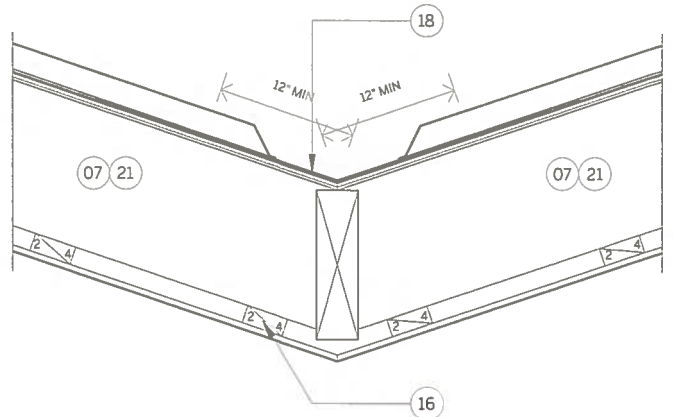
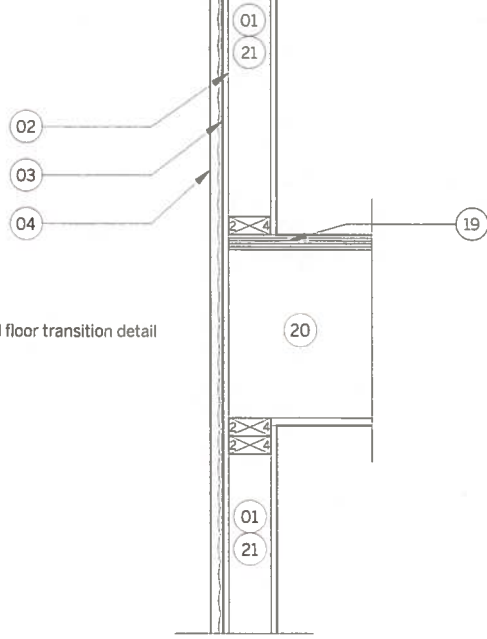


F04 Standard window installation detail



- ORDER OF INSTALLATION
- 1 Sill flashing, wrap into opening
 - 2 Jamb flashing, wrap into opening
 - 3 Head flashing, wrap into opening
 - 4 Window
 - 5 Building wrap

F05 Standard floor transition detail



F06 Standard inverse-gable valley detail

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | | | | |
|----|---|----|--|----|--------------------------------------|
| 01 | Wall framing, 2x4 (2x6 similar; REFER TO PLANS FOR PLACEMENT) | 10 | Fascia, 2x8 material (REFER TO SPECIFICATIONS) | 21 | Insulation (REFER TO SPECIFICATIONS) |
| 02 | Wall sheathing, 1/2" OSB, attached per S2 | 11 | Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS) | | |
| 03 | Building wrap | 12 | Ice-and-water shield | | |
| 04 | Exterior cladding, stucco (siding similar; REFER TO ELEVATIONS FOR PLACEMENT) | 13 | Standing-seam metal roof (composition shingle similar) | | |
| 05 | Sealant as required | 14 | Metal gutter | | |
| 06 | Wood blocking at eave+wall junction | 15 | Metal drip edge | | |
| 07 | Wood rafter (trusses similar; REFER TO ENGINEERING PLANS FOR PLACEMENT) | 16 | Wood furring | | |
| 08 | Wood shear blocking between rafters or trusses per IRC and engineering drawings | 17 | Gypsum board at ceiling, 5/8" thick | | |
| 09 | Ventilated soffit board (unless roof cavity is sprayed with foam insulation) | 18 | Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing | | |
| | | 19 | Floor decking, 1-1/4" thick | | |
| | | 20 | Truss or floor joist | | |

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ISSUE DATE

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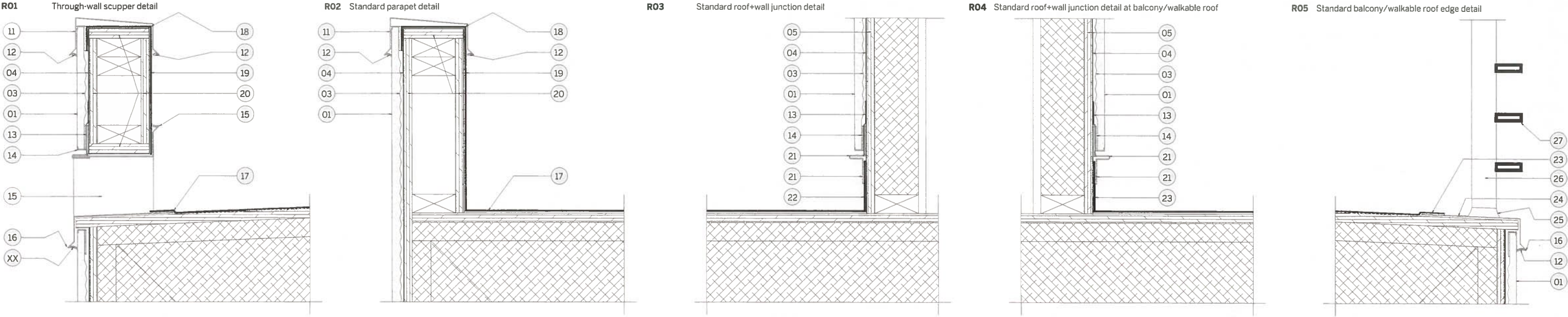
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE Standard Details.

G004

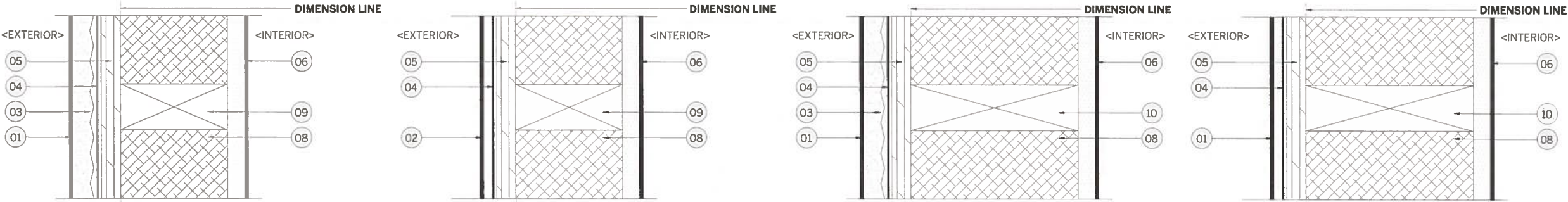
STANDARD ROOF DETAILS (WOOD-FRAMED CONSTRUCTION).
Scale 1-1/2" = 1'-0" @ 11x17 / Scale 3" = 1'-0" @ 24x36.



STANDARD PARTITION TYPES (WOOD-FRAMED CONSTRUCTION).
Scale 3" = 1'-0" @ 11x17 / Scale 6" = 1'-0".

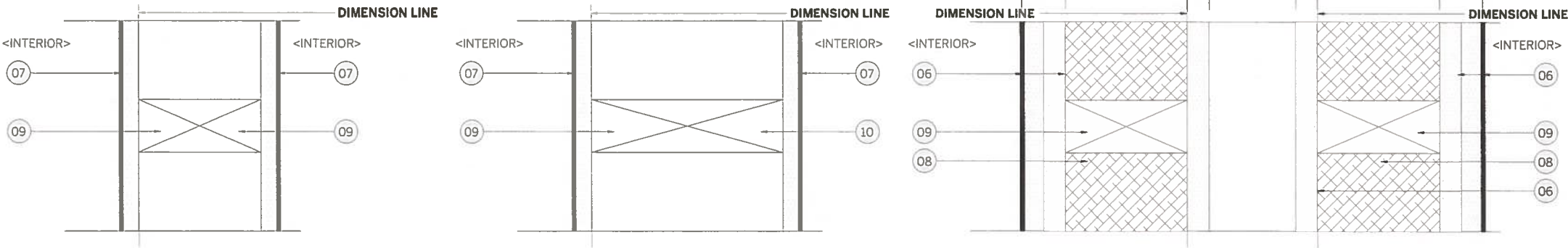
EXTERIOR WALLS

- WE01** Stucco veneer on 2x4 wood studs
- WE02** Cement-board veneer on 2x4 wood studs
- WE03** Stucco veneer on 2x6 wood studs
- WE04** Cement-board veneer on 2x6 wood studs



INTERIOR WALLS

- WN01** 2x4 wood studs
- WN02** 2x6 wood studs
- WN03** 2-HR RATED Interior demising wall (UL U342)



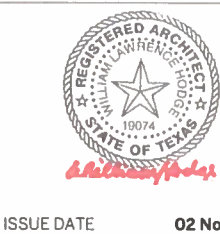
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | | |
|----|--|----|---|
| 01 | 3-coat stucco with elastomeric 3rd coat. | 15 | Galvanized metal through-wall scupper enclosure. |
| 02 | Cement-board siding, 6" horizontal exposure. | 16 | Drip edge. |
| 03 | Metal lath. | 17 | 60mil PVC roofing. |
| 04 | Water-resistive barrier. | 18 | PVC roofing to run over top of parapet. |
| 05 | Exterior sheathing. | 19 | PVC roofing to run up side of parapet. |
| 06 | 5/8" type-X gypsum board. | 20 | OSB on all sides of parapet. |
| 07 | 1/2" gypsum board. | 21 | Galvanized metal flashing + counterflashing. |
| 08 | Spray-foam insulation. | 22 | PVC roofing to run up wall underneath flashing + counterflashing. |
| 09 | 2x4 wood stud. | 23 | Walkable PVC roofing. |
| 10 | 2x6 wood stud. | 24 | Galvanized metal slip plate with drip edge. |
| 11 | Galvanized metal coping. | 25 | Urethane sealant at junction of railing and slip plate. |
| 12 | Silicone sealant, tooled for drainage. | 26 | Galvanized 2" x 2" metal railing post. |
| 13 | Self-adhered membrane flashing. | 27 | Galvanized 1/2" x 2" steel bar railing, horizontal. |
| 14 | Weep screed. | | |

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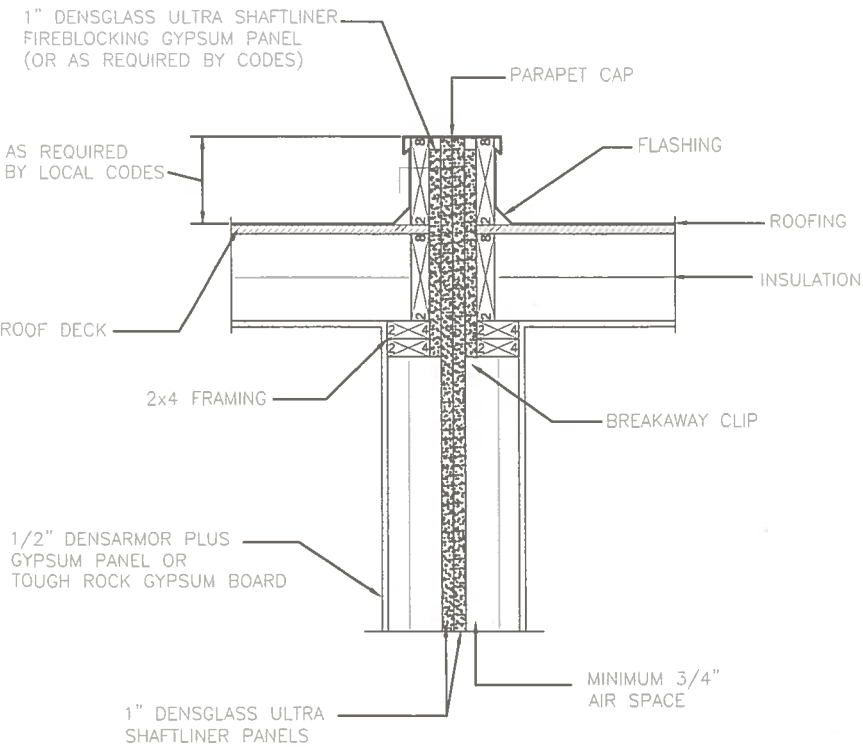
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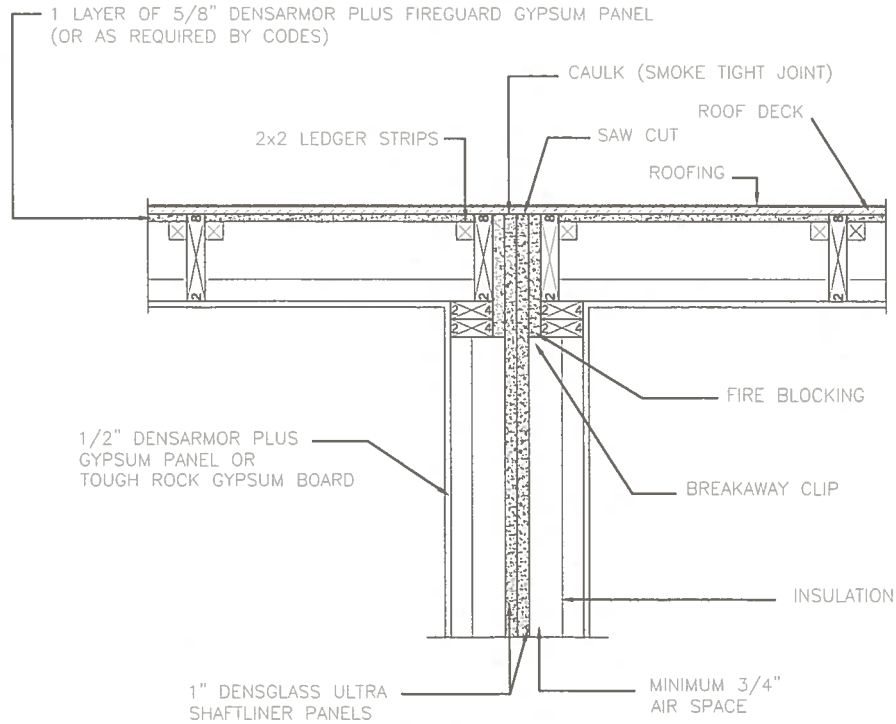
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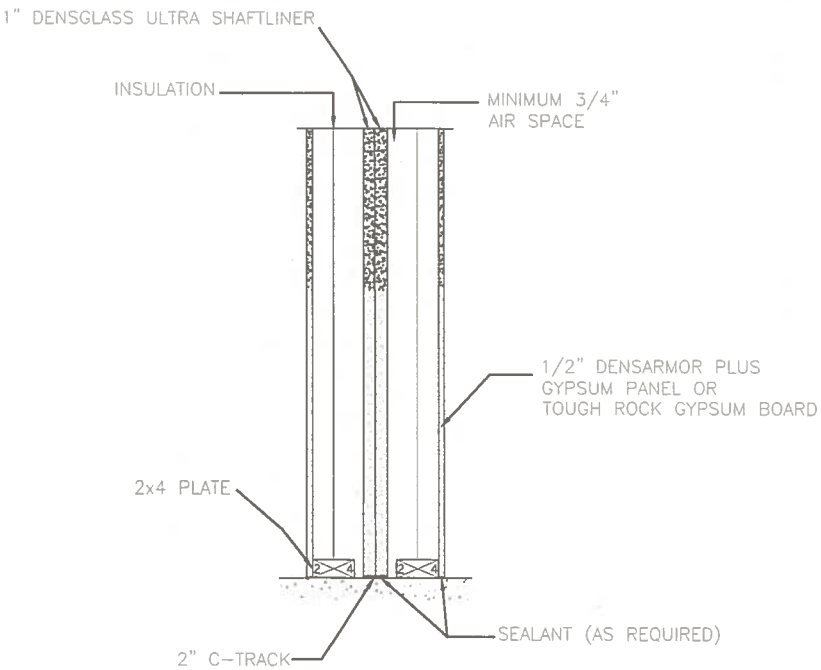
G005



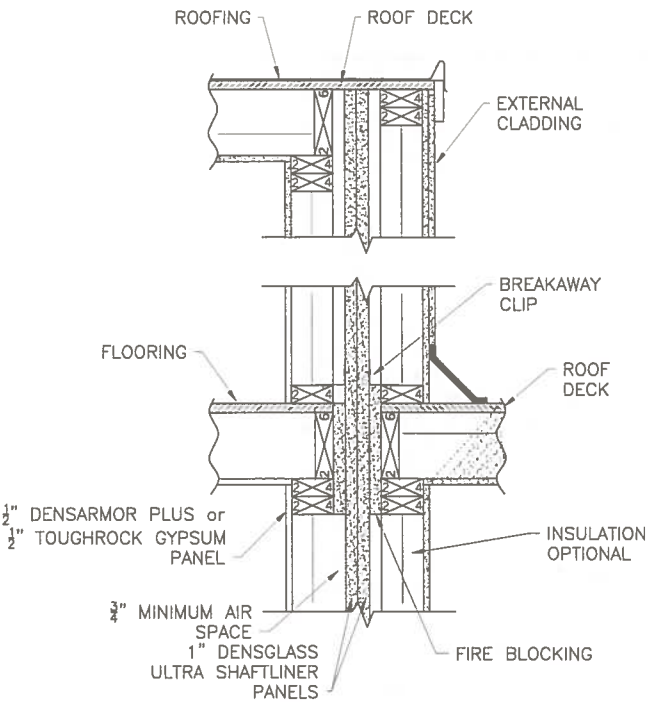
TYPICAL ROOF PARAPET DETAIL



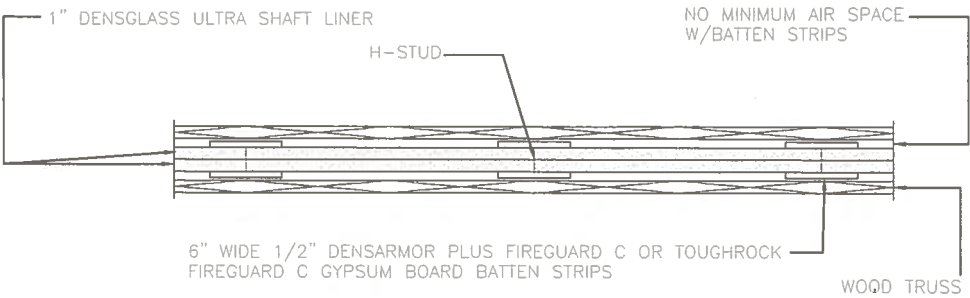
TYPICAL ROOF JUNCTION DETAIL



TYPICAL FOUNDATION DETAIL



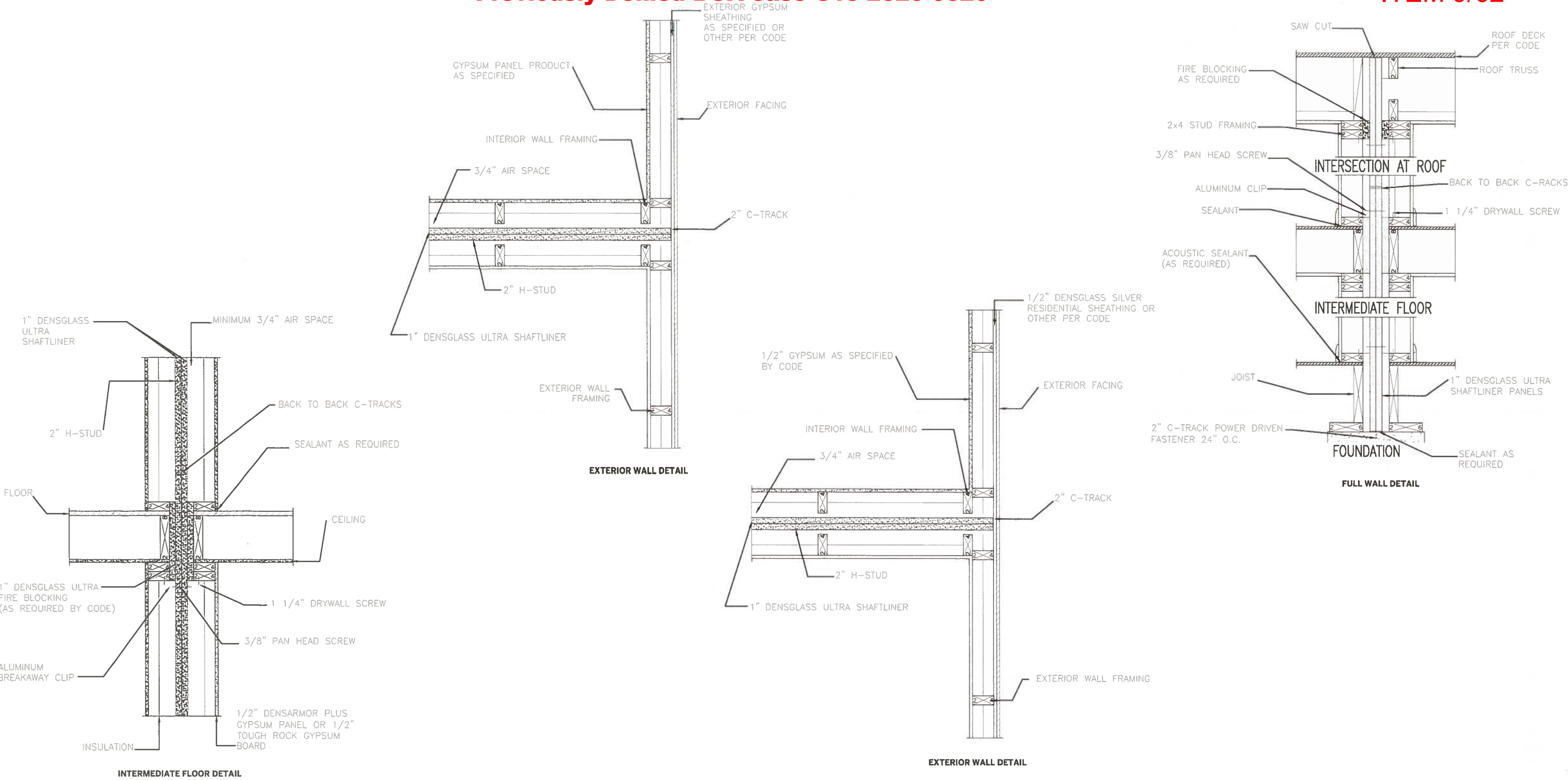
TYPICAL OFFSET ROOF/WALL DETAIL

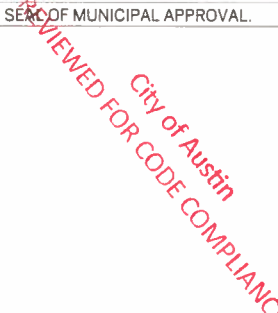


*ONLY APPLIES IF SOLID WALL IS ACCESSIBLE. IF NOT ACCESSIBLE, THE 1/2" TYPE C STRIPS ARE NOT REQUIRED.

*ATTIC DETAIL-ADJACENT TO TRUSSES






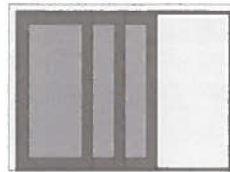
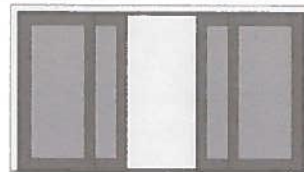














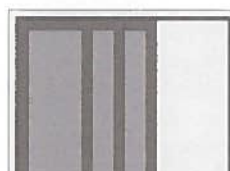












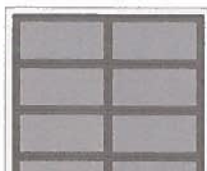

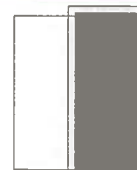
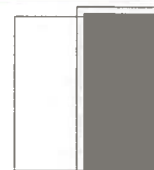
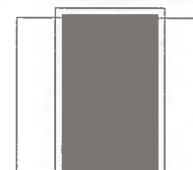
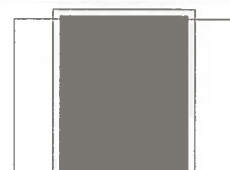


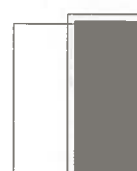
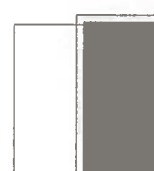
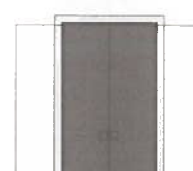








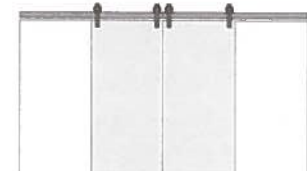
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|---|---|----|--|---|--|--|---|
| 01 | Wall framing, 2x4 (2x6 similar; REFER TO PLANS FOR PLACEMENT) | 10 | Fascia, 2x8 material (REFER TO SPECIFICATIONS) | This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. |  <i>William Lawrence Hodge</i> | City of Austin REVIEWED FOR CODE COMPLIANCE | |
| 02 | Wall sheathing, 1/2" OSB, attached per S2 | 11 | Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS) | | | | |
| 03 | Building wrap | 12 | Ice-and-water shield | | | | |
| 04 | Exterior cladding, stucco (siding similar; REFER TO ELEVATIONS FOR PLACEMENT) | 13 | Standing-seam metal roof (composition shingle similar) | | | | |
| 05 | Sealant as required | 14 | Metal gutter | | | | |
| 06 | Wood blocking at eave+wall junction | 15 | Metal drip edge | | | | |
| 07 | Wood rafter (trusses similar; REFER TO ENGINEERING PLANS FOR PLACEMENT) | 16 | Wood furring | | | | |
| 08 | Wood shear blocking between rafters or trusses per IRC and engineering drawings | 17 | Gypsum board at ceiling, 5/8" thick | | | | |
| 09 | Ventilated soffit board (unless roof cavity is sprayed with foam insulation) | 18 | Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing | | | | |
| | | 19 | Floor decking, 1-1/4" thick | | | | |
| | | 20 | Truss or floor joist | | | | |






















































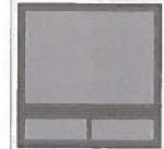

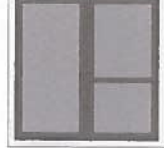
| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | <div>OCHONA Development + Architecture</div> <div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div> <div>ISSUE DATE 02 Nov 2017.</div> <div>SHEET TYPE Standard Details.</div> <div>G007</div> |
|---|---|----|--|----|--------------------------------------|--|---|---|
| 01 | Wall framing, 2x4 (2x6 similar; REFER TO PLANS FOR PLACEMENT) | 10 | Fascia, 2x8 material (REFER TO SPECIFICATIONS) | 21 | Insulation (REFER TO SPECIFICATIONS) |  ISSUE DATE 02 Nov 2017. |  | |
| 02 | Wall sheathing, 1/2" OSB, attached per S2 | 11 | Roof decking (REFER TO SPECIFICATIONS AND ENGINEERING DRAWINGS) | | | | | |
| 03 | Building wrap | 12 | Ice-and-water shield | | | | | |
| 04 | Exterior cladding, stucco (siding similar; REFER TO ELEVATIONS FOR PLACEMENT) | 13 | Standing-seam metal roof (composition shingle similar) | | | | | |
| 05 | Sealant as required | 14 | Metal gutter | | | | | |
| 06 | Wood blocking at eave+wall junction | 15 | Metal drip edge | | | | | |
| 07 | Wood rafter (trusses similar; REFER TO ENGINEERING PLANS FOR PLACEMENT) | 16 | Wood furring | | | | | |
| 08 | Wood shear blocking between rafters or trusses per IRC and engineering drawings | 17 | Gypsum board at ceiling, 5/8" thick | | | | | |
| 09 | Ventilated soffit board (unless roof cavity is sprayed with foam insulation) | 18 | Valley flashing, atop ice-and-water shield, with ice-and-water shield wrapped atop valley flashing | | | | | |
| | | 19 | Floor decking, 1-1/4" thick | | | | | |
| | | 20 | Truss or floor joist | | | | | |

DOOR SCHEDULES.

Previously Denied BOA case C15-2020-0020

| SWINGING ENTRY DOORS. | | SWINGING PATIO DOORS. | | EXTERIOR SLIDING DOORS. | | | INTERIOR SWINGING DOORS. | | | | | | | | | INTERIOR BYPASS DOORS. | |
|---|--|---|---|--|--|---|--|---|---|---|---|---|---|---|---|---|---|
|  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| EN3680 | EN(2)3680 | PA3680 | PA(2)3680 | SL(2)3680 | SL(3)3680 | SL(4)3680 | SD1880 | SD2480 | SD2880 | SD3280 | SD3680 | SD(2)1880 | SD(2)2480 | SD(2)3280 | SD(2)3680 | BP(2)2480 | BP(2)3680 |
|  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| EN3696 | EN(2)3696 | PA3696 | PA(2)3696 | SL(2)3696 | SL(3)3696 | SL(4)3696 | SD1896 | SD2496 | SD2896 | SD3296 | SD3696 | SD(2)1896 | SD(2)2496 | SD(2)3296 | SD(2)3696 | BP(2)2496 | BP(2)3696 |
| GARAGE DOORS. | | | | | | | | | | | | | | | | | |
|  |  | | | | | | | | | | | | | | | | |
| GA9680 | GA21680 | | | | | | | | | | | | | | | | |
|  |  | | | | | | | | | | | | | | | | |
| GA9696 | GA21696 | | | | | | | | | | | | | | | | |
| | | INTERIOR POCKET DOORS. | | | | | | | | | | | | | | | |
| | |  |  |  |  |  |  | | | | | | | | | | |
| | | PD2480 | PD3280 | PD3680 | PD(2)2480 | PD(2)3280 | PD(2)3680 | | | | | | | | | | |
| | |  |  |  |  |  |  | | | | | | | | | | |
| | | PD2496 | PD3296 | PD3696 | PD(2)2496 | PD(2)3296 | PD(2)3696 | | | | | | | | | | |
| | | BARN DOORS. | | | | | | | | | | | | | | | |
| | |  |  | | |  | | |  | | | | | | | | |
| | | BD2480 | BD3680 | | | BD(2)2480 | | | BD(2)3680 | | | | | | | | |
| | |  |  | | |  | | |  | | | | | | | | |
| | | BD2496 | BD3696 | | | BD(2)2496 | | | BD(2)3696 | | | | | | | | |


| GENERAL NOTES REGARDING DOORS AND WINDOWS. | | | | DOOR DESIGNATION LEGEND. | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | |
|--|--|----|--|--------------------------|--|----|---|--|---|--|
| 01 | This is a STANDARD schedule and not all doors and windows indicated above may be utilized in this specific project. Head heights given are to be measured to the top of the window and/or door unit. | 05 | When the Owner's chosen window and/or door manufacturer has standard unit sizes that differ from the unit sizes given above, it is the sole responsibility of the Owner and the General Contractor to coordinate egress and tempering requirements such that the built work complies with the intent of this document. | 06 | Individual manufacturers have standard rough-opening requirements that differ from manufacturer to manufacturer. It is the sole responsibility of the General Contractor to coordinate rough openings for windows and/or doors with the requirements of the Owner's chosen window and/or door manufacturers. | 07 | All individual windows within MIXED WINDOW UNITS shall be TIGHT-MULLED in the FACTORY. NO MULLING ONSITE. | <div><div>DOOR TYPE:</div><div>EN Entry door PA Patio door SL Exterior sliding door GA Garage door SD Swinging door BP Bypass door PD Pocket door BD Barn door</div></div> <div><div>XX(X)XXXX</div><div>NUMBER OF LEAVES (if more than one leaf)</div><div>WIDTH OF DOOR LEAF (NOMINAL) (in INCHES) E.G.: 30 = 30 inches</div><div>HEIGHT OF DOOR LEAF (NOMINAL) (in INCHES) E.G.: 80 = 80 inches</div></div> | <div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div> <div><div>REGISTERED ARCHITECT WILLIAM LAWRENCE HODGE 19074 STATE OF TEXAS <i>William Lawrence Hodge</i></div><div>ISSUE DATE 02 Nov 2017.</div><div>GRAPHIC SCALE (in feet) 0 1 2 4 8</div></div> | <div>City of Austin REVIEWED FOR CODE COMPLIANCE</div> <div><div>OCHONA Development + Architecture</div><div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div><div>ISSUE DATE 02 Nov 2017.</div><div>SHEET TYPE Door Schedules.</div><div>G008</div></div> |

| FIXED WINDOWS. | SLIDING WINDOWS. | CASEMENT WINDOWS. | SASH WINDOWS. | MIXED WINDOWS. |
|--|---|---|--|---|
| <div> PW1212@80 PW1212@96</div> <div> PW2412@80 PW2412@96</div> <div> PW3612@80 PW3612@96</div> <div> PW4812@80 PW4812@96</div> <div> PW6012@80 PW6012@96</div> <div> PW7212@80 PW7212@96</div> <div> PW1224@80 PW1224@96</div> <div> PW2424@80 PW2424@96</div> <div> PW3624@80 PW3624@96</div> <div> PW4824@80 PW4824@96</div> <div> PW6024@80 PW6024@96</div> <div> PW7224@80 PW7224@96</div> <div> PW1236@80 PW1236@96</div> <div> PW3636@80 PW3636@96</div> <div> PW7236@80 PW7236@96</div> <div> PW1248@80 PW1248@96</div> <div> PW2448@80 PW2448@96</div> <div> PW4848@80 PW4848@96</div> <div> PW1260@80 PW1260@96</div> <div> PW2460@80 PW2460@96</div> <div> PW6060@80 PW6060@96</div> <div> PW1272@96</div> <div> PW2472@96</div> <div> PW3672@96</div> <div> PW7272@96</div> | <div> SW3612@80 SW3612@96</div> <div> SW4812@80 SW4812@96</div> <div> SW6012@80 SW6012@96</div> <div> SW7212@80 SW7212@96</div> <div> SW3624@80 SW3624@96</div> <div> SW4824@80 SW4824@96</div> <div> SW6024@80 SW6024@96</div> <div> SW7224@80 SW7224@96</div> <div> SW3636@80 SW3636@96</div> <div> SW4836@80 SW4836@96</div> <div> SW6036@80 SW6036@96</div> <div> SW7236@80 SW7236@96</div> <div> SW9636@80 SW9636@96</div> <div> SW4848@80 SW4848@96</div> <div> SW6060@80 SW6060@96</div> <div> SW7272@96</div> | <div> CW2424@80 CW2424@96</div> <div> CW3636@80 CW3636@96</div> <div> CW2460@80 CW2460@96</div> <div> CW3660@80 CW3660@96</div> <div> CW2472@96</div> <div> CW3672@96</div> | <div> SH3636@80 SH3636@96</div> <div> SH3660@80 SH3660@96</div> <div> SH3672@80 SH3672@96</div> | <div> MW6060@80 MW6060@96 Upper portion: PW6042 Lower portion: SL6018</div> <div> MW7272@96 Upper portion: PW7254 Lower portion: SL7218</div> <div> MWL7272@96 Left portion: SH7236 Right portion: PW7236</div> <div> MWR7272@96 Left portion: PW7236 Right portion: SH7236</div> |
| CUSTOM WINDOWS. | | | | |

GENERAL NOTES REGARDING DOORS AND WINDOWS.

| | | | | | | | |
|----|--|----|--|----|--|----|---|
| 01 | This is a STANDARD schedule and not all windows and doors indicated above may be utilized in this specific project. Head heights given are to be measured to the top of the window and/or door unit. | 05 | When the Owner's chosen window and/or door manufacturer has standard unit sizes that differ from the unit sizes given above, it is the sole responsibility of the Owner and the General Contractor to coordinate egress and tempering requirements such that the built work complies with the intent of this document. | 06 | Individual manufacturers have standard rough-opening requirements that differ from manufacturer to manufacturer. It is the sole responsibility of the General Contractor to coordinate rough openings for windows and/or doors with the requirements of the Owner's chosen window and/or door manufacturers. | 07 | All individual windows within MIXED WINDOW UNITS shall be TIGHT-MULLED in the FACTORY. NO MULLING ONSITE. |
| 02 | Unit widths and heights are nominal and general. | | | | | 08 | Refer to paragraph 10 ("Windows") on sheet G002 for tempering requirements. |
| 03 | Individual manufacturers may have standard unit sizes that differ from the unit sizes given above. | | | | | | |

WINDOW DESIGNATION LEGEND.

| | | | |
|--|---------------------------|----------------------------|---------------------------------|
| <div></div> | | | |
| WINDOW TYPE: | WIDTH OF UNIT (in INCHES) | HEIGHT OF UNIT (in INCHES) | HEAD HEIGHT OF UNIT (in INCHES) |
| PW Fixed window | E.G.: 30 = 30 inches | E.G.: 30 = 30 inches | E.G.: 80 = 80 inches |
| SW Sliding window | | | |
| CW Casement window | | | |
| SH Sash window | | | |
| MW Mixed window | | | |
| XW Custom window | | | |

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SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.



REVIEWED FOR CODE COMPLIANCE
City of Austin

SEAL OF MUNICIPAL APPROVAL.

OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

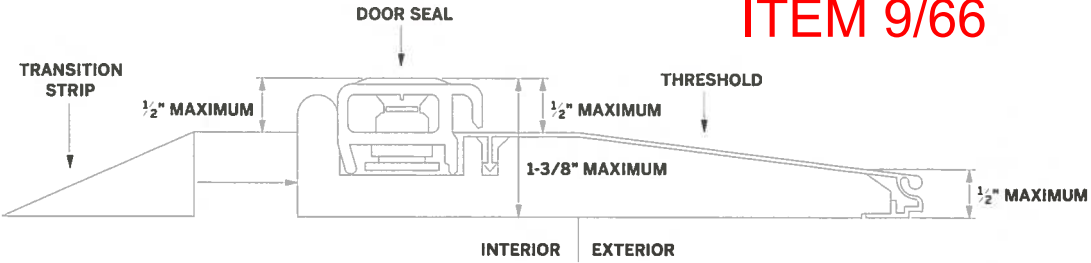
ISSUE DATE 02 Nov 2017.
SHEET TYPE Window Schedules.

G009

Previously Denied BOA case C15-2020-0020

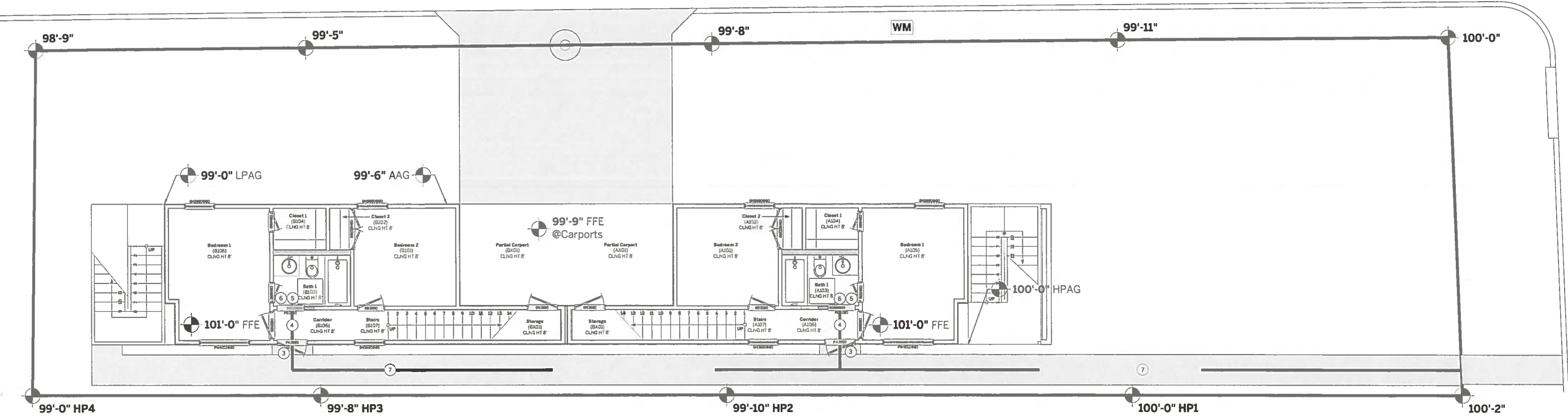
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Previously Denied BOA case C15-2020-0020



THRESHOLD DETAIL
N.T.S
REFER TO CODE INTERPRETATION
CI2013-0002 FOR ADDITIONAL INFORMATION.

NAVASOTA STREET



1401 E 3rd ST

1 Visitability Plan

Scale 3/32" = 1'-0" @ 11x17
Scale 3/16" = 1'-0" @ 24x36

KEYED NOTES.

- | | | | |
|---|---|---|--|
| 1 | GENERAL NOTE: The junction-box centerline of all light switches and environmental controls shall be no higher than 45" above finished floor. | 4 | 32" clear visitable route |
| 2 | GENERAL NOTE: The junction-box centerline of all outlets, receptacles and data ports shall be no lower than 18" above finished floor. | 5 | 2x6 blocking at all walls in bathrooms (except directly behind lavatories), centerline 34" above finished floor. |
| 3 | No-step entry and maximum threshold height of 1/2", minimum nominal 36" width. | 6 | 32" wide door to bathroom. Door shall not impede required 30" x 30" clear space inside bathroom. |
| | | 7 | Exterior visitable route via sidewalk. |
| | | 8 | Exterior visitable route via driveway. |

GENERAL NOTE.

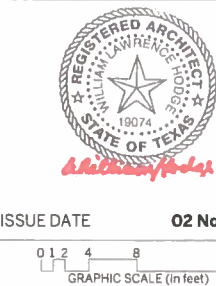
Refer to sheet G002 for notes regarding VISITABILITY REQUIREMENTS

Exterior visitable route shall have a running slope of no more than 1:12 unless handrails are provided, in which caserunning slope shall not exceed 1:8. Cross slope shall in no case exceed 1:50.

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City of Austin
REVIEWED FOR CODE COMPLIANCE

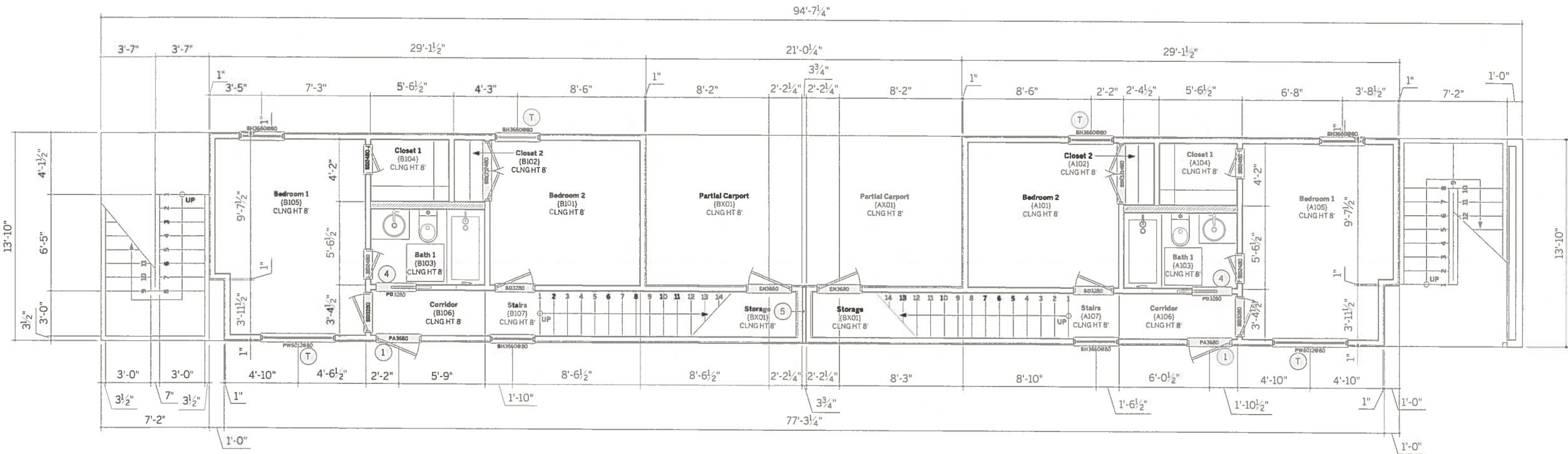
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE Visability Plan.







A100

Previously Denied BOA case C15-2020-0020

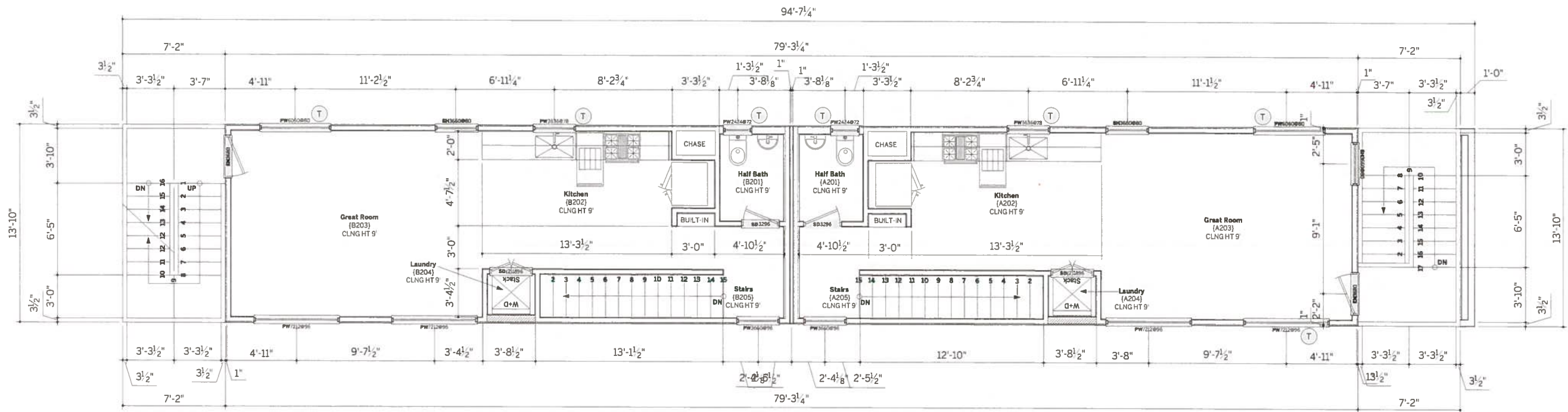


1 Floor Plan, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36


| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | VISITABILITY NOTES (REPEATED FROM SHEET G002). | | FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | | |
|---|---|----|--|--|--|---|---|---|--|---|--|---|
| 01 | New step-free entry into residence from public way. Maximum vertical rise 1/2". | 04 | New accessible door into visitable bathroom on Level 01. Minimum clear width 32". | 06 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. | 1. | Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. |  2x4 wood framing | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  ISSUE DATE 02 Nov 2017. GRAPHIC SCALE (in feet) 0 1 2 4 8 | <p>CITY OF AUSTIN REVIEWED FOR CODE COMPLIANCE</p> | <p>OCHONA Development + Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702 ISSUE DATE 02 Nov 2017. SHEET TYPE Floor Plans, Level 01. A101</p> |
| 02 | New step-free entry into residence from garage or carport. Maximum vertical rise 1/2". | 05 | New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent. | 07 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. | 2. | Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. |  2x6 wood framing | | | | |
| 03 | New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY. | | REQUIRED LENGTH XX'-XX" PROVIDED LENGTH XX'-XX" | 08 | Ceiling break. | 3. | Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. |  3.5" depth cold-formed metal framing | | | | |
| | | | | 09 | Line of 5' ceiling height. | 4. | Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. |  6" depth cold-formed metal framing | | | | |
| | | | | 10 | Line of 7' ceiling height. | 5. | At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less. |  12" depth insulated-concrete-form framing | | | | |
| | | | | 11 | Line of 15' ceiling height. | 6. | A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50. | | | | | |
| | | | | T | Tempered glass. | | | | | | | |

Previously Denied BOA case C15-2020-0020

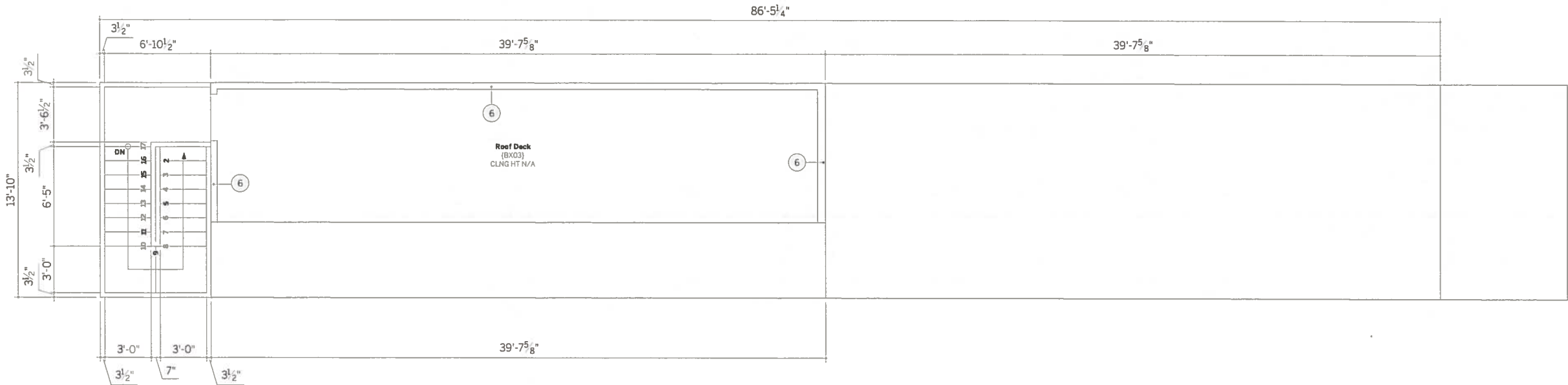


1 Floor Plan, Level 02




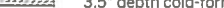



Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | VISITABILITY NOTES (REPEATED FROM SHEET G002). | | FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | <div><div>OCHONA</div><div>Development + Architecture</div><div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div><div>ISSUE DATE 02 Nov 2017. SHEET TYPE Floor Plans, Level 02.</div><div>A102</div></div> |
|---|--|----|--|--|--|---|--|---|---|-----------------------------|--|
| 01 | New step-free entry into residence from public way. Maximum vertical rise 1/2". | 04 | New accessible door into visitable bathroom on Level 01. Minimum clear width 32". | 06 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. | <div><div></div>2x4 wood framing</div> <div><div></div>2x6 wood framing</div> <div><div></div>3.5" depth cold-formed metal framing</div> <div><div></div>6" depth cold-formed metal framing</div> <div><div></div>12" depth insulated-concrete-form framing</div> | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> | <div><div></div><div>0 1 2 4 8 GRAPHIC SCALE (in feet)</div></div> | <div><div>City of Austin APPROVED FOR CODE COMPLIANCE</div><div>02 Nov 2017</div></div> | | |
| 02 | New step-free entry into residence from garage or carport. Maximum vertical rise 1/2". | 05 | New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent. | 07 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. | | | | | | |
| 03 | New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY. | | REQUIRED LENGTH XX'-XX" PROVIDED LENGTH XX'-XX" | 08 | Ceiling break. | | | | | | |
| | | | | 09 | Line of 5' ceiling height. | | | | | | |
| | | | | 10 | Line of 7" ceiling height. | | | | | | |
| | | | | 11 | Line of 15' ceiling height. | | | | | | |
| | | | | T | Tempered glass. | | | | | | |

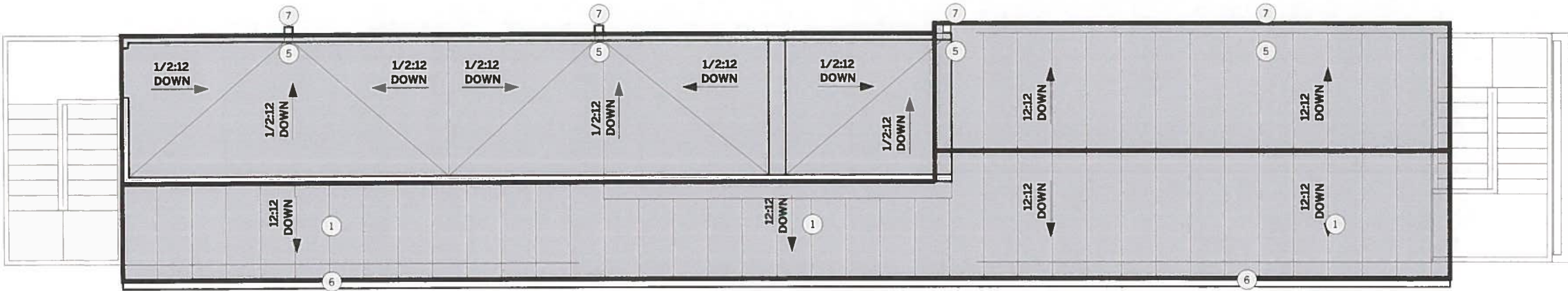
Previously Denied BOA case C15-2020-0020



1 Floor Plan, Level 03
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36


| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | VISITABILITY NOTES (REPEATED FROM SHEET G002). | | FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | <div><div>OCHONA</div><div>Development + Architecture</div><div>SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702</div><div>ISSUE DATE02 Nov 2017.</div><div>SHEET TYPEFloor Plans, Level 03.</div><div>A103</div></div> | |
|---|--|----|--|--|--|---|---|---|--|---|--|---|
| 01 | New step-free entry into residence from public way. Maximum vertical rise 1/2". | 04 | New accessible door into visitable bathroom on Level 01. Minimum clear width 32". | 06 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. | 1. | Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. |  2x4 wood framing  2x6 wood framing  3.5" depth cold-formed metal framing  6" depth cold-formed metal framing  12" depth insulated-concrete-form framing | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  <i>William Lawrence Hodge</i> ISSUE DATE02 Nov 2017.  | | <div>City of Austin</div> <div>REVIEWED FOR CODE COMPLIANCE</div> |
| 02 | New step-free entry into residence from garage or carport. Maximum vertical rise 1/2". | 05 | New 120-minute-rated demising wall between duplex units. Construction to comply with UL U342 or approved equivalent. | 07 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. | 2. | Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. | | | | | |
| 03 | New accessible route through and to Level 01 public spaces. Minimum clear width 32". REFER TO SHEET A100 FOR CONTINUATION OF ROUTE TO EXTERIOR AND PUBLIC WAY. | | REQUIRED LENGTH XX'-XX" PROVIDED LENGTH XX'-XX" | 08 | Ceiling break. | 3. | Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. | | | | | |
| | | | | 09 | Line of 5' ceiling height. | 4. | Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. | | | | | |
| | | | | 10 | Line of 7' ceiling height. | 5. | At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less. | | | | | |
| | | | | 11 | Line of 15' ceiling height. | 6. | A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50. | | | | | |
| | | | | T | Tempered glass. | | | | | | | |

Previously Denied BOA case C15-2020-0020

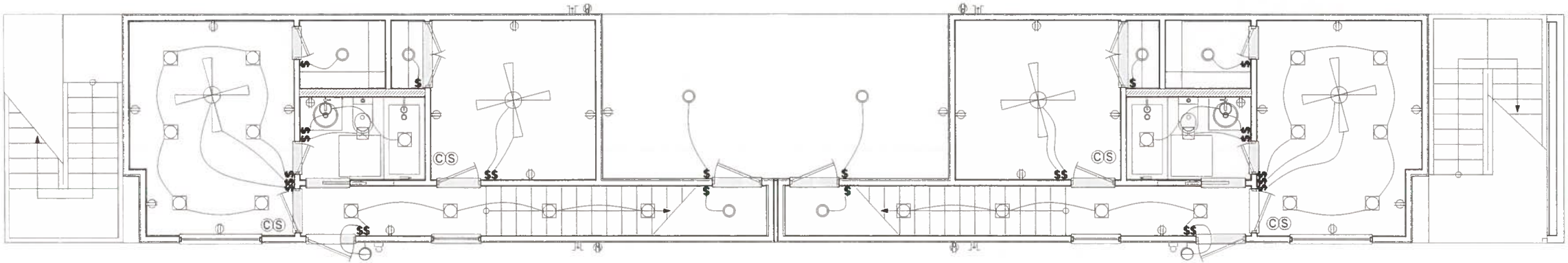


1 Roof Plan

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | FRAMING (NOT ALL TYPES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|---|---------------------------------------|--|--|---|--|--|--|--|--|--|
| 01 | New standing-seam metal roof. | | | | | | | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  ISSUE DATE 02 Nov 2017. GRAPHIC SCALE (in feet) 0 1 2 4 8 | <p>REVIEWED FOR CODE COMPLIANCE City of Austin</p> |
| 02 | New 30-year composition shingle roof. | | | | | | | | | |
| 03 | New walkable-PVC roof deck. | | | | | | | | | |
| 04 | New metal coping. | | | | | | | | | |
| 05 | New metal scupper. | | | | | | | | | |
| 06 | New metal gutter. | | | | | | | | | |
| 07 | New metal downspout. | | | | | | | | | |
| | | | | | | | | | <p>OCHONA Development + Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702 ISSUE DATE 02 Nov 2017. SHEET TYPE Roof Plans. A104</p> | |

Previously Denied BOA case C15-2020-0020



1 MEP Plan, Level 01
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | | | | | | | | | | |
|--|-----------------------------|--|-------------------------------|--|---------------|--|----------------|--|--------------------|--|-----------|
| | Ceiling fan w/o light kit | | Pendant light | | Wall switch | | Smoke detector | | Hot+cold water tap | | Door bell |
| | Ceiling-mounted light | | Duplex outlet | | CO2 detector | | Hose bibb | | Door bell chimes | | |
| | Recessed can light | | GFCI duplex outlet | | Thermostat | | Gas tap | | | | |
| | Ceiling fan w/ light kit | | Waterproof GFCI duplex outlet | | AC mini split | | | | | | |
| | Vanity light | | 220V outlet | | | | | | | | |
| | Exterior wall-mounted light | | | | | | | | | | |
| | Exhaust fan | | | | | | | | | | |

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SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.

0 1 2 4 8
GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL.

City of Austin
REVIEWED FOR CODE COMPLIANCE

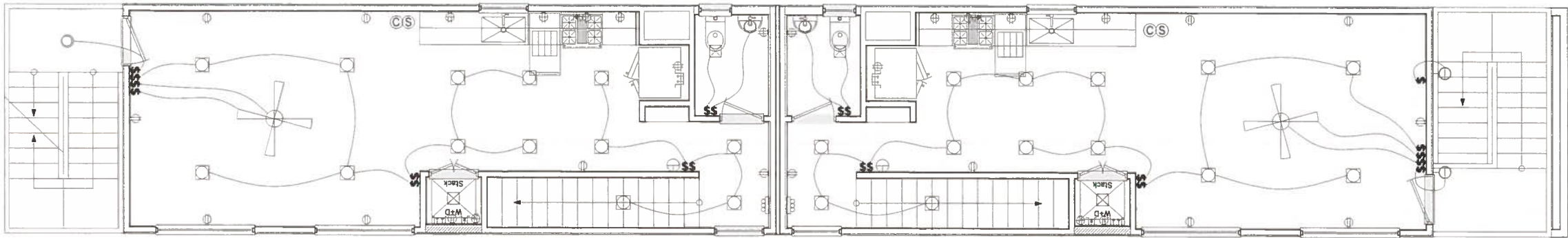
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE MEP Plans, Level 01.














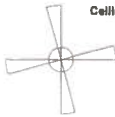


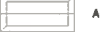



A105

Previously Denied BOA case C15-2020-0020



1 MEP Plan, Level 02
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

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DISCLAIMERS.

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SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.



SEAL OF MUNICIPAL APPROVAL.

REVIEWED FOR CODE COMPLIANCE
City of Austin

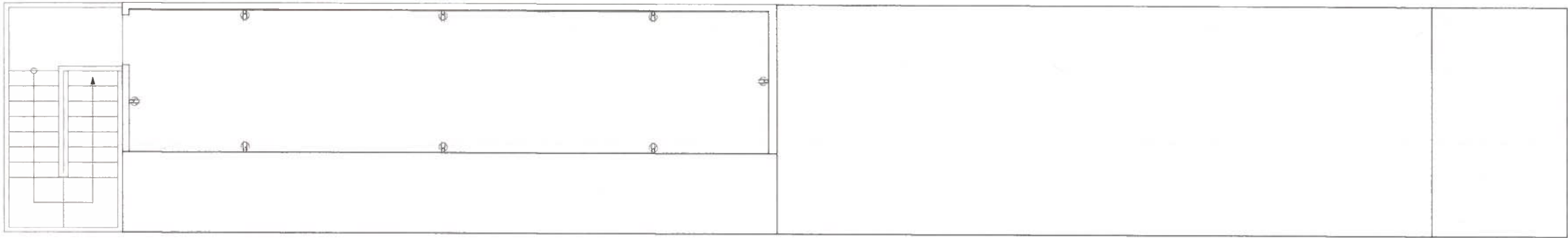
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE MEP Plans, Level 02.























A106

Previously Denied BOA case C15-2020-0020



1 MEP Plan, Level 03
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE SYMBOLS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

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SEAL OF ARCHITECT.



ISSUE DATE 02 Nov 2017.



SEAL OF MUNICIPAL APPROVAL.

REVIEWED FOR CODE COMPLIANCE
City of Austin

OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE MEP Plans, Level 03.

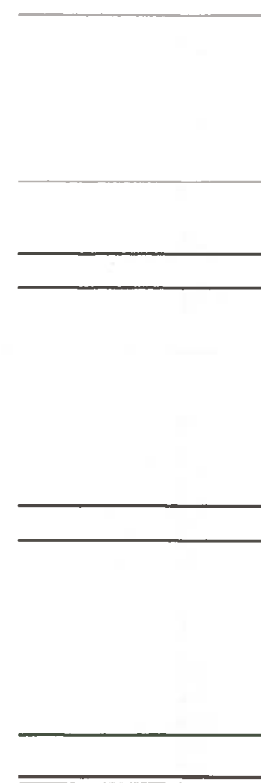
A107

ITEM 9/74

LDC TITLE 25 CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



② Elevation, Bldg 1, Rear

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|---|---|----|---|---|---|---|
| 01 | New standing-seam metal roof. | 06 | New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete</p> |  |  |
| 02 | New 30-year composition shingle roof. | 07 | New 3.5"-thick stone masonry veneer, random-ashlar bond. | | | |
| 03 | New horizontally-oriented cement-board siding. Exposure 6". | 08 | New brick masonry veneer, common bond. | | | |
| 04 | New horizontally-oriented cement-board siding. Exposure 12". | 09 | New metal coping. Exposure 6". | | | |
| 05 | New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | | | |
| 11 | New parapet at exterior porch or deck. Minimum height 36" above finish floor. | | | | | |

Previously Denied BOA case C15-2020-0020

ITEM 9/75

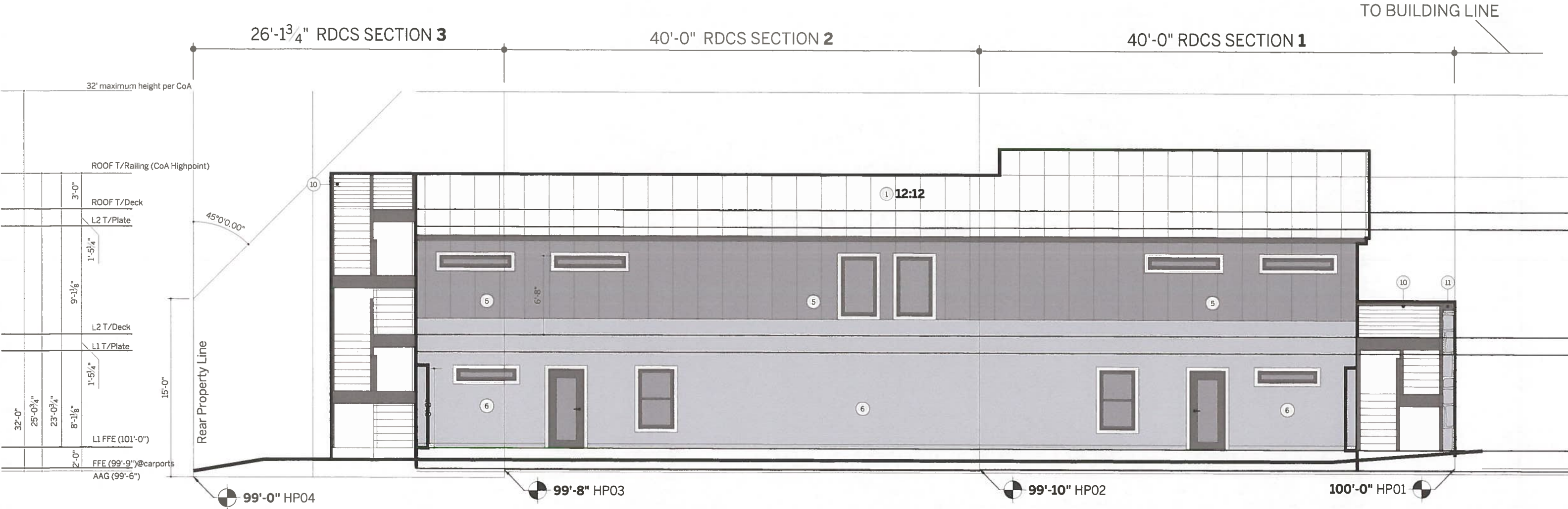
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.



1 Elevation, Bldg 1, Left
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | | | | |
|----|---|----|---|----|---|
| 01 | New standing-seam metal roof. | 06 | New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 | New parapet at exterior porch or deck. Minimum height 36" above finish floor. |
| 02 | New 30-year composition shingle roof. | 07 | New 3.5"-thick stone masonry veneer, random-ashlar bond, common bond. | | |
| 03 | New horizontally-oriented cement-board siding. Exposure 6". | 08 | New brick masonry veneer, common bond. | | |
| 04 | New horizontally-oriented cement-board siding. Exposure 12". | 09 | New metal coping. Exposure 6". | | |
| 05 | New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | | |

DISCLAIMERS.

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SEAL OF ARCHITECT.



ISSUE DATE

02 Nov 2017.



SEAL OF MUNICIPAL APPROVAL.

City of Austin
REVIEWED FOR CODE COMPLIANCE

OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE Elevations, Bldg 1.

A203

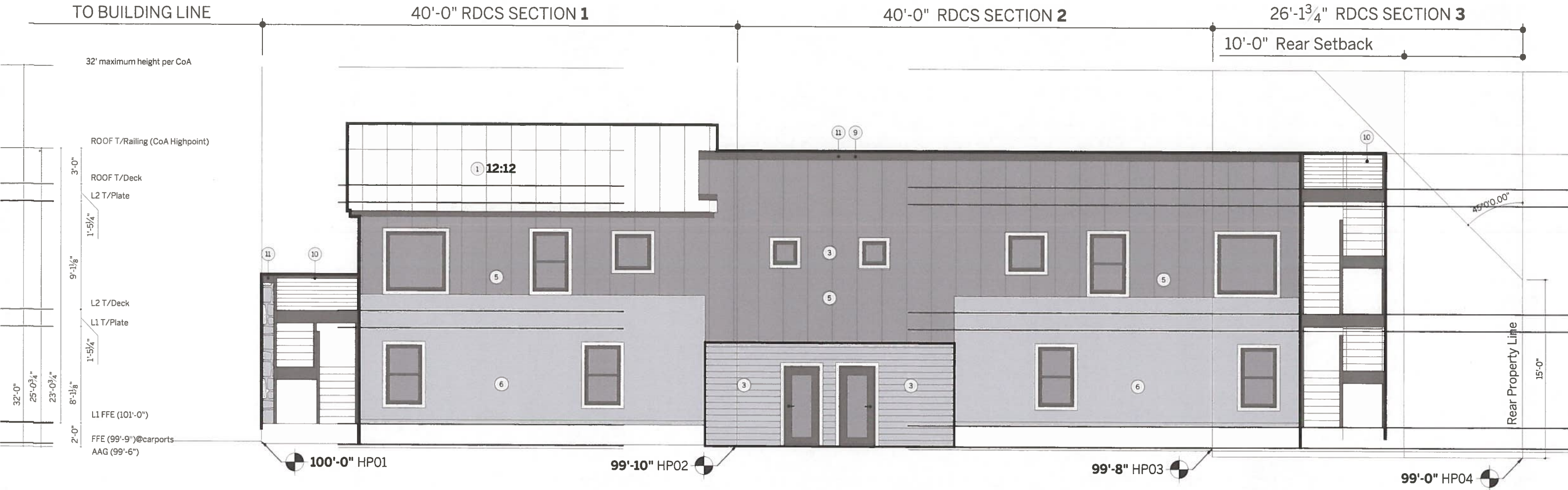
Previously Denied BOA case C15-2020-0020

ITEM 9/76

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b. (i):
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.




1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | OCHONA Development + Architecture | |
|---|---|----|---|----|---|--|---|--|--|--------------------------------|
| 01 | New standing-seam metal roof. | 06 | New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 | New parapet at exterior porch or deck. Minimum height 36" above finish floor. | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. All sheets are complementary. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G007 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  | <p>City of Austin REVIEWED FOR CODE COMPLIANCE</p> | SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702 | |
| 02 | New 30-year composition shingle roof. | 07 | New 3.5"-thick stone masonry veneer, random-ashlar bond. | | | | | | | |
| 03 | New horizontally-oriented cement-board siding. Exposure 6". | 08 | New brick masonry veneer, common bond. | | | | | | | |
| 04 | New horizontally-oriented cement-board siding. Exposure 12". | 09 | New metal coping. Exposure 6". | | | | | | | |
| 05 | New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | | | | | | | |
| | | | | | | ISSUE DATE 02 Nov 2017. | | GRAPHIC SCALE (in feet) | | ISSUE DATE 02 Nov 2017. |
| | | | | | | | | | | SHEET TYPE Elevations, Bldg 1. |
| | | | | | | | | | | A204 |

DO NOT CONSTRUCT IN A HALF CRITICAL ROOT ZONE FOR ANY PROTECTED TREE, IF PROPOSED FOUNDATION LIES WITHIN A HALF CRITICAL ROOT ZONE IN THE FIELD, CONTACT ENGINEER FOR FOUNDATION DESIGN REVISIONS

TREE PROTECTION NOTES

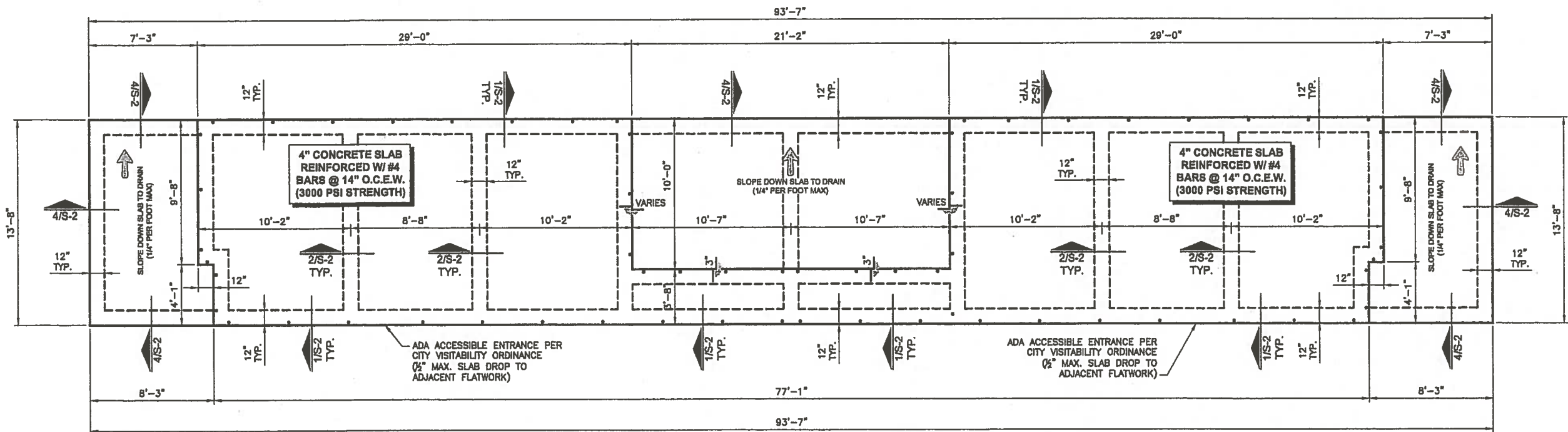
1. All trees close to structure shall be protected with fencing.
2. Tree protection fences shall be erected according to City of Austin Standards, including types of fencing and signage.
3. Tree protection fences shall be installed prior to the commencement of any site preparation work.
4. Pruning to provide clearance for structures, vehicular traffic, and construction equipment shall take place before construction begins. All pruning must be done according to City of Austin standards and as outlined in literature provided by the International Society of Arboriculture (ISA pruning techniques).
5. All tree cuts, intentional or unintentional, shall be painted immediately (within 10 minutes). Tree paint must be kept on site at all times.

GENERAL PROJECT NOTES

1. The design of this project is the property of Genesis 1 Engineering Co. Any changes without prior written permission are not permitted.
2. Any field changes or conflicts shall be reported to the design engineer immediately at (512) 899-2246.
3. All required permits by City of Austin, TX shall be secured prior to start of construction.
4. All contractors and subcontractors shall have at least five years experience in the construction industry.
5. Job site shall be cleaned daily of all excess debris and spoils.
6. The site and building shall be designed in accordance with the 2015 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.

Approved Plans Correction Notes:

1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.



FOUNDATION PLAN

FULL SIZE: 1/8" = 1'-0" (24x36)
HALF SIZE: 1/16" = 1'-0" (11x17)

LEGEND

- SLAB DROP, SEE HEIGHT
- L-60 ANCHOR BOLT

REFER TO S-2 FOR FOUNDATION NOTES

PLAN NOTES:

1. Concrete contractor shall verify all foundation dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.
2. Dimensions for interior beams are taken from edge of foundation to center of interior beam.
3. Do NOT scale off dimensions on plans.

SLAB PENETRATIONS:

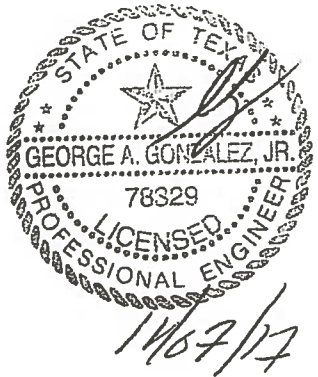
Refer to architectural drawings for all locations, sizes and typical requirements.

FINISHED FLOOR ELEVATION:

Refer to Architectural Drawings for finished floor elevations.

CONTENTS

- S-1..... FOUNDATION PLAN
- S-2..... FOUNDATION DETAILS
- S-3..... STRUCTURAL FRAMING PLAN
- S-4..... LEVEL 1 WALL BRACING PLAN
- S-5..... LEVEL 2 WALL BRACING PLAN
- S-6..... FRAMING DETAILS I
- S-7..... FRAMING DETAILS II



City of Austin
REVIEWED FOR CODE COMPLIANCE

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR TO OBTAIN THE ENTIRE SET OF DRAWINGS FOR EACH SHEET. NO PART OF ANY SHEET MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE DESIGN ENGINEER.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

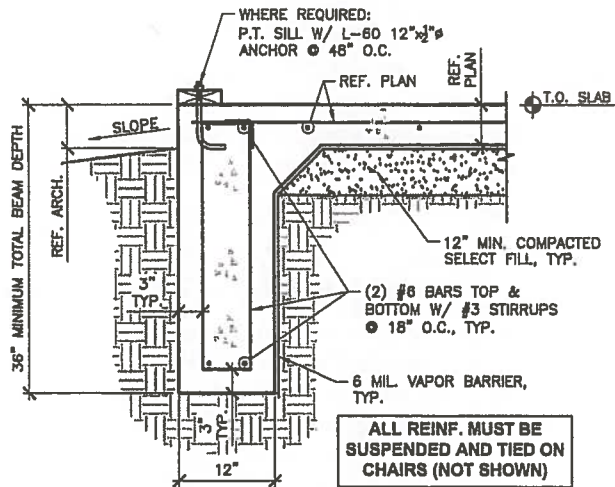
PROJECT ADDRESS: 1401 E. 3RD STREET
AUSTIN, TEXAS
CLIENT NAME: ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
6104 South First St., Ste. 105
Austin, TX 78745
Office: 512-899-2246
Fax: 512-899-2203
T.B.P.E. Registered Firm #F-2565

FOUNDATION PLAN
SINGLE-FAMILY DUPLEX

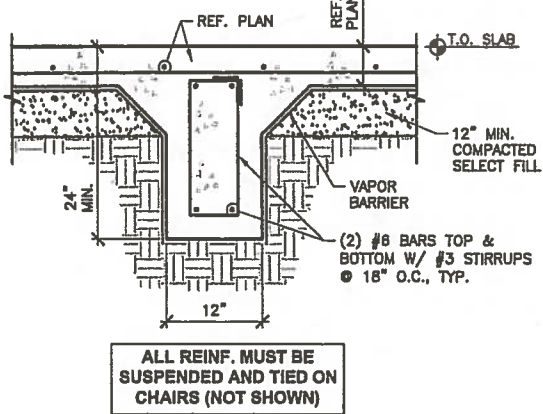
PROJECT NUMBER: AU-17-73
VERSION: 2.0
DRAWN BY: FV/GAG / APPROVED BY: GG
DATE: 1/16/17
SCALE: AS NOTED
SHEET: S-1
1 of 7

Previously Denied BOA case C15-2020-0020



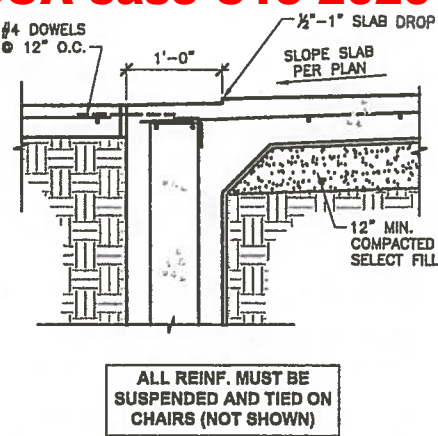
1 EXTERIOR GRADE BEAM, TYP.

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"



2 INTERIOR GRADE BEAM, TYP.

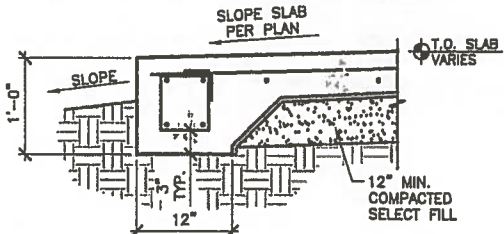
FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"



3 EXTERIOR GRADE BEAM AT CARPORT, TYP.

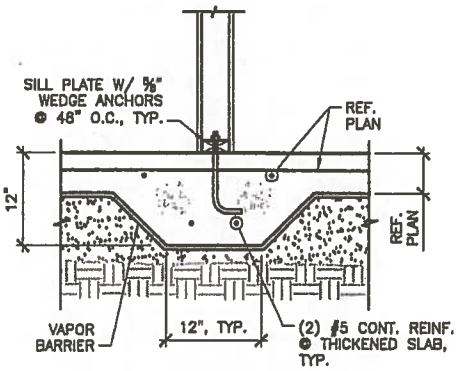
FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"

IF FLAT WORK IS ADJACENT TO FOUNDATION;
REFER TO 4/8-2 FOR CONNECTION REQUIREMENTS



4 EXTERIOR GRADE BEAM AT PORCH, TYP.

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"

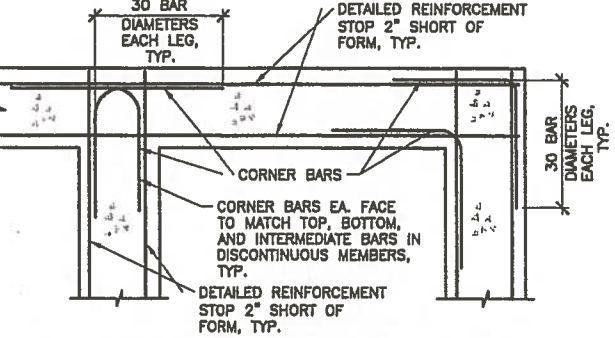


5 (OPTIONAL) THICKENED SLAB AT INTERIOR WALL, TYP.

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"

GRADE BEAM NOTES

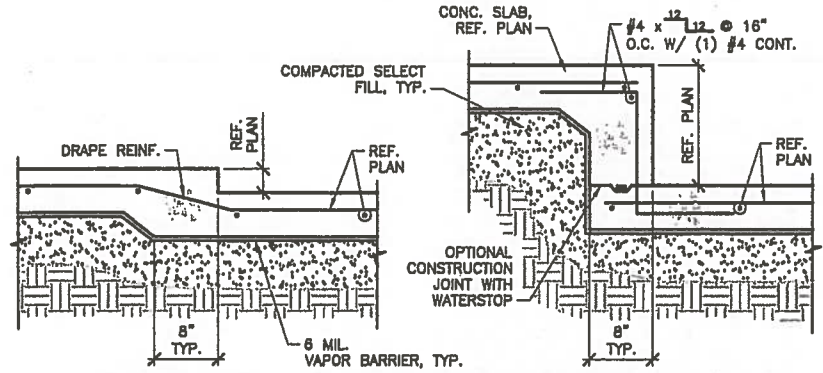
- Where 90 degree hooks are scheduled or detailed for top bars, corner bars may be omitted.
- Match size, location and number of horizontal beam and wall bars, except that where there are more than 2 top or bottom bars, only the inside and outside bars must be matched.



6 TYPICAL CORNER BAR REINFORCEMENT

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"

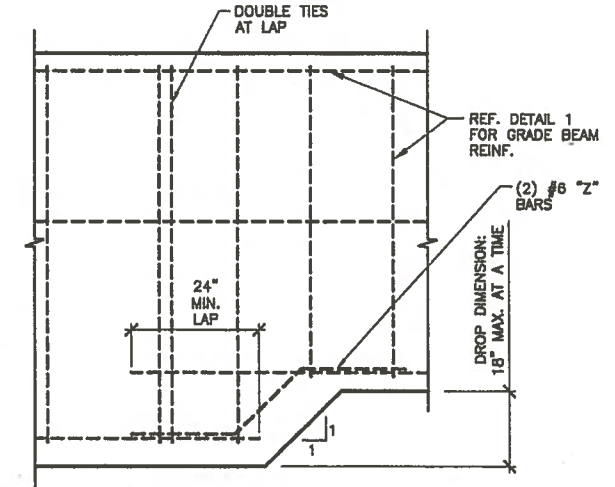
THESE DETAILS APPLY TO
SLAB DROPS THAT OCCUR
OVER GRADE BEAMS



A- SLAB DROP < 3" B- SLAB DROP > 3" (OPTIONAL)

7 SLAB DROP SECTIONS

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"



8 (OPTIONAL) TYPICAL DETAIL - CHANGE IN GRADE BEAM DEPTH

FULL SIZE: 1" = 1'-0"
HALF SIZE: 1/2" = 1'-0"

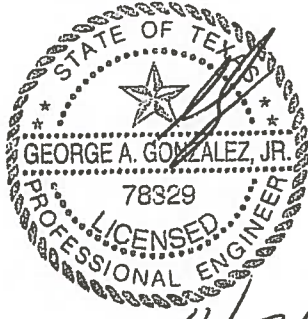
FOUNDATION NOTES:

- Typical section marks and details shown are "typical" and shall apply to similar situations.
- All beams are to be a minimum of 12" wide by 36" deep (exterior) and 12" wide by 36" deep (interior), slab to be 4.0" thick, unless noted otherwise (U.N.O.) on foundation layout.
- All exterior beams must extend a minimum of 12" into undisturbed soil or to rock. If solid rock is encountered beneath the beam, the beam depth may be reduced. The maximum reduction in beam depth may not exceed 50% of the original depth. Specific permission must be obtained from the engineer prior to beam construction.
- No accelerators are to be used in the event of cold weather.
- All concrete shall be consolidated by use of a mechanical vibrator.
- Reinforcing bars shall be designed, fabricated, and placed in accordance with the latest edition of the ACI Code.
- Reinforcing bars shall be ASTM A815 Grade 80, except #3 and #4 bar ties shall be grade 40.
- Continuous reinforcing bars shall have a minimum lap of 30 diameters or 24", whichever is greater. Provide corner bars for all continuous reinforcing bars at all corners with a minimum lap of 30 diameters or 24" whichever is greater.
- Deposit concrete as nearly as possible to its final location to avoid aggregation due to rehandling and flowing. Do not subject concrete to any procedure which might cause segregation. Do not use mechanical vibrators to relocate concrete.
- All concrete shall be normal weight and shall have a minimum compressive strength of 3,000 p.s.i. at 28-days. Concrete design mix shall be as per ACI 318.

- All reinforcing bars shall conform to ASTM A-815.
- Water shall not be added to the concrete mix at the jobsite. Approved admixtures may be added to improve workability.
- Embedded conduits, sleeves, and pipes meet the following requirements:
 - Conduits and pipes embedded within a slab, wall, or beam (other than those passing through) shall not be larger in outside dimension than 1/3 the overall thickness of the slab, wall, or beam which they embed.
 - Conduits, pipes, and sleeves shall not be spaced closer than three diameters or widths on-center.
 - Embedded conduits, pipes, and sleeves shall be of approved plastic or galvanized steel not thinner than standard schedule 40 steel pipe.
- All reinforcement shall be clean and free of all concrete, dirt, grease, and other foreign material prior to concrete placement.
- Heat shall not be used in the fabrication or installation of reinforcement, except in cutting straight bars to length.
- In slabs, provide (2) #4 x 4'-0" bars at each re-entrant corner, placed on the diagonal with 1-inch clearance from corner and top of slab. This includes any rectilinear holes made due to standard construction practices.
- Reinforcing bars for footings and slabs-on-grade shall be supported on precast concrete blocks at 3'-0" O.C. or bar chairs with sheet metal or plastic bases at 4'-0" O.C.
- Reinforcing steel clear cover shall be as follows, unless otherwise noted.

| | |
|---------------------------|-------------------------------|
| Slabs on grade | 1 1/2" top, 3" bottom & sides |
| Footings and Grade Beams: | 3" top, bottom and sides |
- The welding of reinforcing steel will not be permitted.

Approved Plans Correction Notes:
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11/07/17

City of Austin
REVIEWED FOR CODE COMPLIANCE

1. THIS SET OF DRAWINGS IS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINE.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR CERTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS:
1401 E. 3RD STREET
AUSTIN, TEXAS
CLIENT NAME:
ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
6004 South First St., Ste. 105
Austin, TX 78745
Office: 512-899-2246
Fax: 512-899-2203
T.B.P.E. Registered Firm #F-2565
G1E

TYPICAL
FOUNDATION DETAILS
SINGLE-FAMILY DUPLEX

PROJECT NUMBER:
AU-17-73
VERSION:
VERSION 2.0
DRAWN BY:
FVIGAG /
APPROVED BY:
GG
DATE:
SCALE:
AS NOTED
SHEET:
S-2
2 of 7

Previously Denied BOA case C15-2020-0020

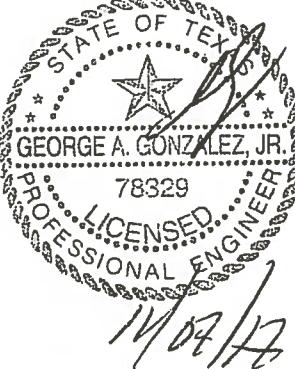
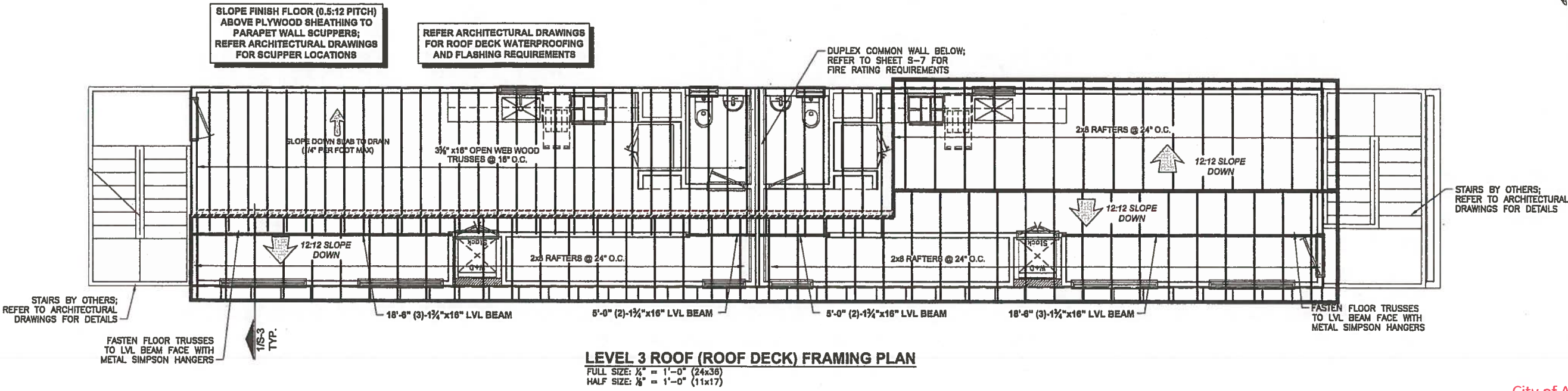
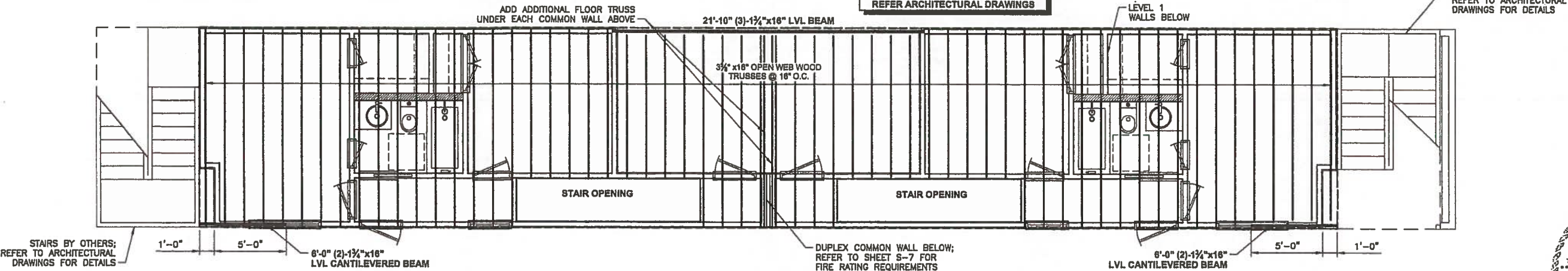
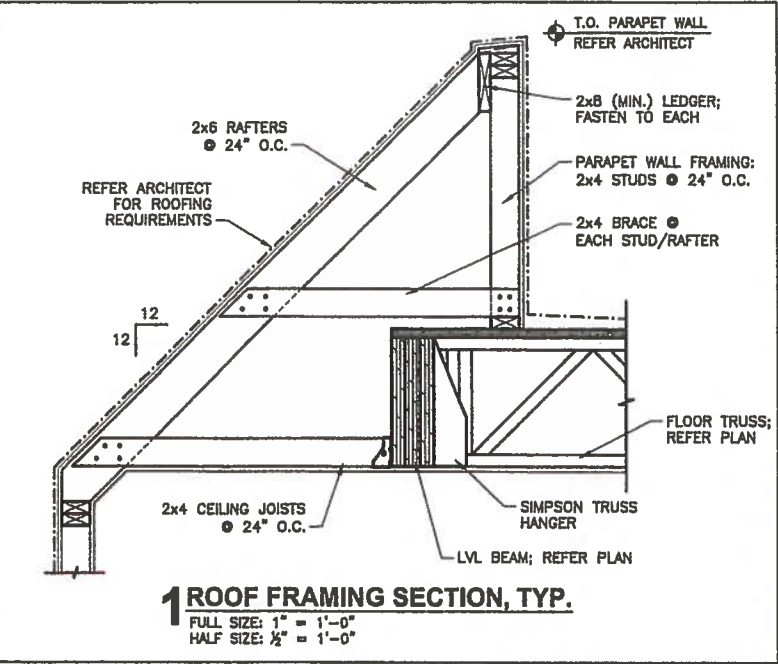
Approved Plans Correction Notes:
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2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

- NOTES:
- 1. Framing contractor shall verify all dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.
 - 2. Do NOT scale off dimensions on plans.
 - 3. Framing members on this plan are shown for conjectural purposes based on the typical spacing. Do NOT base quantity take offs base on the number of members shown.
 - 4. Construct ceiling framing spanning the short direction where possible. Reference "Ceiling Joist Maximum Span Table" on sheet S-6 for appropriate joist sizes.
 - 5. Refer to "Header Schedule" on sheet S-6 for typical header size requirements

LEGEND

36" TALL PARAPET WALL ABOVE ROOF DECK FINISHED FLOOR

REFER TO S-6 FOR FRAMING NOTES



City of Austin
REVIEWED FOR CODE COMPLIANCE

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2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS: 1401 E. 3RD STREET AUSTIN, TEXAS
PROJECT NAME: STRUCTURAL FRAMING PLAN
ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial & Residential
6104 South First St., Ste. 105
Austin, TX 78745
Office: 512-899-2246
Fax: 512-899-2203
T.B.P.E. Registered Firm #F-2565

PROJECT NUMBER: AU-17-73
VERSION: 2.0
DRAWN BY: FV/GAG
APPROVED BY: GG
DATE: 11/20/17
SCALE: AS NOTED
SHEET: S-3
3 of 7

TABLE 5 - TWB (T-TYPE) WALL BRACING

| MODEL NO. | BRACE LENGTH (L) (FEET-INCHES) | WALL HEIGHT (FEET) | REQUIRED INSTALLATION ANGLE OF THE TWB (T-TYPE) BRACE FROM THE HORIZONTAL (DEGREE) | FASTENERS (QUANTITY-TYPE) | |
|-----------|--------------------------------|--------------------|--|---------------------------|---------------|
| | | | | TOP AND BOTTOM PLATES | EACH AND STUD |
| TWB10 | 9'-9" | 8 | 55° | 2-16d | 1-8d |
| TWB12 | 11'-4" | 8 | 45° | 2-16d | 1-8d |
| TWB14 | 14'-2" | 10 | 45° | 2-16d | 1-8d |

FOR SI: 1 INCH = 25.4MM, 1LBS = 4.45N

¹THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATIVE TO BRACED WALL CONSTRUCTION METHODS DESCRIBED IN THE CODE.

²THE ALLOWABLE IN-PLANE RACKING SHEAR LOAD OF WALL BRACED WITH THE TWB12 OR TWB14 STRAP INSTALLED IN ACCORDANCE WITH THIS TABLE IS 190LBS. THE TWB STRAPS RESIST TENSION AND COMPRESSION LOADS, AND MUST NOT BE COMBINED WITH OTHER SHEAR RESISTING ELEMENTS OR COMPONENTS. THE ALLOWABLE RACKING SHEAR LOAD MUST NOT BE INCREASED FOR SHORT TERM LOADING. SUMMING SHEAR CAPACITIES OF THE TWB WALL BRACE WITH DISSIMILAR MATERIALS APPLIED TO EITHER SIDE OF THE SAME WALL IS NOT ALLOWED.

³THE WALL STUDS MUST BE SPACED 16 INCHES ON CENTER, MAXIMUM.

⁴THE TWB WALL BRACING STRAP MUST BE INSTALLED AT THE INSTALLATION ANGLE SPECIFIED IN THE TABLE

(OPTIONAL WHERE FEASIBLE)

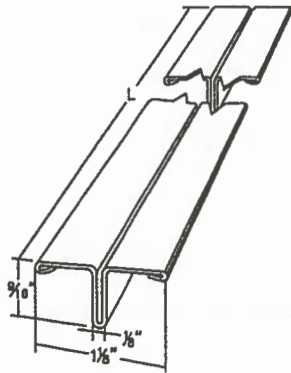


FIGURE 5A-TWB (T-TYPE) BRACE DIMENSIONS

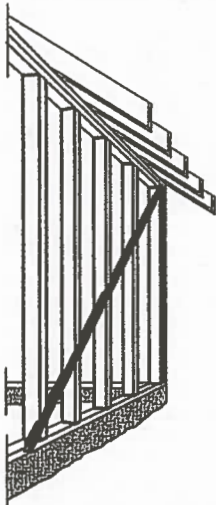


FIGURE 5B-TYPICAL TWB (T-TYPE) EXTERIOR WALL BRACE INSTALLATION (MAXIMUM 3/8"-INCH DEEP SAW KERF IN STUDS)

OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)

| WALL BRACING LEGEND | |
|-----------------------------------|---|
| DESIGNED BY GENESIS 1 ENGINEERING | |
| EXT-1.1 | Continuous wood structural panel sheathing: Solid sheath entire building in 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3" on center at supported edges and 6" on center at the intermediate supports. Horizontal block all wood panels. |
| INT-1.1 | Gypsum board: Minimum thickness: 1/2" Connection criteria: 13 gage, 1-3/8" long, 19/64 head; 0.098" diameter, 1-1/4" long; annular-ringed; 5d cooler nail, 0.098" diameter, 1-5/8" long, 15/64" head; or gypsum board nail, 0.098" diameter, 1-5/8" long, 9/32" head. Spacing: Nails, @ 8" o.c.; Screws, @ 16" o.c. |
| INT-1.2 | Gypsum board: Minimum thickness: 5/8" w/ ceiling roof support @ 16" o.c. Connection criteria: 13 gage, 1-5/8" long, 19/64 head; 0.098" diameter, 1-3/8" long; annular-ringed; 6d cooler nail, 0.092" diameter, 1-7/8" long, 1/4" head; or gypsum board nail, 0.0915" diameter, 1-7/8" long, 19/64" head. Spacing: Nails, @ 7" o.c.; Screws, @ 12" o.c. |

Approved Plans Correction Notes:

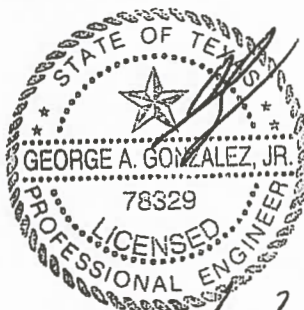
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WALL BRACING NOTES

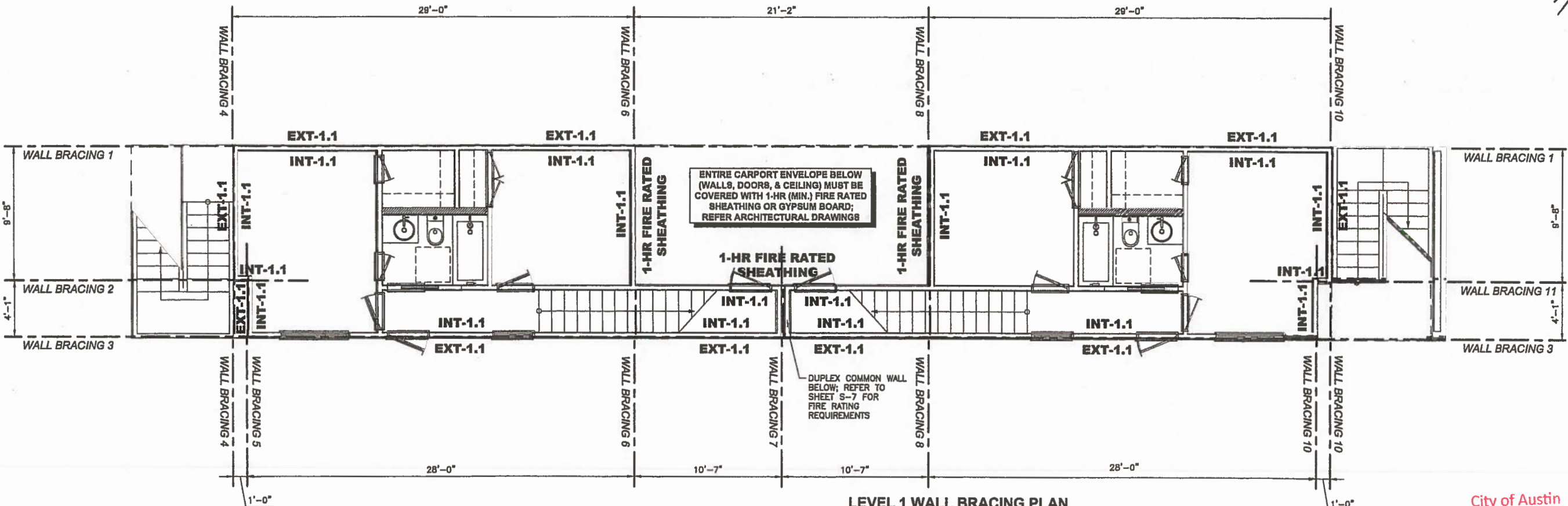
1. The design of the wall bracing for this new project is based on the 2015 edition of the International Residential Code (IRC 2015)
2. Method of wall bracing shall be of the Continuous Structural Sheathing in accordance Chapter 8, Section R602.10.4 and Methods found in Table R602.10.4
3. If construction method deviates from the prescribed method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method

DIMENSION NOTE:

1. Wall bracing dimension presented only for City of Austin plan review purposes.
2. For framing dimensions refer to Architectural floor plans



11/09/17



LEVEL 1 WALL BRACING PLAN

FULL SIZE: 1/4" = 1'-0" (24x36)
HALF SIZE: 1/8" = 1'-0" (11x17)

City of Austin
REVIEWED FOR CODE COMPLIANCE

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PROJECT ADDRESS
1401 E. 3RD STREET
AUSTIN, TEXAS

ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
6104 South First St., Ste. 105
Austin, TX 78745
Office: 512-899-2246
Fax: 512-899-2208
T.E.P.E. Registered Firm #F-2565

G1E

LEVEL 1
WALL BRACING PLAN

SINGLE-FAMILY DUPLEX

PROJECT NUMBER:
AU-17-73

VERSION:
VERSION 2.0

DESIGNED BY:
FV/GAG

APPROVED BY:
GG

DATE:

SCALE:
AS NOTED

SHEET:
S-4

4 of 7

Previously Denied BOA case C15-2020-0020

TABLE 5 - TWB (T-TYPE) WALL BRACING

| MODEL NO. | BRACE LENGTH (L) (FEET-INCHES) | WALL HEIGHT (FEET) | REQUIRED INSTALLATION ANGLE OF THE TWB (T-TYPE) BRACE FROM THE HORIZONTAL (DEGREE) | FASTENERS (QUANTITY-TYPE) | |
|-----------|--------------------------------|--------------------|--|---------------------------|---------------|
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| TWB12 | 11'-4" | 8 | 45° | 2-16d | 1-8d |
| TWB14 | 14'-2" | 10 | 45° | 2-16d | 1-8d |

FOR SI: 1 INCH = 25.4MM, 1LBS = 4.45N

- ¹THE TWB WALL BRACING STRAP IS NOT RECOGNIZED TO REPLACE OR BE USED AS AN ALTERNATIVE TO BRACED WALL CONSTRUCTION METHODS DESCRIBED IN THE CODE.
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- ³THE WALL STUDS MUST BE SPACED 16 INCHES ON CENTER, MAXIMUM.
- ⁴THE TWB WALL BRACING STRAP MUST BE INSTALLED AT THE INSTALLATION ANGLE SPECIFIED IN THE TABLE

| WALL BRACING LEGEND | |
|-----------------------------------|--|
| DESIGNED BY GENESIS 1 ENGINEERING | |
| EXT-1.1 | Continuous wood structural panel sheathing: Solid sheath entire building in 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3" on center at supported edges and 6" on center at the intermediate supports. Horizontal block all wood panels. |
| INT-1.1 | Gypsum board: Minimum thickness: 1/2" Connection criteria: 13 gage, 1-3/8" long, 19/64 head; 0.098" diameter, 1-1/4" long; annular-ringed; 5d cooler nail, 0.086" diameter, 1-5/8" long, 15/64" head; or gypsum board nail, 0.086" diameter, 1-5/8" long, 9/32" head. Spacing: Nails, @ 8" o.c.; Screws, @ 16" o.c. |
| INT-1.2 | Gypsum board: Minimum thickness: 5/8" w/ ceiling roof support @ 16" o.c. Connection criteria: 13 gage, 1-5/8" long, 19/64 head; 0.086" diameter, 1-3/8" long; annular-ringed; 6d cooler nail, 0.082" diameter, 1-7/8" long, 1/4" head; or gypsum board nail, 0.0915" diameter, 1-7/8" long, 19/64" head. Spacing: Nails, @ 7" o.c.; Screws, @ 12" o.c. |

Approved Plans Correction Notes:

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WALL BRACING NOTES

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2. Method of wall bracing shall be of the Continuous Structural Sheathing in accordance Chapter 6, Section R602.10.4 and Methods found in Table R602.10.4
3. If construction method deviates from the prescribed method in these drawings, contractor shall notify the design Engineer and designated City of Austin Inspector for approval of alternative method

DIMENSION NOTE:

1. Wall bracing dimension presented only for City of Austin plan review purposes.
2. For framing dimensions refer to Architectural floor plans

(OPTIONAL WHERE FEASIBLE)

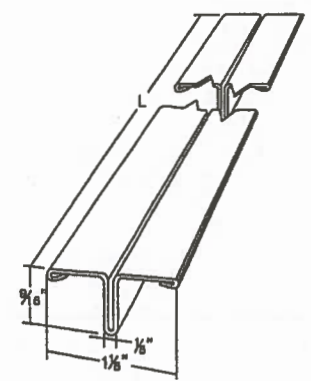


FIGURE 5A-TWB (T-TYPE) BRACE DIMENSIONS

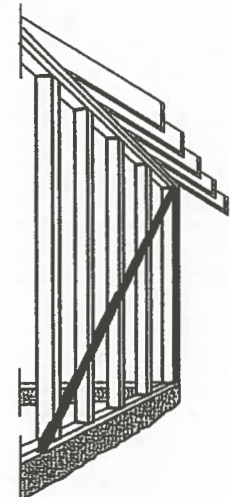
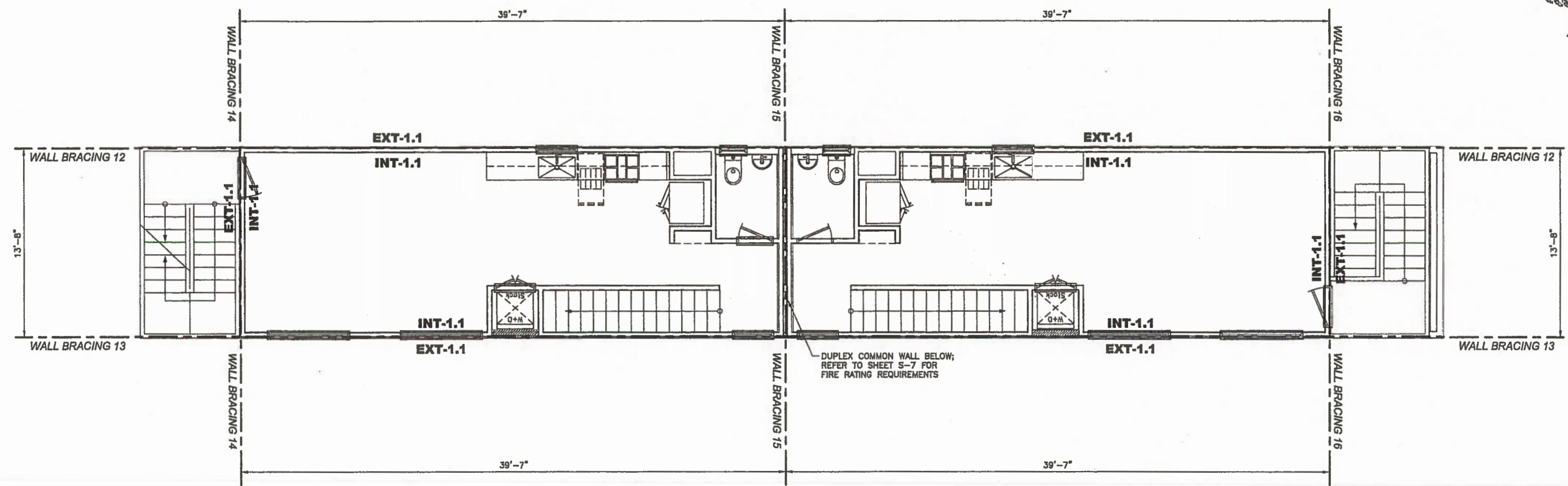


FIGURE 5B-TYPICAL TWB (T-TYPE) EXTERIOR WALL BRACE INSTALLATION (MAXIMUM 1/8"-INCH DEEP SAW KERF IN STUDS)

OPTIONAL: INSTALL TWB STRAPS AT ALL CORNERS WHERE FEASIBLE (BOTH DIRECTIONS)



LEVEL 2 WALL BRACING PLAN
FULL SIZE: 1/4" = 1'-0" (24x36)
HALF SIZE: 1/8" = 1'-0" (11x17)



City of Austin
REVIEWED FOR CODE COMPLIANCE

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINE.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS: 1401 E. 3RD STREET AUSTIN, TEXAS

ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
604 South First St., Ste. 105
Austin, TX 78705
Office: 512-899-2246
Fax: 512-899-2203
T.B.P.E. Registered Firm #F-2565

LEVEL 2 WALL BRACING PLAN

SINGLE-FAMILY DUPLEX

PROJECT NUMBER: AU-17-73

VERSION: VERSION 2.0

DRAWN BY: FVGAG / APPROVED BY: GG

DATE:

SCALE: AS NOTED

SHEET: S-5

5 of 7

TYPICAL WALL SECTIONS - WOOD FRAMING

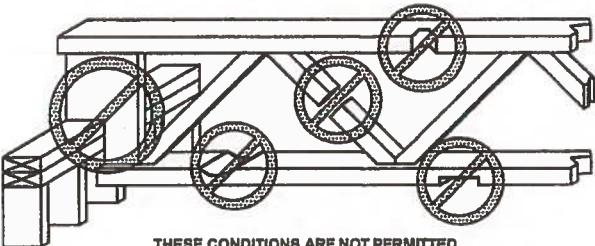
| WALL | STUDS | SHEATHING | | INSULATION |
|---------------|----------------|------------|----------|------------|
| | | SIDE 1 | SIDE 2 | |
| EXTERIOR 4" | 2x4 @ 16" O.C. | 3/8" OSB | 1/2" GWB | R-12 |
| EXTERIOR 6" | 2x6 @ 16" O.C. | 3/8" OSB | 1/2" GWB | R-20 |
| INTERIOR 4" | 2x4 @ 16" O.C. | 1/2" GWB | 1/2" GWB | SOUND |
| INTERIOR 6" | 2x6 @ 16" O.C. | 1/2" GWB | 1/2" GWB | SOUND |
| EXT. SHEAR 4" | 2x4 @ 16" O.C. | STR 1 1/2" | 1/2" GWB | R-12 |
| EXT. SHEAR 6" | 2x6 @ 16" O.C. | STR 1 1/2" | 1/2" GWB | R-20 |
| INT. SHEAR 4" | 2x4 @ 16" O.C. | STR 1 1/2" | 1/2" GWB | SOUND |
| INT. SHEAR 6" | 2x6 @ 16" O.C. | STR 1 1/2" | 1/2" GWB | SOUND |

OSB = APA RATED ORIENTED STRAND BOARD / GWB = GYPSUM WALL BOARD /
STR = APA RATED STRUCTURAL SHEATHING

SHEATHING FASTENING SCHEDULE- WOOD FRAMING

| NAME | PANEL | ORIENTATION TO FRAMING | MAX. FASTENER SPACING | | |
|----------------|--------------|------------------------|-----------------------|-------|---------|
| | | | SIZE | EDGES | INTERM. |
| SHEAR WALL | 3/8" OSB | ⊥ OR | 8d | 4" | 12" |
| ROOF SHEATHING | 3/4" PLYWOOD | ⊥ | 10d | 4" | 8" |
| INTERIOR WALL | 1/2" GWB | ⊥ | 6d | 12" | 12" |

H-CLIPS OR SOLID BLOCKING REQ'D AT ALL WOOD PANEL EDGES



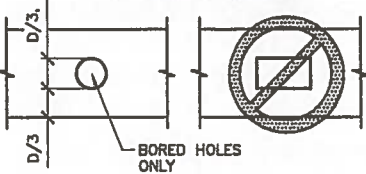
THESE CONDITIONS ARE NOT PERMITTED
MWT TRUSS MODIFICATION LIMITATIONS
NOT TO SCALE

HEADER SCHEDULE
(FOR SAWN LUMBER HEADERS NOT OTHERWISE SPECIFIED)

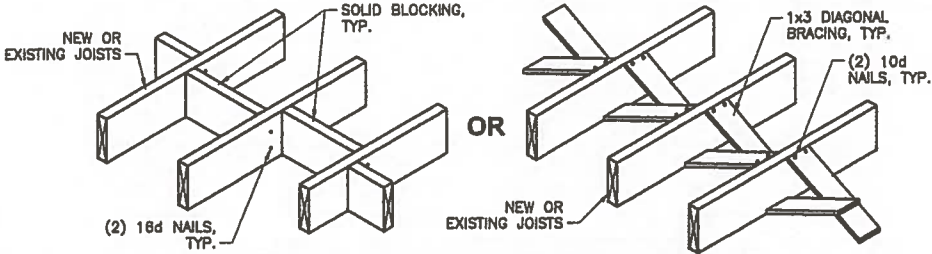
| HEADER SIZE | MAX. ALLOWABLE SPAN, FT. | |
|-------------|--------------------------|----------------------|
| | NON-STRUCTURAL SHEATHING | STRUCTURAL SHEATHING |
| DBL 2x4 | 2'-6" | 3'-6" |
| DBL 2x6 | 3'-6" | 4'-6" |
| DBL 2x8 | 4'-6" | 5'-6" |
| DBL 2x10 | 5'-6" | 6'-6" |
| DBL 2x12 | 6'-6" | 7'-6" |

ALL SAWN LUMBER HEADERS SHALL BE NO. 2 SOUTHERN PINE, UNLESS NOTED OTHERWISE

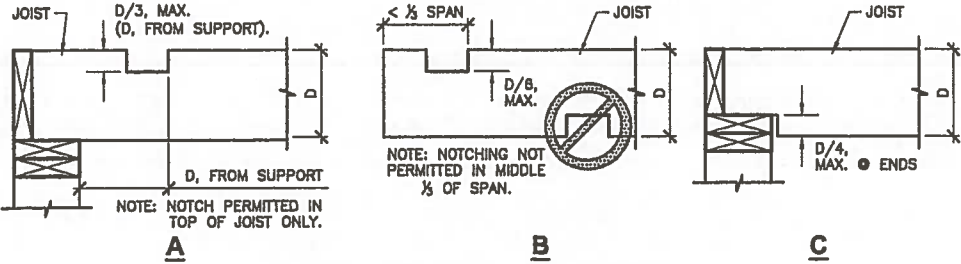
BORED HOLES ALLOWED ONLY
ON INTERIOR 1/2 OF BEAM.
SPACE A MINIMUM OF 2x THE
DIA. OF THE LARGEST HOLE



JOIST PENETRATION LIMITATIONS
NOT TO SCALE



TYPICAL LUMBER BLOCKING OR BRIDGING
NOT TO SCALE



JOIST NOTCHING LIMITATIONS
NOT TO SCALE

Approved Plans Correction Notes:

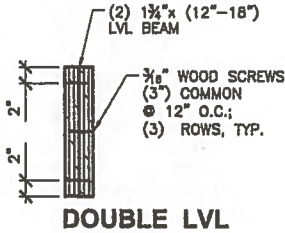
- Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
- Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.

JOIST HANGER SCHEDULE
(NOT OTHERWISE SPECIFIED)

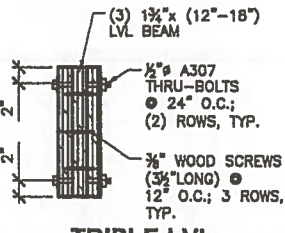
| MEMBER | HANGER # | FACE FASTENER | JOIST FASTENER |
|----------|----------|---------------|----------------|
| 2x4 | HU24 | (4) 10d | (2) 10dx1.5 |
| 2x6 | HU26 | (6) 10d | (4) 10dx1.5 |
| 2x8 | HU28 | (6) 10d | (4) 10dx1.5 |
| 2x10 | HU210 | (10) 10d | (6) 10dx1.5 |
| 2x12 | HU212 | (10) 10d | (6) 10dx1.5 |
| 2x14 | HU214 | (12) 10d | (8) 10dx1.5 |
| DBL 2x4 | HU24-2 | (4) 10d | (2) 10d |
| DBL 2x6 | HU26-2 | (8) 10d | (4) 10d |
| DBL 2x8 | HU28-2 | (8) 10d | (4) 10d |
| DBL 2x10 | HU210-2 | (14) 10d | (6) 10d |
| DBL 2x12 | HU212-2 | (14) 10d | (6) 10d |
| DBL 2x14 | HU214-2 | (14) 18d | (8) 18d |

NOTES:

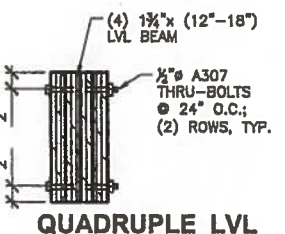
- Based on Simpson Strong-Tie.
- Hangers shown are for nominal dimensioned lumber. (1.5" thick). For rough sawn lumber use Simpson "IUS" or "IUT" series hangers, or approved substitute.
- Use all available fastener holes.
- Use only manufacturers approved fasteners.
- Hangers and fasteners in exterior conditions must be H.D. Galv.



DOUBLE LVL



TRIPLE LVL



QUADRUPLE LVL

MULTIPLE LVL FASTENING DETAIL
NOT TO SCALE

CEILING JOIST MAXIMUM SPAN TABLE
(FOR SOUTHERN PINE #2 LUMBER NOT OTHERWISE SPECIFIED)

| MEMBER | SPACING (IN.) | MAX. ALLOWABLE SPAN (FT.) |
|--------|---------------|---------------------------|
| 2x4 | @ 16" O.C. | 10'-9" |
| | @ 24" O.C. | 9'-3" |
| 2x6 | @ 16" O.C. | 16'-11" |
| | @ 24" O.C. | 13'-11" |
| 2x8 | @ 16" O.C. | 21'-7" |
| | @ 24" O.C. | 17'-7" |
| 2x10 | @ 16" O.C. | 25'-7" |
| | @ 24" O.C. | 20'-11" |

Based on International Residential Code Table R802.4(1)
(LL=10 psf; DL=5 psf L/A=240)

FOR ANY OTHER LUMBER SPECIES REFERENCE
THE 2015 IRC CODE OR CONSULT WITH DESIGN ENGINEER

MANUFACTURED WOOD TRUSSES

- Manufactured wood trusses shall be metal plate connected wood trusses designed and fabricated in accordance with the National Design Standard For Metal Plate Connected Wood Truss Construction (ANSI/TPI 1-1995).
- Trusses shall be designed by a Professional Engineer licensed in Texas (truss designer).
- Lumber shall be kiln-dried and shall have a moisture content at time of manufacture between 7% and 15% by weight.
- Connector plates shall be manufactured by a Wood Truss Council of America member plate supplier. Connector plates shall be 0.036-inch thickness minimum and shall conform to ASTM A853/A853m steel, grade 33 minimum. All plates shall be G80 galvanized in accordance with ASTM A824/A824m.
- Truss erection shall be in accordance with Commentary And Recommendations For Handling, Installing And Bracing Metal Plate Connected Wood Trusses (TPI HIB-01).
- All trusses are bottom chord bearing U.N.O.
- Trusses with multiple point loads shall be designed for unbalanced loading.
- Field verify span dimensions.
- Truss configurations shown are schematic. Truss designer shall determine truss configuration.
- Center opening of trusses are to remain clear of diagonal members to allow clearance for HVAC ductwork.
- Cutting or altering of trusses is not permitted.
- Coordinate with mechanical for duct chase sizes & locations.
- Deflection criteria:

| | |
|------------------------|-----------------------|
| Floor Trusses | |
| Live-load deflection: | span/800 |
| Total-load deflection: | span/480 or 1/4" max. |
| Roof Trusses | |
| Live-load deflection: | span/480 |
| Total-load deflection: | span/380 |

Wood Framing

Unless noted otherwise, the following materials are typical:

Framing lumber: #2 southern pine, kiln dried 15% MC

Studs: #2 spf, kiln dried 15% MC

Plywood: APA-rated exterior exposure, thickness as noted.

Sheathing: APA-rated panels, thickness or span-rating as noted.

Rimboard: APA EWS 1" rim board.

LVL: 2950 FB 2.0E, APA certified

Bolts: ASTM A307, U.N.O., drill holes 1/16" larger than bolt dia., use ASTM F844 standard washers at both ends (outside diameter of the washer shall be at least 2.5 times the bolt diameter).

Connectors: Simpson Strong-Tie or approved substitute

Glue: PL-400 construction adhesive, exterior exposure, or approved substitute

Pressure-treated: ACQ treated to per AWPA treatment standards, designated as (P.T.) on the drawings, kiln-dried after treatment (KDAT) where noted. Use Simpson Zmax (G185) connectors or approved substitute.

2. All framing shall be done in accordance with nationally-recognized framing standards, as reference in International Residential Code 2015

3. Headers shall be as shown on the drawings. If not shown on drawings, headers shall be as prescribed in Table R602.7.1 of the International Residential Code. Contact Engineer for headers not shown on the drawings and not specified in Table R602.7.1

4. All stud walls shall be framed with a single plate at the bottom and a double plate at the top. Splices in top-plates shall be staggered by more than 48-inches and nailed with (8) 16d common nails on both sides of the splice.

5. Plates in contact with concrete or masonry shall be pressure-treated.

6. Exterior sill plates shall be bolted to the foundation with 1/2-inch anchor bolts at 72-inches (48-inches if two or more stories) on center with minimum embedment of 7-inches. 3" square, 3 gage bearing plate washers shall be provided and installed at every sill anchor.

7. All wood stud walls shall be full height between floors without intermediate plate line, unless noted otherwise.

8. Provide double studs at all wall corners and on each side of all openings.

9. Wall studs shall be tripled at beam supports.

10. Roof sheathing shall be exterior grade, APA rated plywood. Sheathing shall be nailed with 8d common nails at 8-inches on center at panel edges and 12-inches on center at intermediate supports. Sheathing shall be laid with the face grain perpendicular to the rafters, continuous over three or more supports, with joints staggered. H-clips are required at all unsupported edges.

11. Shear wall (braced walls) and exterior wall sheathing shall be exterior grade, APA rated plywood, nailed with 8d common nails at 8-inches on center at panel edges and 12-inches on center at intermediate supports. Edges shall be fully blocked with 2x solid wood blocking.

12. Hold downs shall be provided at both ends of every shear wall (braced wall). Hold downs shall be through-bolted through double 2x studs (hold downs with screws or nails are not acceptable) and anchored into the concrete foundation. Acceptable hold down is Simpson Strong-Tie HD3B. -OR- Hold downs shall be located and installed as shown on the drawings. Hold downs shall be hot-dipped galvanized. / stainless steel

13. Solid wood 2x blocking shall be provided between joists over supports and at ends of cantilevered joists.

14. Joist bridging shall be provided in rows not exceeding 8'-0" on center where joist depth exceeds 8" or where one side of the joist is not supported continuously by plywood or wood sheathing.

15. Provide double joists under all interior partitions oriented parallel to joists.

16. All framing members framing into the side of a header shall be attached using metal joist hangers sized to support the full design loads and installed in accordance with the joist hanger manufacturer's recommendations.

17. Special pre-final framing inspection shall be conducted prior to installation of insulation

18. Contractor shall contact the Design Engineer for clarifications to discrepancies found on the field.

19. All exterior and interior walls shall have 2 x 4 wood studs at 16" o.c. unless noted otherwise.

20. All wood beams and other wood structural members shall be supplied by a qualified manufacturer.

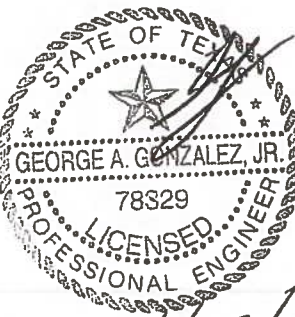
21. Framing contractors to install temporary wind bracing while main structure frame is being constructed.

22. Contractor to use 2 x 6 strong backs for roof rafter purlins, set a top load bearing walls beneath.

23. Contractor to install 2 x 6 wall blocking at accessible bathroom walls for accessible grab bars.

24. Contractor to install 2 x 6 wall blocking @ upper kitchen cabinet areas.

25. Refer to the architectural drawings for other required wood framing.



City of Austin

REVIEWED FOR CODE COMPLIANCE

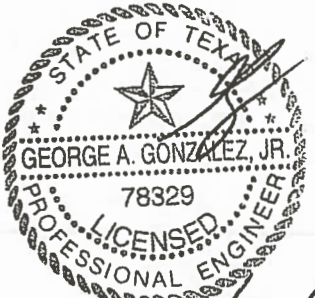
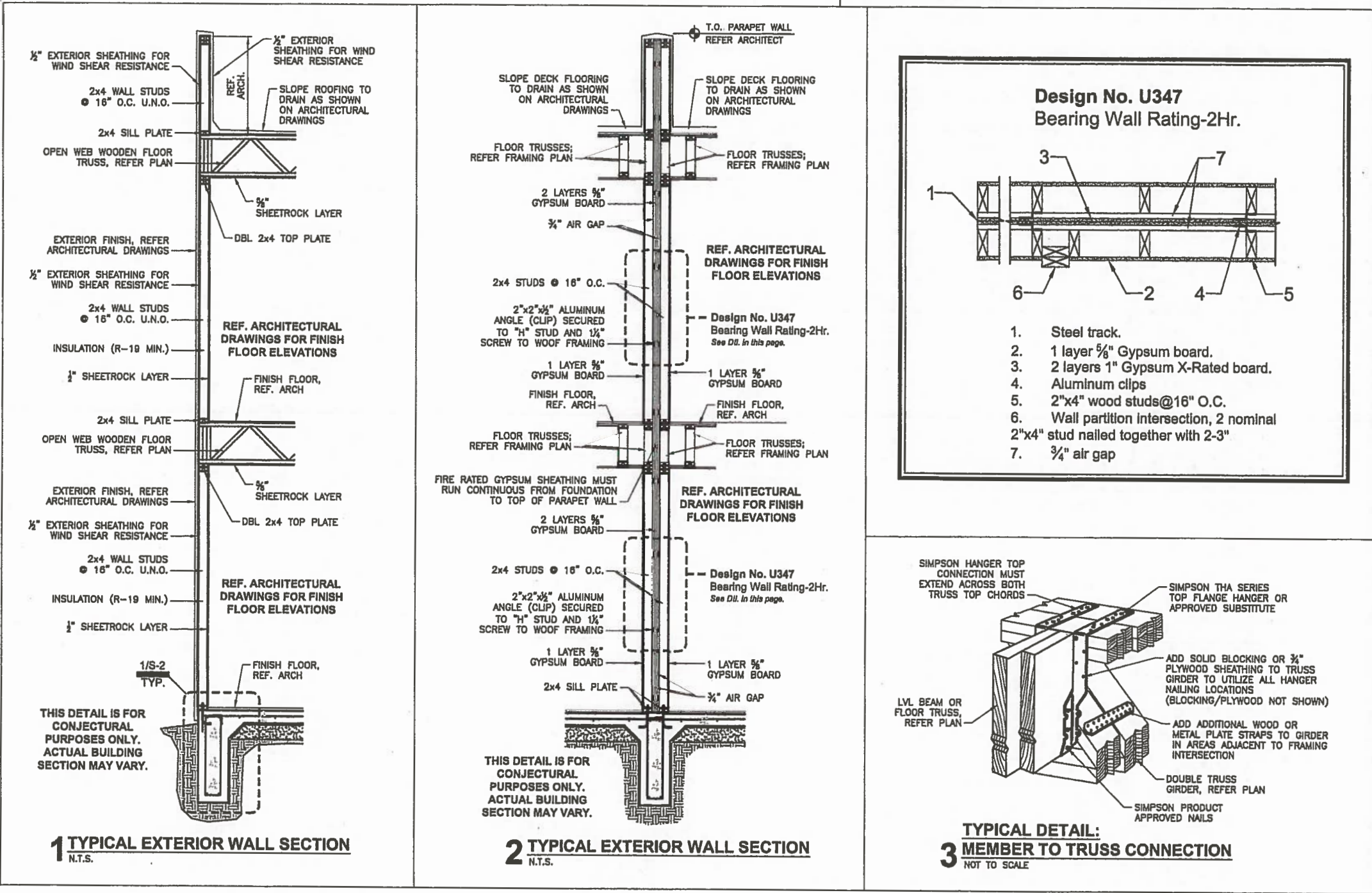
Genesis 1 Engineering Company
Commercial • Residential
1401 E. 3RD STREET
AUSTIN, TEXAS 78745
G1E
T.B.P.E. Registered Firm #12-2565

TYPICAL
FRAMING DETAILS
SINGLE-FAMILY DUPLEX

PROJECT NUMBER:
AU-17-73
VERSION:
VERSION 2.0
DRAWN BY:
FV/GAG
APPROVED BY:
GG
DATE:
SCALE:
AS NOTED
SHEET:
S-6
6 of 7

Previously Denied BOA case C15-2020-0020

Approved Plans Correction Notes:
1. Client or Designated Agents are not allowed to make changes to approved plans without prior written approval from the Design Engineer and concurrence from the Reviewing Authorities, otherwise Client, or Designated Agent, shall incur all liabilities associated with the changes and will hold Genesis 1 Engineering harmless of such incurred liability.
2. Client, or Designated Agent shall submit in writing to the Design Engineer field corrections required by the Local Authority having Jurisdiction in order for the Design Engineer to process the required corrections through the Plan Reviewing Authority for Approval, where required.



1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PERTINENT TO THEIR RESPECTIVE DISCIPLINE.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS: 1401 E. 3RD STREET AUSTIN, TEXAS

ARCHITECT WILLIAM HODGE

Genesis 1 Engineering Company
Commercial • Residential
604 South First St., Ste. 105
Austin, TX 78745
Office: 512-859-2246
Fax: 512-859-2243
T.P.E. Registered Firm #F-2565

G1E

TYPICAL FRAMING DETAILS
SINGLE-FAMILY DUPLEX

PROJECT NUMBER: AU-17-73
VERSION: 2.0
DRAWN BY: FV/GAG / APPROVED BY: GG
DATE: _____
SCALE: AS NOTED
SHEET: **S-7**
7 of 7

Previously Denied BOA case C15-2020-0020

From: [REDACTED]
To: [Ramirez, Elaine](#)
Subject: FW: 1401 East Third
Date: Monday, May 11, 2020 2:34:48 PM

My original email to City staff questioning the construction at 1401 E 3rd.

From: [REDACTED]
Sent: Wednesday, January 24, 2018 1:02 PM
To: [DSD Help](#)
Cc: [REDACTED]
Subject: 1401 East Third

This message is from Jeff Thompson. [bc-jeffrey.thompson@austintexas.gov]

I sit on the Planning Commission and one of the residents in my district asked me about a new house going up at 1401 E 3rd Street, 78702.

It appears to have approved plans for less than the required set back, but there was never a BOA hearing or other variance. Can you please explain how they are allowed to build so close to another house and within the set back?

Jeffrey Thompson
Boards and Commissions

Scheduled Meeting Disclosure Information: Written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question for compensation on behalf of another person. Anyone scheduling or accepting a meeting invitation with a City Official must either acknowledge that the disclosure requirement does not apply or respond to the following survey: <https://www.surveymonkey.com/r/BCVisitorLog>

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From: [REDACTED]
Subject: FW: 1401 E 3rd Street
Date: Monday, May 11, 2020 2:42:25 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[D5619B4E5E1648509A9623C8BE4D07E6.png](#)
[8FF5708083434FEA868AB1891DEEC906.png](#)

Several weeks later I'm still chasing the issue. You can see from the pictures that the development is still in early stages. The response is : inspector will notice.

To be told now that the inspector didn't raise the issue early enough is frustrating.

From: [REDACTED]
Sent: Friday, March 2, 2018 4:13 PM
To: [REDACTED]
Subject: Fwd: 1401 E 3rd Street

Jeff Thompson
Planning Commission D3

Begin forwarded message:

From: "Johns, Renee" <Renee.Johns@austintexas.gov>
Date: March 2, 2018 at 3:00:04 PM CST
To: "Thompson, Jeffrey - BC" <bc-Jeffrey.Thompson@austintexas.gov>, "Olsen, Dillon" <Dillon.Olsen@austintexas.gov>
Subject: RE: 1401 E 3rd Street

Jeffrey,

Two things:

1. If it is too close, this will be called out by the inspector associated with this project-DeeAnn Afra
2. Fences are not always the determination of a lot line. Again, this inspector will look for this.

Renee Johns

Planner Senior – Expedited Review

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



Follow us on [Facebook](#), [Twitter](#) & [Instagram](#) @DevelopmentATX

We want to hear from you! Please take a few minutes to complete our [online customer survey](#).

Nos gustaría escuchar de usted. Por favor, tome un momento para [completar nuestra encuesta](#).

Scheduled Meeting Disclosure Information:

In accordance with City of Austin Ordinance 20160922-005, responsibility of written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question as defined within City Code 4-8-2 for compensation on behalf of another person. Development Services Department has elected to implement an electronic survey as the methodology to provide the opportunity to record information as required of the department under Section 4-8-8 (E) of the City Code. Individuals scheduling or accepting a meeting invitation with a City Official are requested to provide responses to the questions included in the department survey available at the following link: [DSD Survey](#). Please note that all information provided is subject to public disclosure via DSD's open data portal. For more information please visit: [Click here to view City of Austin Ordinance 2016-0922-005](#) | [City Clerk's website](#) | [City Clerk's FAQ's](#)

From: Thompson, Jeffrey - BC

Sent: Friday, March 02, 2018 9:59 AM

To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>

Subject: Re: 1401 E 3rd Street

But the foundation is easily less than 5 ft from the property line. Here is a picture of the actual building.



Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

From: Johns, Renee

Sent: Thursday, March 1, 2018 3:41:33 PM

To: Thompson, Jeffrey - BC; Olsen, Dillon

Subject: RE: 1401 E 3rd Street

Jeffrey,

This is an approved plan and there is a projection into the 5 foot setback. This is a common concern, but the code does allow for eaves and other incidentals to project 2 ft. into any setback, LDC 25-2-513 B. If you look at sheet A201, you can see the elevation view of the proposed residence. On this elevation, you can see the footprint of the building stops at the 5 ft. setback and the eaves project into the setback. Again this is an allowed and common design.

I hope this answers your question.

Renee Johns

Planner Senior – Expedited Review

City of Austin Development Services Department

One Texas Center, 505 Barton Springs Road, 7th Floor

Office: 512.974.2260



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Nos gustaría escuchar de usted. Por favor, tome un momento para [completar nuestra encuesta](#).

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From: Thompson, Jeffrey - BC

Sent: Thursday, March 01, 2018 3:08 PM

To: Johns, Renee <Renee.Johns@austintexas.gov>; Olsen, Dillon
<Dillon.Olsen@austintexas.gov>

Subject: 1401 E 3rd Street

Hi Dillon,

I'm looking into a case on behalf of a district 3 constituent. She is concerned that

the house being built at 1401 E 3rd does not have a 5 foot side setback.

Looking at the plan (2017-043148 PR), it clearly shows that the house encroaches on the 5 foot set back line.

Can you tell me if this is in fact an approved plan and if so can you please explain why?

Thank you so much for your time.

Jeff Thompson
District 3
Planning Commissioner

Office: 512-314-1830

Jeffrey Thompson
Boards and Commissions

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Jeffrey Thompson
Boards and Commissions

Scheduled Meeting Disclosure Information: Written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a

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Jeffrey Thompson
Boards and Commissions

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Previously Denied BOA case C15-2020-0020

From: Ron Thrower
To: [Ramirez, Elaine](#)
Subject: RE: BOA Case C15-2020-0020
Date: Monday, May 11, 2020 5:04:38 PM
Attachments: [image001.png](#)

*** External Email - Exercise Caution ***

Elaine,

Making sure the below got to BOA Membnrs for this case on for tonight. Let me know please.

Be smart. Be safe. Be kind.

Ron Thrower



510 South Congress, Suite 207

Mail: P.O. Box 41957

Austin, Texas 78704

512-476-4456 office

512-731-2524 cell



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From: Ron Thrower
Sent: Monday, May 11, 2020 12:55 PM
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Subject: BOA Case C15-2020-0020

Elaine,

Can you please forward this to all Board Members –

Previously Denied BOA case C15-2020-0020

Board of Adjustment members,

For full disclosure, I am a registered Lobbyist with the City of Austin. I am not working for any paying client on this case, and none of my questions or comments are meant to be taken as lobbying. My questions and comments are only to gain clarity to the situation.

We were asked to review the materials for the above referenced case. While this does appear to be a surveying error, it would be helpful to understand a few items for this case:

1. Has the survey for which the error occurred been made public?
2. The new survey finds the property to be wider at the alley by 0.44' (33.97' from Building Permit set vs 34.41' from updated survey). The new survey only reflects the encroachments to the side setback but does not reflect distances to Navasota Street Right-of-way. In theory, with the building designed at 13'-10" in width coupled with the 2.77' setback of the building on the east property line, the distance to the Navasota Street Right-of-way on the southern end of the building should be +/-17.81'. Can this be verified?
3. Does the decreased setback create a fire hazard? Are non-combustible materials used along the eastern property line? Is the house sprinkled?
4. The building plans reflects two 36" doors opening outward on the east side of the proposed house. Did no one notice that the door did not open completely or was too close to the fence (assuming it is on the property line. No documentation appears to exist in the records showing the location of the fence.)

Again, this appears to be a surveyor error and it is unfortunate that it has reached this point. While it would be nice to have answers to the questions herein, we support any decision the BOA may reach for this case.

Be smart. Be safe. Be kind.

Ron Thrower

[REDACTED]
510 South Congress, Suite 207
Mail: P.O. Box 41957
Austin, Texas 78704

512-476-4456 office
512-731-2524 cell



Previously Denied BOA case C15-2020-0020

From: Susan Benz
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: Fwd: BOA Case # C15-2020-0020 - I object
Date: Tuesday, May 12, 2020 9:28:33 AM

*** External Email - Exercise Caution ***

Elaine,

Good morning. I've just read the email from Jeff Thompson (below) who served many years on our neighborhood plan contact team. The fact that he pointed out the error in the layout of the foundation to the City early on and several times and no action was taken by Code Enforcement or Building Inspection is extremely unfortunate. My personal belief is that this case should be investigated as to where the failure to enforce the code took place so that it can be avoided again.

Please convey the message to the Board of Adjustment that the East Cesar Chavez Neighborhood Plan Contact Team is even more strongly opposed to any variance or waiver given to this project.

Most sincerely,

Susan Benz
Business Rep and Treasurer
East Cesar Chavez Neighborhood Plan Contact Team

Susan Benz | [Benz Resource Group](#)

1101 - B E 6th St - Medina Street Entrance
Austin, TX 78702
512-220-9542
[REDACTED]

Keep Calm and Carry On ... and wash your hands!

----- Forwarded message -----

From: Amy Thompson <[REDACTED]>
Date: Mon, May 11, 2020 at 11:24 PM
Subject: Fwd: BOA Case # C15-2020-0020 - I object
To: David Brearley <[REDACTED]>, Susan Benz
<[b\[REDACTED\]](#)>, Pamela Colloff <[REDACTED]>

----- Forwarded message -----

From: Thompson, Jeffrey - BC <[REDACTED]>
Date: Mon, May 11, 2020 at 1:22 PM
Subject: BOA Case # C15-2020-0020 - I object
To: Ramirez, Elaine <Elaine.Ramirez@austintexas.gov>
Cc: Amy Thompson <[REDACTED]>

Previously Denied BOA case C15-2020-0020

I would like to strongly state my objection to the request for relief from set back requirements at 1401 E. 3rd. My neighbor Amy Thompson (no relation) pointed out the property to me early in its construction. It was clear from viewing the property that the builders were not abiding by the standard setback.

I wrote to City staff alerting them of the situation in January 2018 when the project was simply a foundation on the ground. Over the next weeks I sent several emails including photos of setback infringement. Each time I was assured by staff that if there were errors they would be caught at inspection.

I support changes to City code that will allow more and denser housing, especially in our City Core. I have also supported changes that allow streamlining of approval to make development easier. But I have never supported relaxation of laws that were intended to ensure the safety of our residents. To waive those requirements now would simply be allowing the creation of substandard housing because the developer and City made mistakes and do not want to pay the price for them.

Jeff Thompson

1408 Willow Street

Austin, TX 78702

Jeffrey Thompson
Boards and Commissions

Scheduled Meeting Disclosure Information: Written disclosure is required by visitors when attending a scheduled meeting with a City Official regarding a municipal question for compensation on behalf of another person. Anyone scheduling or accepting a meeting invitation with a City Official must either acknowledge that the disclosure requirement does not apply or respond to the following survey: <https://www.surveymonkey.com/r/BCVisitorLog>

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ITEM 9/95

Previously Denied BOA case C15-2020-0020

From: Pamela Colloff
To: [Ramirez, Elaine](#)
Cc: [REDACTED]
Subject: opposition to request in BOA Case # C15-2020-0020
Date: Monday, May 11, 2020 11:49:08 AM

*** External Email - Exercise Caution ***

Dear Ms. Ramirez:

I would like to express my strenuous opposition to the request for a setback variance in BOA Case # C15-2020-0020. My primary residence is located within 500 feet of 1401 E. 3rd Street, which is the property in question.

The structure at 1401 E. 3rd virtually abuts the neighboring property. The foundation is clearly FAR less than 5 feet from the property line.

This is an obvious fire hazard. It is not hard to imagine how a small fire could quickly consume multiple structures given their current proximity to each other. Allowing such a set back variance would be a clear danger to public safety, both for residents and first responders.

I would encourage you to look at this property in person, since it will immediately become clear to you--in ways that words and measurements cannot--why this is a hazard to our entire neighborhood.

I urge you to reject the request for a setback variance in BOA Case # C15-2020-0020. Thanks very much for considering this request.

Best wishes,

Pamela Colloff
1305 E. 2nd Street
Austin TX 78702

CAUTION: This email was received at the City of Austin, from an EXTERNAL source. Please use caution when clicking links or opening attachments. If you believe this to be a malicious and/or phishing email, please forward this email to CSIRT@austintexas.gov.

Previously Denied BOA case C15-2020-0020

1401 E 3RD STREET
AUSTIN, TX 78702

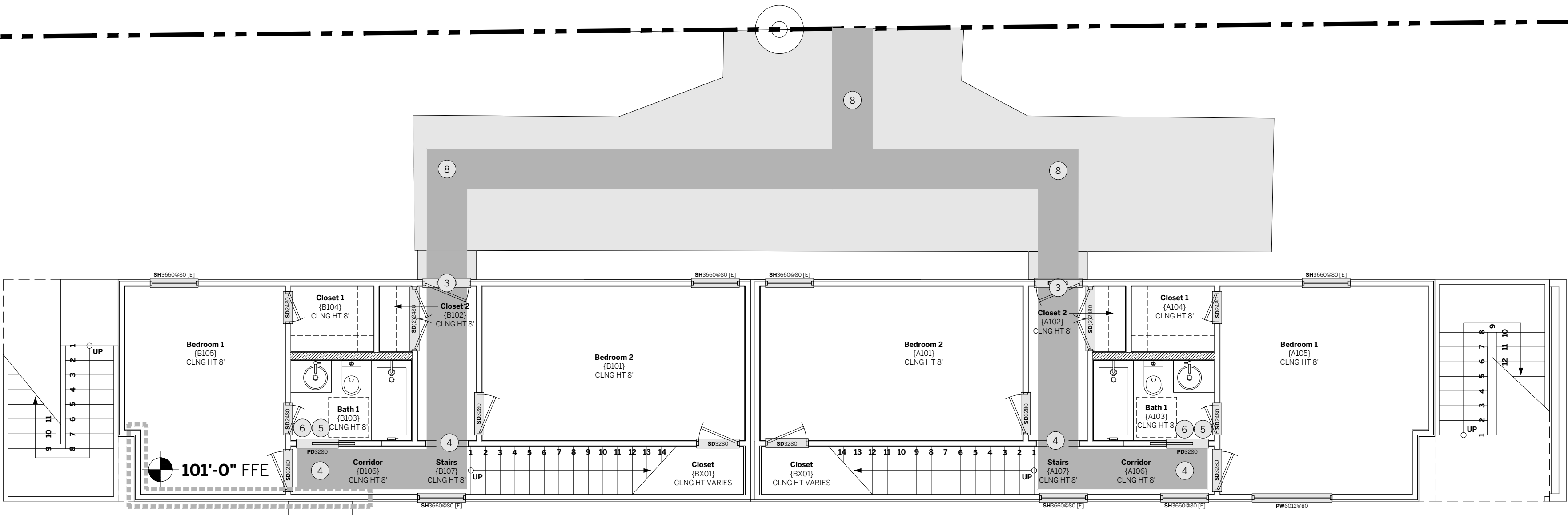
Case # C15-2020-0020

June 8, 2020

Previously Denied BOA case C15-2020-0020

NAVASOTA STREET

1401 E 3rd ST



1 Visitability Plan

Scale 3/32" = 1'-0" @ 11x17
Scale 3/16" = 1'-0" @ 24x36

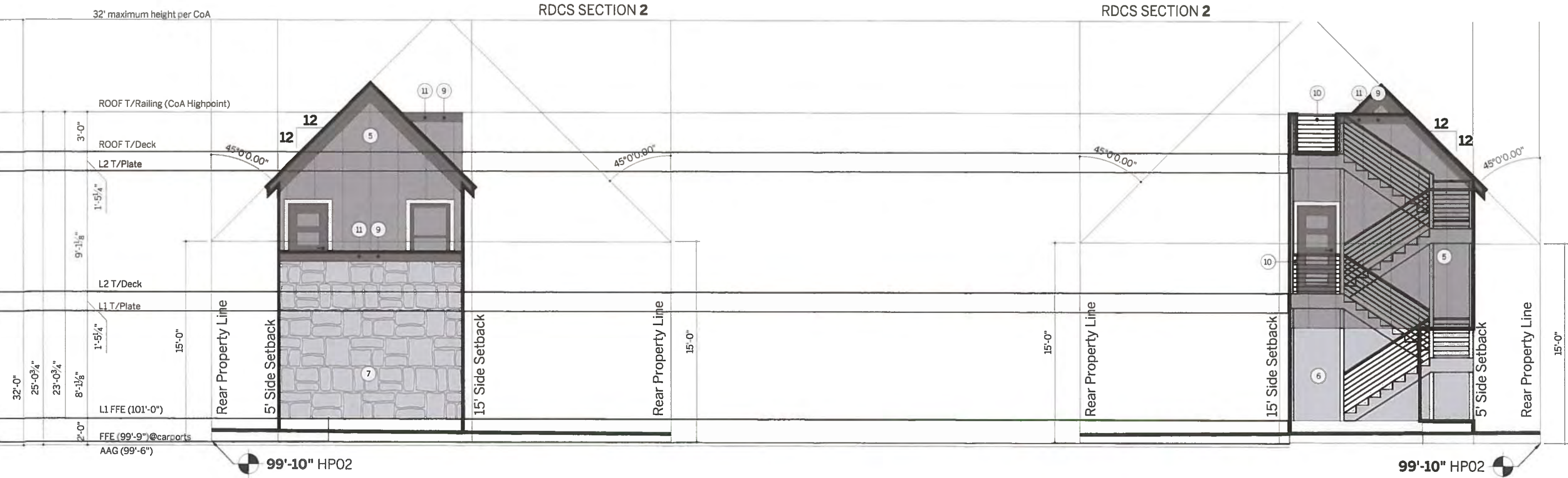
| KEYED NOTES. | | | | THRESHOLD DETAIL | | GENERAL NOTE. | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | <div><div><div>WILLIAM HODGE AIA ARCHITECT</div><div>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</div></div><div>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</div><div>ISSUE DATE21 May 2020</div><div>SHEET TYPEVisitability Plan.</div><div>A100</div></div> |
|--------------|---|---|--|------------------|--|---|--------------|--------------------|-----------------------------|---|
| 1 | GENERAL NOTE: The junction-box centerline of all light switches and environmental controls shall be no higher than 45" above finished floor. | 4 | | | Refer to sheet G002 for notes regarding VISITABILITY REQUIREMENTS | This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. | | | | |
| 2 | GENERAL NOTE: The junction-box centerline of all outlets, receptacles and data ports shall be no lower than 18" above finished floor. | 5 | | | | | | | | |
| 3 | GENERAL NOTE: No-step entry and maximum threshold height of 1/2", minimum nominal 36" width. | 6 | | | | | | | | |
| | | 7 | | | Exterior visible route shall have a running slope of no more than 1:12 unless handrails are provided, in which caserunning slope shall not exceed 1:8. Cross slope shall in no case exceed 1:50. | | ISSUE DATE | 21 May 2020 | | |
| | | 8 | | | | | | | | |

EXISTING ELEVATIONS - FRONT

Previously Denied BOA case C15-2020-0020

ITEM 9/100

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.
ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.




1 Elevation, Bldg 1, Front
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

2 Elevation, Bldg 1, Rear
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36


KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | |
|--|--|--|
| 01 New standing-seam metal roof. | 06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 New parapet at exterior porch or deck. Minimum height 36" above finish floor. |
| 02 New 30-year composition shingle roof. | 07 New 3.5"-thick stone masonry veneer, random-ashlar bond. | |
| 03 New horizontally-oriented cement-board siding. Exposure 6". | 08 New brick masonry veneer, common bond. | |
| 04 New horizontally-oriented cement-board siding. Exposure 12". | 09 New metal coping. Exposure 6". | |
| 05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | |

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SEAL OF ARCHITECT.

ISSUE DATE 02 Nov 2017.
GRAPHIC SCALE (in feet) 0 1 2 4 8

SEAL OF MUNICIPAL APPROVAL.
REVIEWED FOR CODE COMPLIANCE
City of Austin


SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702
ISSUE DATE 02 Nov 2017.
SHEET TYPE Elevations, Bldg 1.
A201

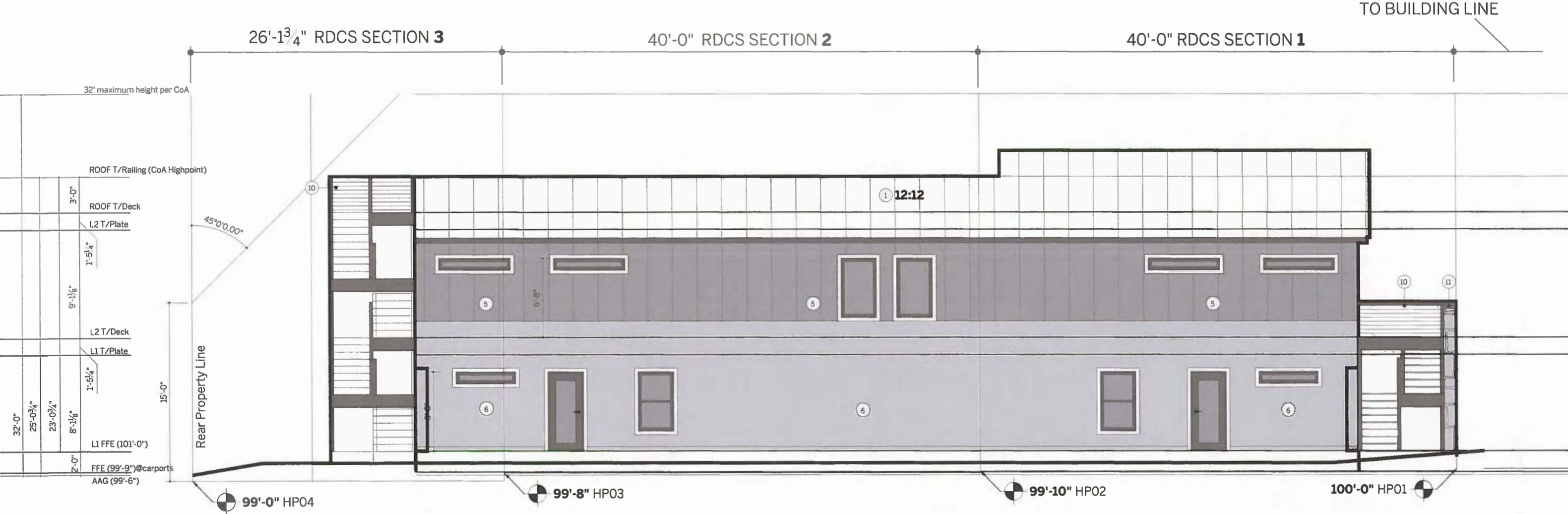
EXISTING ELEVATION - EAST FACING Previously Denied BOA case C15-2020-0020

ITEM 9/101

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4. b. (1):
A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.



1 Elevation, Bldg 1, Left
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| | | | | | | | |
|--|--|--|---|---|--|--|---|
| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | DISCLAIMERS. | | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | OCHONA Development + Architecture SINGLE-FAMILY RESIDENCE W/ ACCESSORY APT AT 1401 E 3RD ST AUSTIN, TEXAS 78702 ISSUE DATE 02 Nov 2017. SHEET TYPE Elevations, Bldg 1. A203 |
| 01 New standing-seam metal roof. | 06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 New parapet at exterior porch or deck. Minimum height 36" above finish floor. | 02 New 30-year composition shingle roof. | 07 New 3.5"-thick stone masonry veneer, random-ashlar bond. | ISSUE DATE 02 Nov 2017. GRAPHIC SCALE (in feet) | REVIEWED FOR CODE COMPLIANCE City of Austin | |
| 03 New horizontally-oriented cement-board siding. Exposure 6". | 08 New brick masonry veneer, common bond. | | 04 New horizontally-oriented cement-board siding. Exposure 12". | 09 New metal coping. Exposure 6". | | | |
| 05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | | | | | | |

EXISTING ELEVATION - WEST FACING

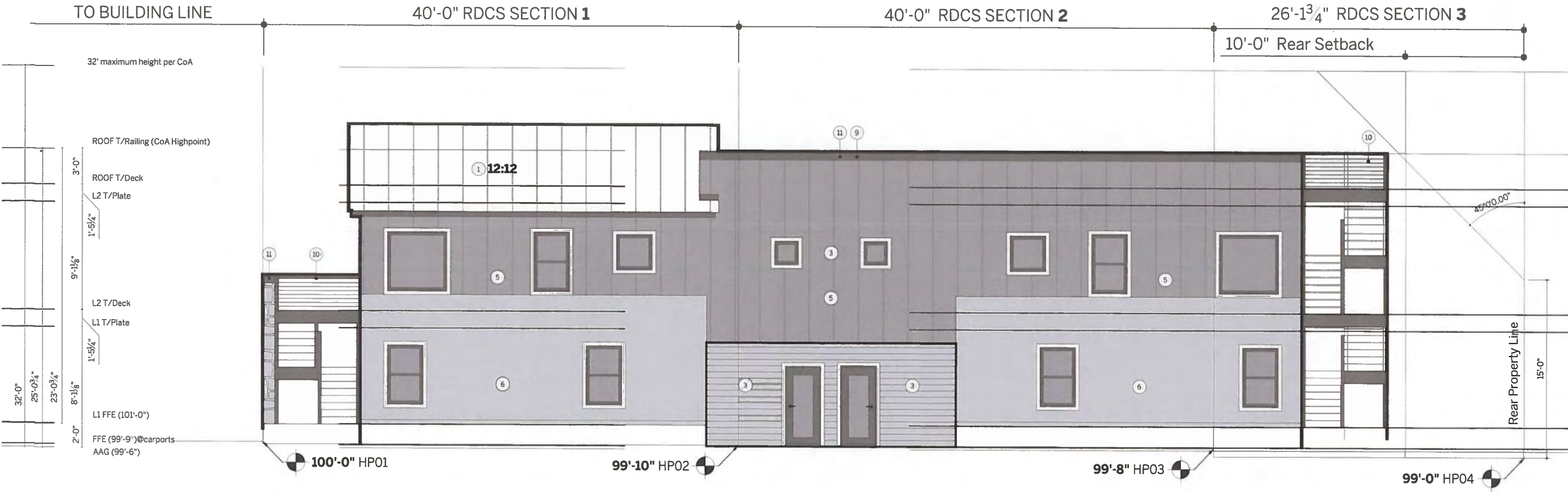
Previously Denied BOA case C15-2020-0020

ITEM 9/102

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

| | | |
|--|--|--|
| 01 New standing-seam metal roof. | 06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 New parapet at exterior porch or deck. Minimum height 36" above finish floor. |
| 02 New 30-year composition shingle roof. | 07 New 3.5"-thick stone masonry veneer, random-ashlar bond. | |
| 03 New horizontally-oriented cement-board siding. Exposure 6". | 08 New brick masonry veneer, common bond. | |
| 04 New horizontally-oriented cement-board siding. Exposure 12". | 09 New metal coping. Exposure 6". | |
| 05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | |

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SEAL OF ARCHITECT.

REGISTERED ARCHITECT
WILLIAM LAWRENCE HODGE
19074
STATE OF TEXAS

ISSUE DATE 02 Nov 2017.

GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL.

City of Austin
REVIEWED FOR CODE COMPLIANCE

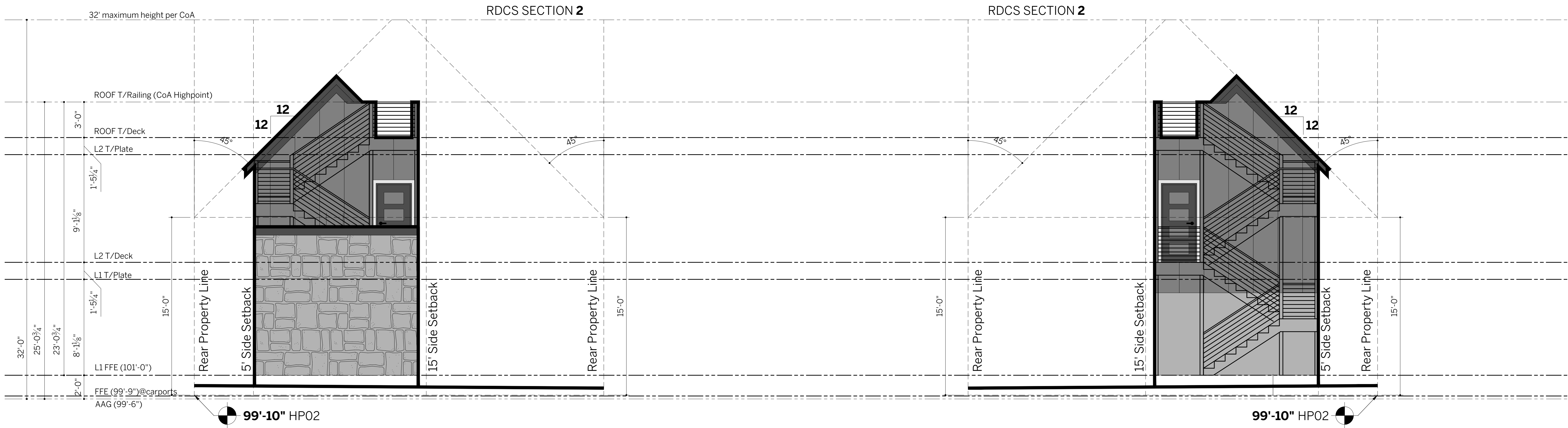
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE: 02 Nov 2017.
SHEET TYPE Elevations, Bldg 1.










A204

PROPOSED ELEVATIONS - FRONT




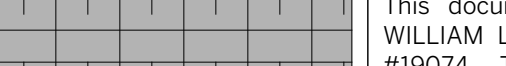

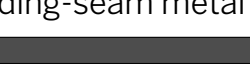


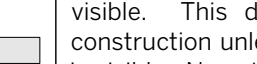

① Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES. | | CODE REFERENCES (City of Austin RDOS area only). | MATERIALS LEGEND. | | | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | <div><div><div>WILLIAM M HODGE AIA ARCHITECT</div><div>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</div></div><div>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</div><div>ISSUE DATE21 May 2020</div><div>SHEET TYPEElevations.</div><div>A201</div></div> |
|--------------|---|--|---|--|--|--|--|--|----------------------------------|--|
| 01 | New metal coping. Exposure 6". | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane. | <div><div></div><div>Standing-seam metal roofing</div><div></div><div>Cement-board or RealTrim fascia</div><div></div><div>6" horizontal cement board</div><div></div><div>6" horizontal stained wood</div></div> | | | | <div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div> | <div><div></div><div>William Lawrence Hodge</div></div> | <div>ISSUE DATE21 May 2020</div> | |
| 02 | New metal flashing. Exposure 6" minimum. | <div><div></div><div>Composition-shingle roofing</div><div></div><div>Cement-board trim or RealTrim</div><div></div><div>24" vertical cement board</div><div></div><div>Stone veneer (ashlar bond)</div></div> | | | | | | | | |
| 03 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION. | | | | | | | | |
| 04 | New parapet at exterior porch or deck. Minimum 36" above finish floor. | | | | | | | | | |
| 05 | New through-wall scupper. | | | | | | | | | |
| 06 | New metal downspout. | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height. | | | | | | | | |
| 07 | Steel column (ref: structural). | | | | | | | | | |

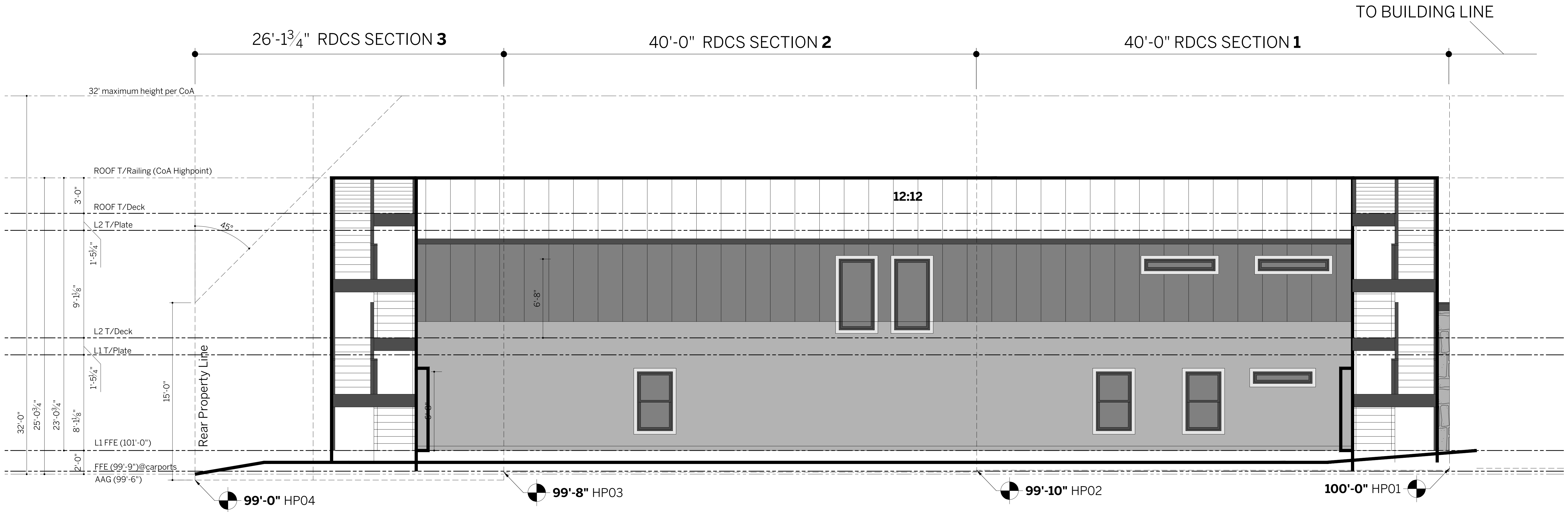
PROPOSED ELEVATIONS- WEST FACING



| KEYED NOTES. | | CODE REFERENCES (City of Austin RDCCS area only). | MATERIALS LEGEND. | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|--------------|---|---|--|--|---|---|--------------------------------------|
| 01 | New metal coping. Exposure 6". | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for eaves or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane. |  Standing-seam metal roofing  Composition-shingle roofing  Cement-board or RealTrim fascia  6" horizontal cement board  6" horizontal stained wood  24" vertical cement board  Stone veneer (ashlar bond) | | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing, or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  | |
| 02 | New metal flashing. Exposure 6" minimum. | | | | | | |
| 03 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5". | ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION. | | | | | |
| 04 | New parapet at exterior porch or deck. Minimum 36" above finish floor. | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height. | | | | | |
| 05 | New through-wall scupper. | | | | | | |
| 06 | New metal downspout. | | | | | | |
| 07 | Steel column (ref: structural). | | | | | | |
| | | | | | | <p>ISSUE DATE</p> <p>21 May 2020</p> | <p>ISSUE DATE</p> <p>21 May 2020</p> |









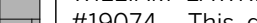
Previously Denied BOA case C15-2020-0020

PROPOSED ELEVATIONS- EAST FACING

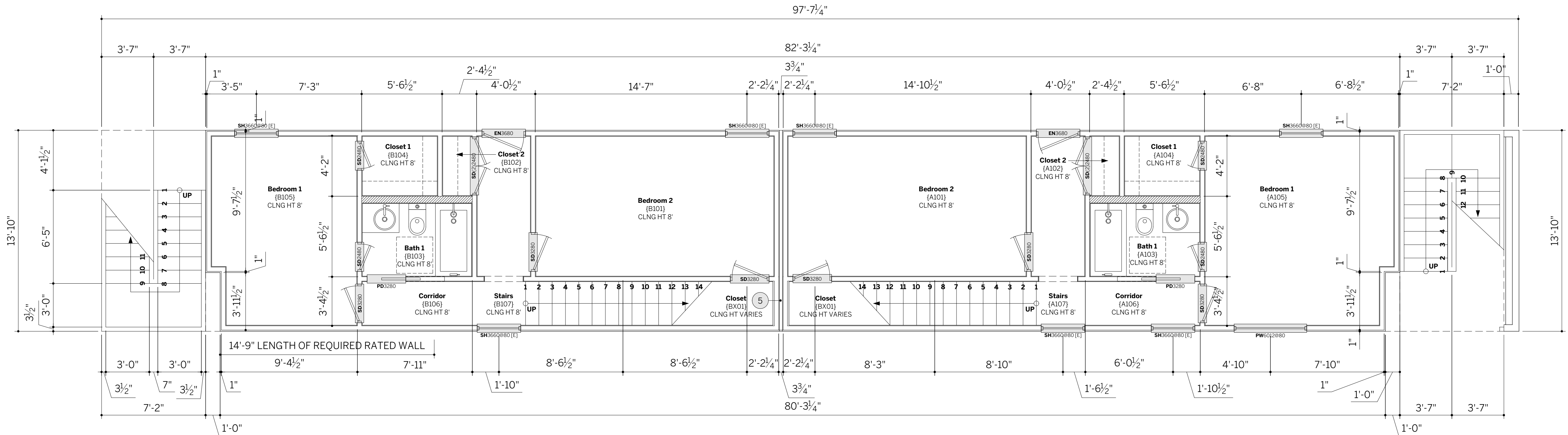


1 Elevation, Bldg 1, Left


Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES. | | CODE REFERENCES (City of Austin RDOS area only). | | MATERIALS LEGEND. | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | | | | |
|--------------|---|---|--|---|----------------------------|---|---|---|---------------------------|-----------------------------|-------------------------------|---|
| 01 | New metal coping. Exposure 6". | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane. | ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION. |  | | This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. |  |  | | | | |
| 02 | New metal flashing. Exposure 6" minimum. | | |  | | | | | | Composition-shingle roofing | | |
| 03 | New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5". | | |  | | | | | | | Cement-board trim or RealTrim | |
| 04 | New parapet at exterior porch or deck. Minimum 36" above finish floor. | LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height. |  | | 6" horizontal cement board |  | 6" horizontal stained wood |  | 24" vertical cement board | | |  |
| 05 | New through-wall scupper. | | | | | | | | | | | |
| 06 | New metal downspout. | | | | | | | | | | | |
| 07 | Steel column (ref: structural). | | | | | | | | | | | |

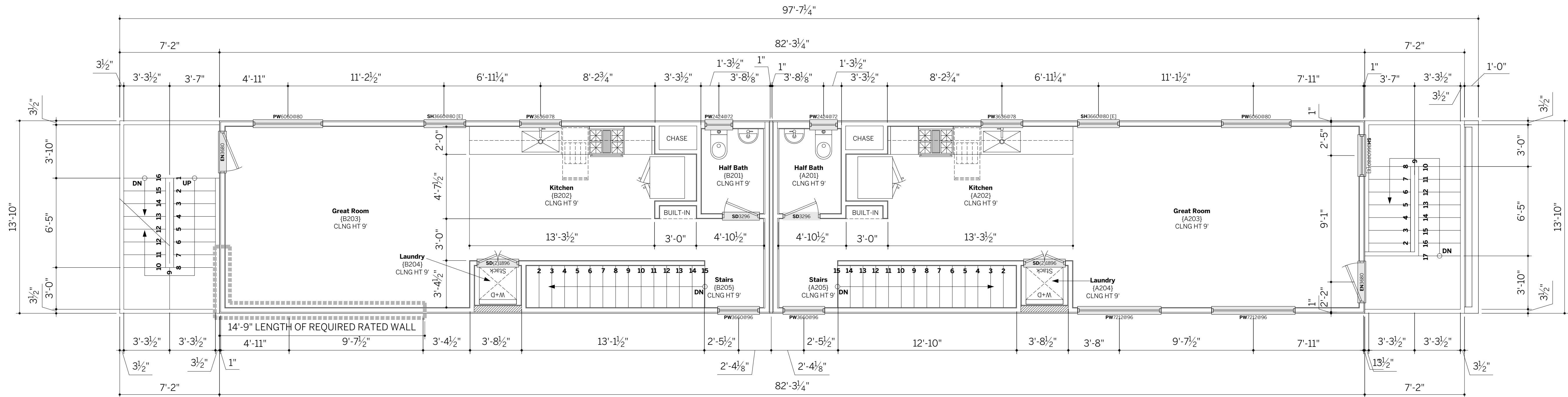
FLOOR PLANS





1 Floor Plan, Bldg 1, Level 01
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | NOTES ON FRAMING. | | FRAMING AND ROOFING LEGEND. | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|---|---|----|---|-------------------|-----------------------------|-----------------------------|---|--|---|--|
| 01 | New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. | 03 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5". | R1 | New walkable-PVC roof deck. | 1. | Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. | <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p> |  | <p>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</p> <p>ISSUE DATE 21 May 2020</p> <p>SHEET TYPE Floor Plans, Level 01.</p> <p>A101</p> |
| 01a | REQUIRED: XX'-XX" PROVIDED: XX'-XX" | 04 | Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5". | R2 | New metal coping. | 2. | Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. | | | |
| | NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305. | 05 | Ceiling break. | R3 | New metal scupper. | 3. | Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. | | | |
| | | 06 | Linen closet (cabinetry). | R4 | New metal gutter. | 4. | Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. | | | |
| 02 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5". | 07 | Pantry (cabinetry). | R5 | New metal downspout. | 5. | At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less. | | | |
| | | 08 | Access panel to AC. | | | 6. | A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50. | | | |

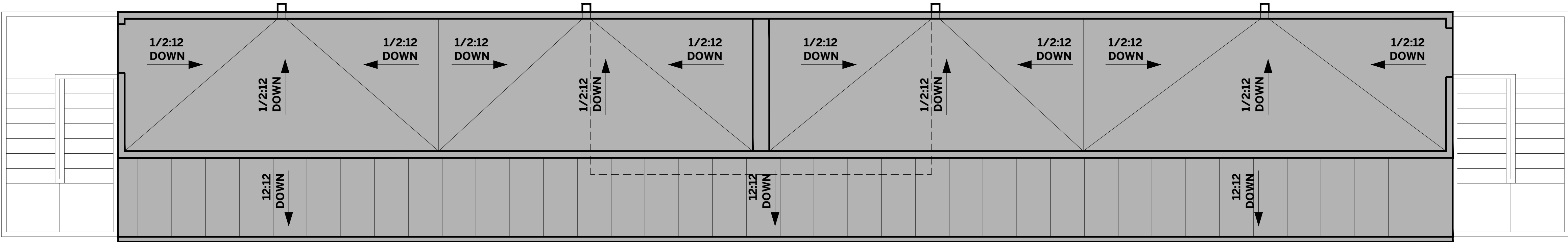
Previously Denied BOA case C15-2020-0020



1 Floor Plan, Bldg 1, Level 02
Scale 1/8" = 1'-0" @ 11x17

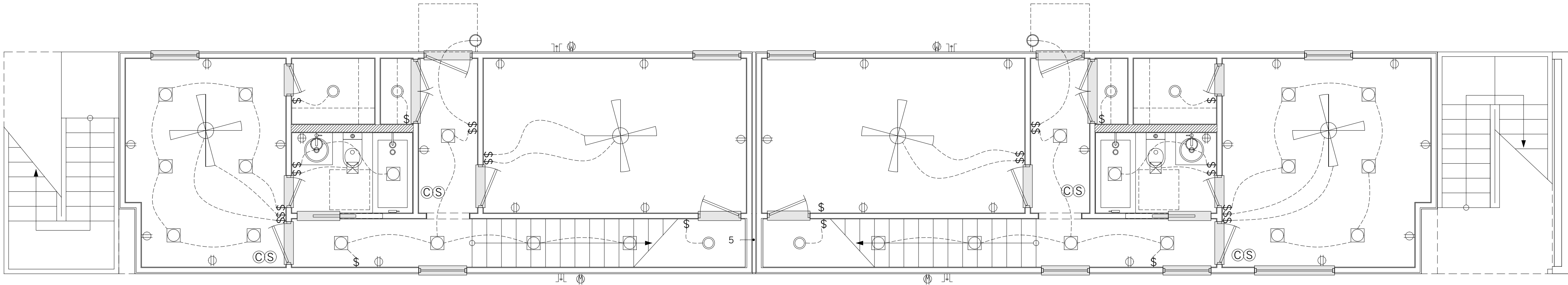
| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | | NOTES ON FRAMING. | | FRAMING AND ROOFING LEGEND. | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|---|---|----|---|----|-----------------------------|----|-----------------------------|--|---|---|---|
| 01 | New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. | 03 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5". | R1 | New walkable-PVC roof deck. | 1. | Standing-seam metal roofing | Composition-shingle roofing | This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION. |  |  |
| 01a | REQUIRED: XX'-XX" NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305. | 04 | Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5". | R2 | New metal coping. | 2. | 2x4 wood framing | 2x6 wood framing | | | |
| | | 05 | Ceiling break. | R3 | New metal scupper. | 3. | | | | | |
| | | 06 | Linen closet (cabinetry). | R4 | New metal gutter. | 4. | | | | | |
| | | 07 | Pantry (cabinetry). | R5 | New metal downspout. | 5. | | | | | |
| 02 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5". | 08 | Access panel to AC. | | | 6. | | 2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373 | | | |

Previously Denied BOA case C15-2020-0020



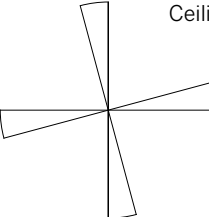




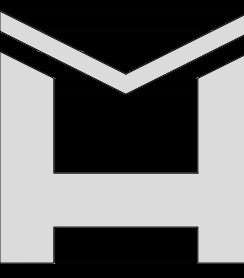



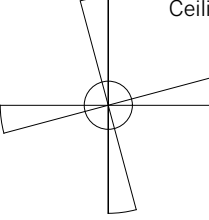














1 Roof Plan, Bldg 1
Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT). | | | | NOTES ON FRAMING. | | FRAMING AND ROOFING LEGEND. | | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. | |
|---|---|----|---|-------------------|-----------------------------|-----------------------------|---|---|--|--|--|
| 01 | New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. | 03 | Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5". | R1 | New walkable-PVC roof deck. | 1. | Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening. | <div><div></div><div>Standing-seam metal roofing</div></div> <div><div></div><div>Composition-shingle roofing</div></div> <div><div></div><div>2x4 wood framing</div></div> <div><div></div><div>2x6 wood framing</div></div> <div><div></div><div>2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373</div></div> | <div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div> | <div><div><div>REGISTERED ARCHITECT</div><div>WILLIAM LAWRENCE HODGE</div><div>19074</div><div>STATE OF TEXAS</div></div><div><i>William Lawrence Hodge</i></div></div> <div>ISSUE DATE21 May 2020</div> | <div><div>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</div><div>ISSUE DATE21 May 2020</div><div>SHEET TYPERoof Plans.</div><div>A104</div></div> |
| 01a | REQUIRED: XX'-XX" PROVIDED: XX'-XX" NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305. | 04 | Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5". | R2 | New metal coping. | 2. | Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level. | | | | |
| 02 | Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5". | 05 | Ceiling break. | R3 | New metal scupper. | 3. | Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. | | | | |
| | | 06 | Linen closet (cabinetry). | R4 | New metal gutter. | 4. | Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. | | | | |
| | | 07 | Pantry (cabinetry). | R5 | New metal downspout. | 5. | At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less. | | | | |
| | | 08 | Access panel to AC. | | | 6. | A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50. | | | | |



1 MEP Plan, Bldg 1, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

| FIXTURE LEGEND. | | | | GENERAL MEP NOTES. | DISCLAIMERS. | SEAL OF ARCHITECT. | SEAL OF MUNICIPAL APPROVAL. |
|--|---|---|--|--|--|---|---|
|  Ceiling fan w/o light kit |  Pendant light |  Wall switch |  Smoke detector | <div>1. Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.</div> <div>2. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.</div> <div>3. Final locations of lighting and outlets to be coordinated in field with Owner.</div> <div>4. Final switching to be coordinated in field with Owner.</div> | <div>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</div> |  ISSUE DATE 21 May 2020 |  WILLIAM HODGE AIA ARCHITECT 4801 S CONGRESS AVE #803 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702 ISSUE DATE 21 May 2020 SHEET TYPE MEP Plans, Level 01. A105 |
| |  Ceiling-mounted light |  Duplex outlet |  CO2 detector | | | | |
|  Ceiling fan w/ light kit |  Recessed can light |  GFCI duplex outlet |  Thermostat | | | | |
| |  Vanity light |  Waterproof GFCI duplex outlet |  Hot-cold water tap | | | | |
| |  Exterior wall-mounted light |  220V outlet |  Hose bibb | | | | |
| |  Undercounter lighting |  Electric meter |  Gas tap | | | | |
| |  Exhaust fan |  Gas tankless water heater | | | | | |