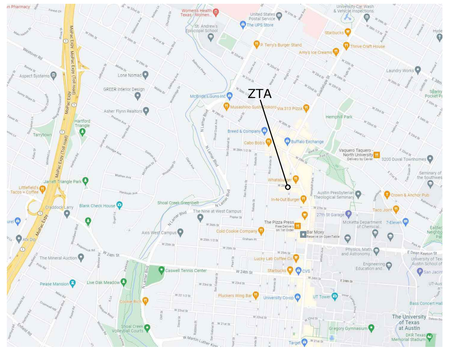

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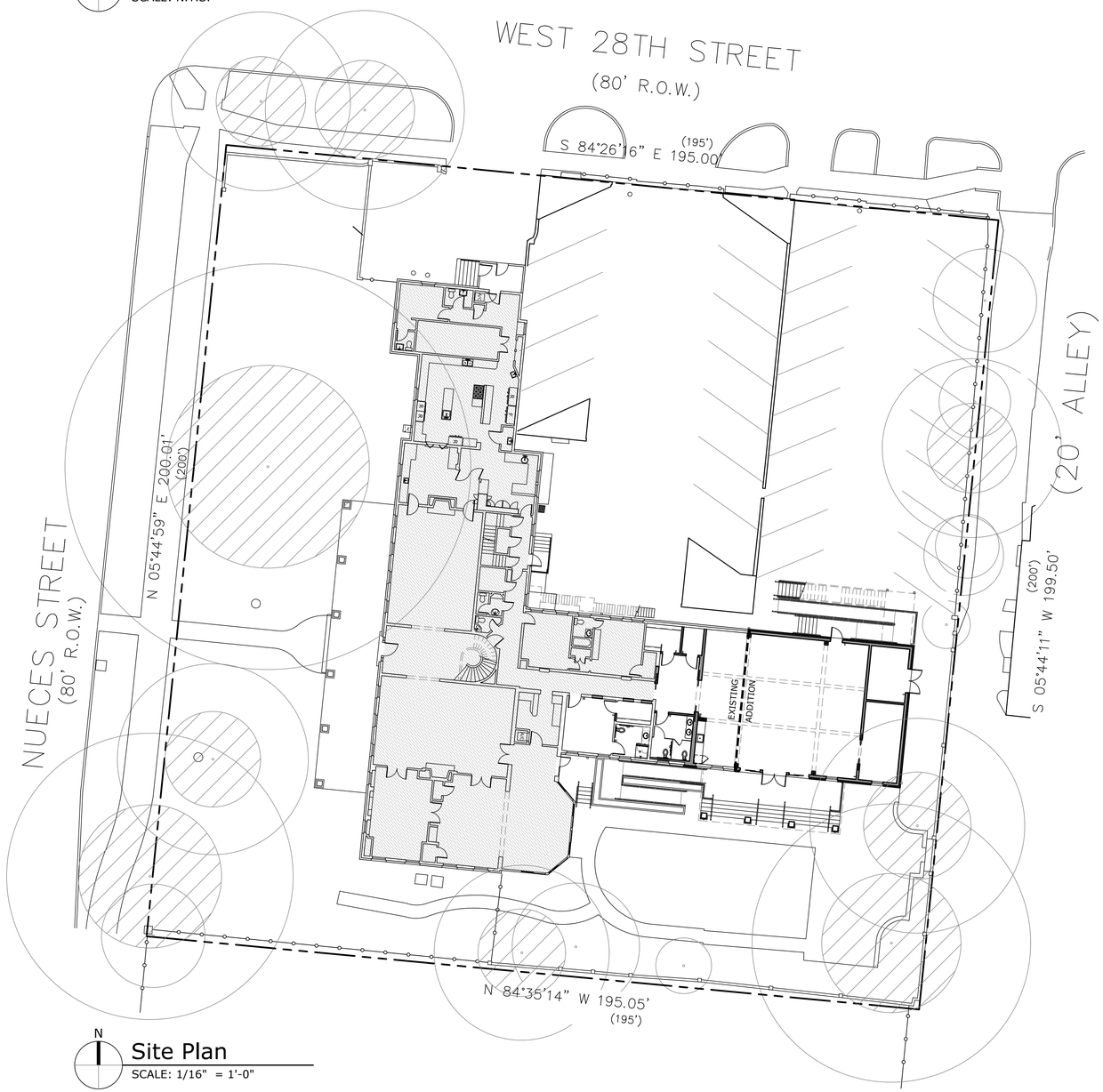
Vicinity Map

SCALE: N.T.S.

Zeta Tau Alpha
Sorority House Addition
2711 Nueces Street
Austin, Texas 78705



N

Site Plan

SCALE: 1/16" = 1'-0"

PROJECT TEAM

ARCHITECT

Hoover & Associates, Inc.
1407 W. 46th Street
Austin, TX 78756
T: (512) 467-2626
F: (512) 467-2655
Attn: Morris W. Hoover, AIA, NCARB

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Attn: JM Nunn, P.E.

MEP ENGINEER

ATS Engineers, Inspectors & Surveyors
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Austin, TX 78735
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F: (512) 328-6996
Attn: David Mitchell, P.E.

CIVIL ENGINEER

Thompson Land Engineering, LLC
904 N. Cuernavaca Street
Austin, TX 78733
T: (512) 328-0002
Attn: Robert C. Thompson, P.E.

CODE INFORMATION

ZONING	MF-4-H-NP
USE CLASSIFICATION	GROUP RESIDENTIAL
OCCUPANCY	R-2
CONSTRUCTION TYPE	V-B
FIRE SPRINKLER	13R
FIRE ALARM	FULL
APPLICABLE CODES	2021 IBC, 2021 IECC, 2021 IEBC, 2021 IFC, 2020 NEC, 2021 UMC, 2021 UPC
IECC COMPLIANCE METHOD	WORK AREA, LEVEL 2 ALTERATION AND ADDITION

GROSS FLOOR AREA (EXISTING + NEW = PROPOSED)

1ST FLOOR	7,463 + 1,484 = 8,947 SF
2ND FLOOR	5,835 + 1,484 = 7,318 SF
3RD FLOOR	1,752 + 0 = 1,752 SF
TOTAL	18,017 SF

OCCUPANT LOAD

	FUNCTION	LOAD FACTOR	AREA (SF)	OCCUPANT LOAD
1ST FLOOR	DORMITORY	50 GROSS	3,990	80
	ASSEMBLY (TABLES & CHAIRS)	15 NET	2,038	136
	KITCHEN	200 GROSS	1,596	8
	STORAGE/MECHANICAL	300 GROSS	455	2
2ND FLOOR	DORMITORY	50 GROSS	6,921	139
3RD FLOOR	LIBRARY (READING RM.)	50 NET	1,322	27
	STORAGE/MECHANICAL	300 GROSS	156	1
TOTAL				393

*SEE SHEETS G-101/102 EGRESS PLANS FOR WORK AREA OCCUPANT LOAD AND EGRESS INFORMATION

PLUMBING FIXTURES (WORK AREA ONLY)

	OCC.	FIXTURE	RATIO	REQ'D	PROV'D
PUBLIC	95	WATER CLOSETS	1 PER 65	2	2
		LAVATORIES	1 PER 200	1	2
		DRINKING FOUNTAINS	1 PER 500	1	1*
		SERVICE SINK	N/A	1	1
DORMITORIES	24	WATER CLOSETS	1 PER 10	3	3
		LAVATORIES	1 PER 10	3	6
		SHOWERS	1 PER 8	3	3
		DRINKING FOUNTAINS	1 PER 100	1	1*
		SERVICE SINK	N/A	1	1

*BEVERAGE STATION IN DINING FACILITY SUBSTITUTED PER UMC 415.2

SHEET INDEX

CIVIL
UNDER SEPARATE SITE PLAN SUBMITTAL

ARCHITECTURAL

G-001	TITLE SHEET
G-002	SPECIFICATIONS
G-101	1ST FLOOR EGRESS PLAN
G-102	2ND FLOOR EGRESS PLAN
AD101	1ST & 2ND FLOOR DEMO PLANS
A-101	1ST FLOOR PLAN
A-102	2ND FLOOR PLAN
A-103	ROOF PLAN
A-104	1ST FLOOR REFLECTED CEILING PLAN
A-105	2ND FLOOR REFLECTED CEILING PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-204	EXTERIOR & INTERIOR ELEVATIONS
A-301	BUILDING SECTIONS
A-302	WALL SECTIONS
A-401	ENLARGED BATHROOM PLANS & ELEVATIONS
A-402	ENLARGED STAIR & RAMP PLANS & SECTIONS
A-501	DETAILS
A-502	DETAILS
A-601	DOOR SCHEDULE
A-602	WINDOW AND FINISH SCHEDULES

STRUCTURAL

S1.1	FOUNDATION PLAN
S2.1	FOUNDATION DETAILS
S2.2	FOUNDATION DETAILS
S3.1	FRAMING PLANS
S4.1	FRAMING DETAILS

MECHANICAL

ELECTRICAL

PLUMBING

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HOOVER & ASSOCIATES, INC.
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REGISTERED ARCHITECT MORRIS W. HOOVER III 20340 STATE OF TEXAS

7/21/2022

CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

Zeta Tau Alpha
Sorority House Addition
2711 Nueces Street
Austin, Texas 78705

REVISIONS	DATE

PROJECT NO.	1917
CAD FILE	1917 G-001
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Title Sheet

G-001

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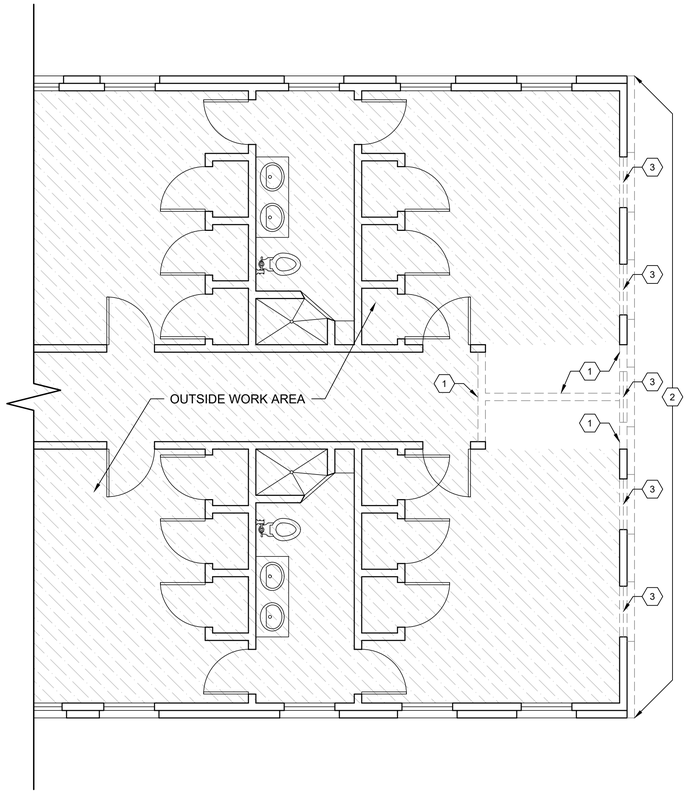


N

2 2nd Floor Demo Plan

SCALE: 1/4" = 1'-0"

WALL LEGEND

EXISTING WALL OR FEATURE TO BE REMOVED

EXISTING WALL TO REMAIN

GENERAL NOTES

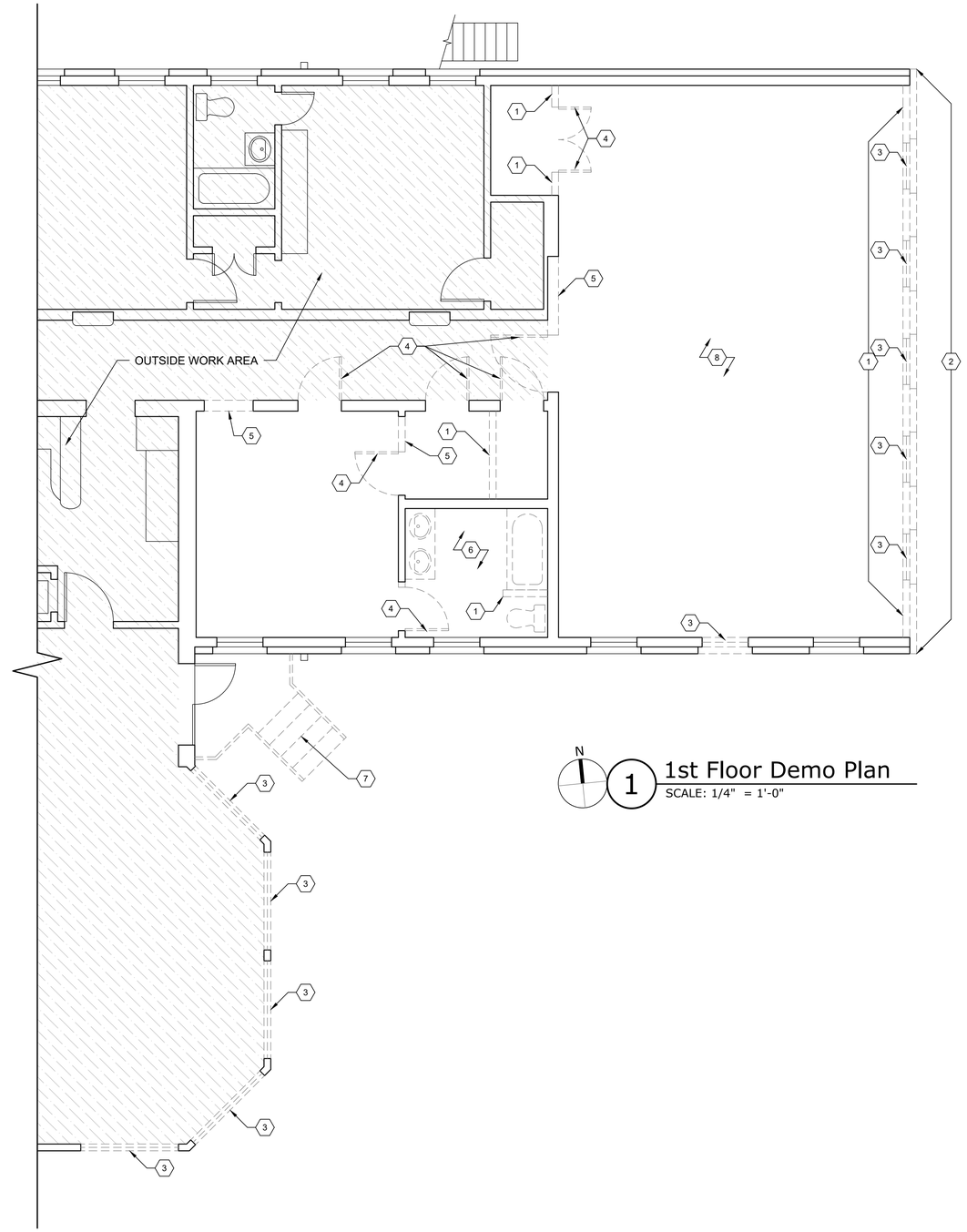
A. REFER TO CIVIL DRAWINGS FOR SITE DEMO INFORMATION

B. REMOVE EXISTING INTERIOR WALL FINISHES THROUGHOUT WORK AREA. INSPECT EXISTING FRAMING TO REMAIN FOR DAMAGE AND REPAIR OR REPLACE AS NECESSARY. SEE A-601 INTERIOR FINISH SCHEDULE FOR NEW FINISHES.

C. PATCH EXISTING CEILING/FLOOR FINISHES TO REMAIN AT DEMO'D WALL OR FEATURE

KEYNOTES

1. DEMO EXISTING WALL AS INDICATED.
2. DEMO EXISTING BRICK VENEER AS INDICATED.
3. REMOVE EXISTING WINDOW.
4. REMOVE EXISTING DOOR.
5. DEMO EXISTING WALL AS NECESSARY FOR NEW DOOR. SEE A-101 FIRST FLOOR PLAN A-601 DOOR SCHEDULE FOR INFO ON NEW DOOR.
6. REMOVE ALL EXISTING PLUMBING FIXTURES AND COUNTER MILLWORK IN BATHROOM.
7. DEMO EXISTING CONCRETE STOOP, STAIR & RAILING.
8. DEMO EXISTING FLOOR FINISH, CEILING, LIGHT FIXTURES AND CEILING FANS IN CHAPTER ROOM.



N

1 1st Floor Demo Plan

SCALE: 1/4" = 1'-0"

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REGISTERED ARCHITECT
CORRIGAN M. HOOVER
30340
STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition

2711 Nueces Street
Austin, Texas 78705

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1st & 2nd Floor Demo Plans

AD101

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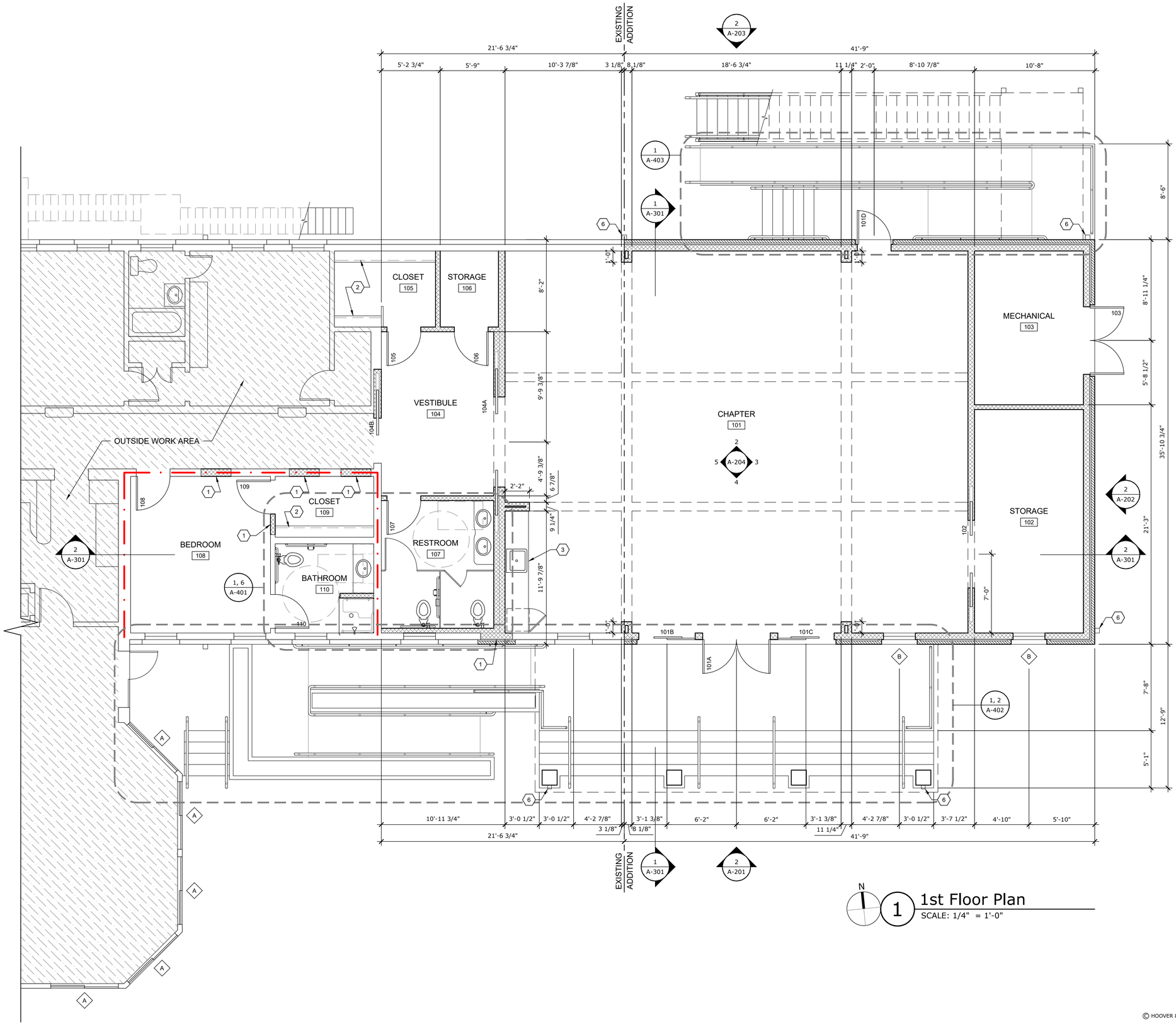

1 1st Floor Plan
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING INTERIOR WALL WITH 2x WOOD FRAMING TO REMAIN
- EXISTING EXTERIOR WALL WITH 2x6 WOOD FRAMING AND BRICK VENEER TO REMAIN
- NEW EXTERIOR WALL WITH 2x6 WOOD FRAMING @ 16" O.C. AND BRICK VENEER
- NEW INTERIOR WALL WITH 2x4 WOOD FRAMING @ 16" O.C.
- NEW INTERIOR WALL WITH 2x6 WOOD FRAMING @ 16" O.C.
- INDICATES FIRE PARTITION WITH 1 HOUR FIRE-RESISTANCE RATING

GENERAL NOTES

A. DIMENSIONS ARE TO FACE OF WALL FINISH OR CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.

B. SEE REFERENCED ENLARGED PLANS FOR INFORMATION ON PORCHES, STAIRS, RAMPS AND BATHROOMS.

C. SEE A/601 & A602 FOR INFORMATION ON NEW DOORS AND WINDOWS.

KEYNOTES

1. INFILL EXISTING OPENING AS INDICATED. MATCH ADJACENT WALL CONSTRUCTION.
2. NEW HANGER ROD AND SHELF.
3. NEW KITCHENETTE WITH 24" DEEP BASE CABINETS, MARBLE COUNTERTOP, UNDERCOUNTER REFRIGERATOR, SINK, AND PULL-OUT TRASH CAN. SEE ELEVATION 5/A-204.
4. NEW UTILITY COUNTER WITH 24" DEEP BASE CABINET, PLASTIC LAMINATE COUNTERTOP AND SINK.
5. NEW VANITY AND DRAWERS, SEE BUILDING SECTION 2/A-301.
6. NEW PAINT GRIP STEEL DOWNSPOUT, MATCH EXISTING.

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REGISTERED ARCHITECT
CHRISTOPHER M. HOOVER
30340
STATE OF TEXAS
7/21/2022

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Zeta Tau Alpha Sorority House Addition
2711 Nueces Street
Austin, Texas 78705

REVISIONS	DATE

PROJECT NO.	1917
CAD FILE	1917 A-101
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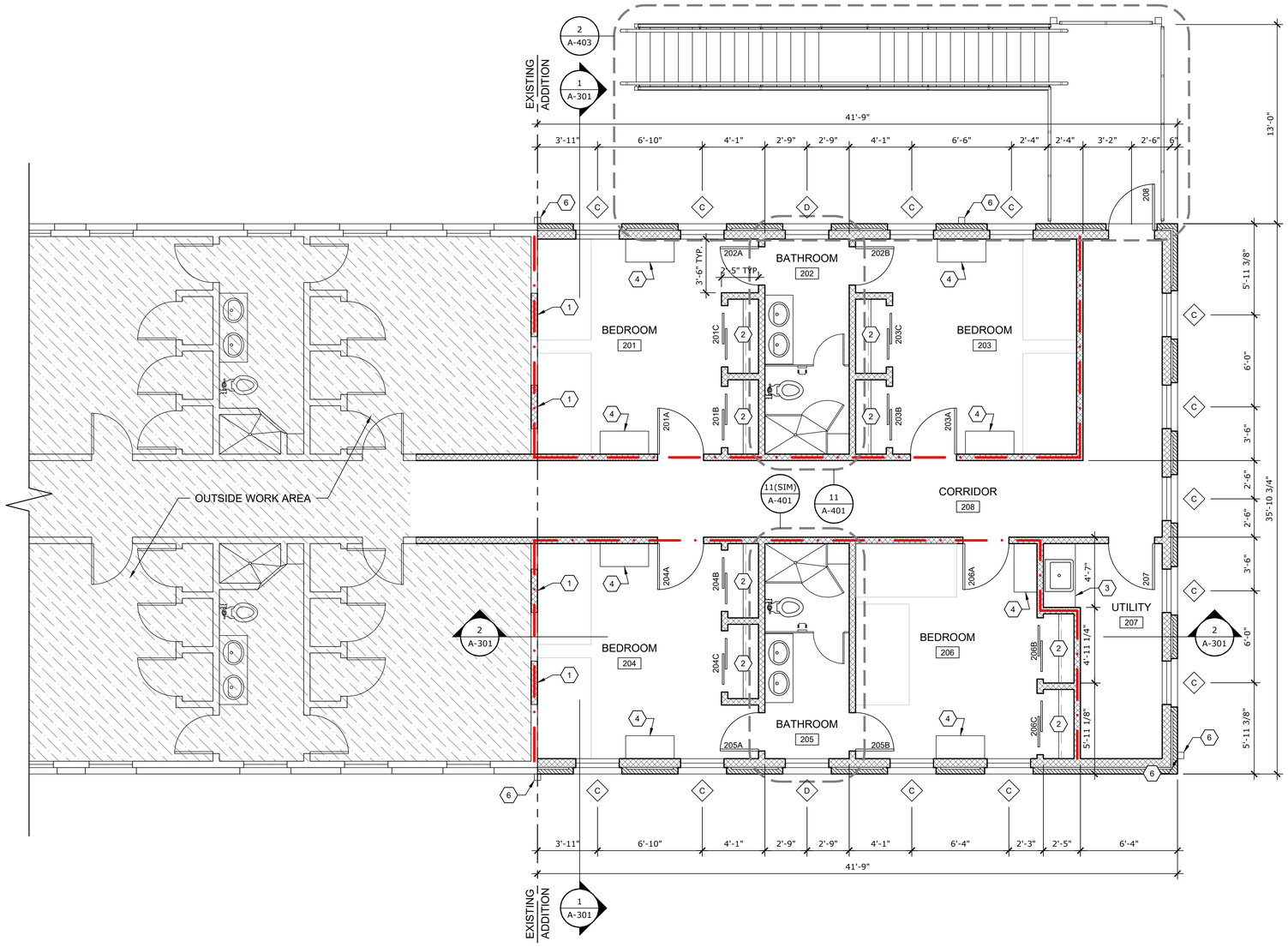
SCALE:	AS NOTED

1st Floor Plan

A-101

DWG - OF -



1 2nd Floor Plan

SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING INTERIOR WALL WITH 2x WOOD FRAMING TO REMAIN
- EXISTING EXTERIOR WALL WITH 2x6 WOOD FRAMING AND BRICK VENEER TO REMAIN
- NEW EXTERIOR WALL WITH 2x6 WOOD FRAMING @ 16" O.C. AND BRICK VENEER
- NEW INTERIOR WALL WITH 2x4 WOOD FRAMING @ 16" O.C.
- NEW INTERIOR WALL WITH 2x6 WOOD FRAMING @ 16" O.C.
- INDICATES FIRE PARTITION WITH 1 HOUR FIRE-RESISTANCE RATING

GENERAL NOTES

A. DIMENSIONS ARE TO FACE OF WALL FINISH OR CENTERLINE OF OPENING UNLESS NOTED OTHERWISE.

B. SEE REFERENCED ENLARGED PLANS FOR INFORMATION ON PORCHES, STAIRS, RAMPS AND BATHROOMS.

C. SEE A/601 & A602 FOR INFORMATION ON NEW DOORS AND WINDOWS.

KEYNOTES

1. INFILL EXISTING OPENING AS INDICATED. MATCH ADJACENT WALL CONSTRUCTION.
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5. NEW VANITY AND DRAWERS, SEE BUILDING SECTION 2/A-301.
6. NEW PAINT GRIP STEEL DOWNSPOUT, MATCH EXISTING.

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REGISTERED ARCHITECT
CHRISTOPHER M. HOOVER
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STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition

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Austin, Texas 78705

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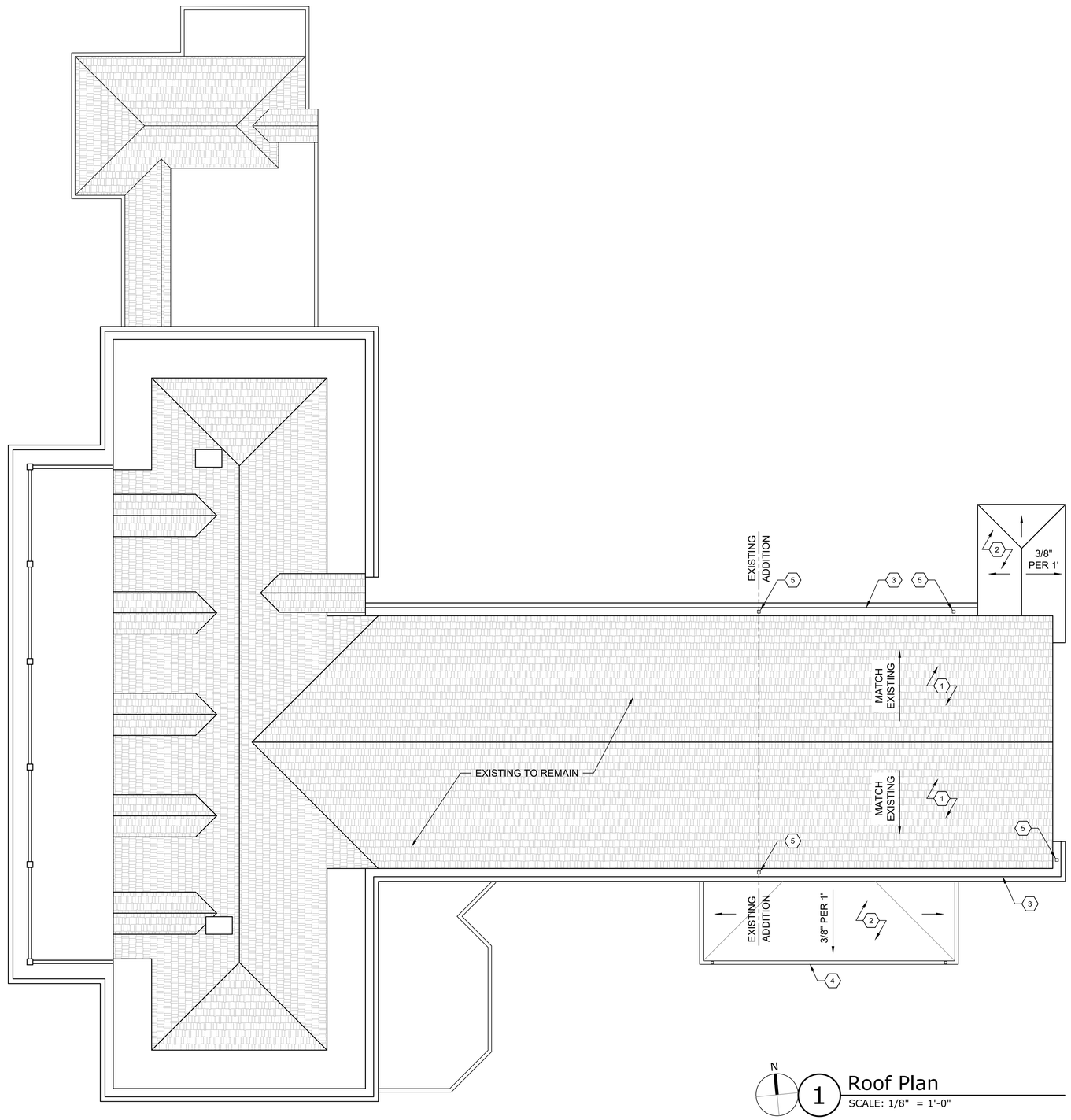
2nd Floor Plan

A-102

DWG - OF -



1 Roof Plan
SCALE: 1/8" = 1'-0"

KEYNOTES

1. NEW COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
2. NEW WHITE 60 MIL TPO MEMBRANE ROOFING SYSTEM.
3. CONTINUATION OF EXISTING EAVE AND HIDDEN GUTTER. NEW CONSTRUCTION TO MATCH EXISTING.
4. PAINT GRIP STEEL GUTTER AND DOWNSPOUTS, MATCH EXISTING AT SUN PORCH ROOF.
5. NEW PAINT GRIP STEEL DOWNSPOUT, MATCH EXISTING.

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REGISTERED ARCHITECT
CHRISTOPHER M. HOOVER
30340
STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition
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Austin, Texas 78705

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DATE:	mm-dd-yyyy
SCALE:	AS NOTED

Roof Plan

A-103

DWG - OF -

1 Existing South Elevation

SCALE: 3/16" = 1'-0"

2 Proposed South Elevation

SCALE: 3/16" = 1'-0"

KEYNOTES

1. NEW BRICK VENEER PAINTED WHITE TO MATCH EXISTING.
2. NEW GRAY COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
3. NEW EAVE AND HIDDEN GUTTER, CONTINUATION OF EXISTING. MATCH EXISTING CONSTRUCTION.
4. NEW SQUARE DOWNSPOUT, WHITE, SIZE AND MATERIAL TO MATCH EXISTING.
5. WOOD TRIM PAINTED WHITE TO MATCH EXISTING.
6. NEW DOUBLE-HUNG WINDOW, TYP. SEE A-101/102 FLOOR PLANS & A-602 WINDOW SCHEDULE.
7. NEW HINGED & SLIDING GLASS DOORS & TRANSOMS. SEE A-101 FLOOR PLAN & A-601 DOOR SCHEDULE.
8. GUTTER AND TRIM DETAILS AT NEW PORCH ROOF TO MATCH EXISTING AT SUN PORCH ROOF.
9. NEW 12"x12" WOOD CLAD COLUMN, TYP OF 4. PAINT WHITE, TRIM DETAILS TO MATCH EXISTING COLUMNS AT FRONT PORCH.
10. NEW SITE CAST CONCRETE PORCH, STEPS, RAMPS AND LANDINGS. SEE DETAILS ON A-402 & A-403.
11. NEW DRAIN PIPE FROM EXISTING DOWNSPOUT, BENEATH NEW PORCH TO FACE OF PLANTER. SEE 2/A-402.
12. NEW SLIDING GLASS DOORS TO REPLACE EXISTING. SEE A-101 FLOOR PLAN & A-601 DOOR SCHEDULE.
13. NEW CMU PLANTERS, INTEGRALLY COLORED "LIMESTONE". SEE 2/A-402 & 8/A501.
14. NEW GALVANIZED STEEL DOOR, PAINTED TO MATCH EXISTING EXTERIOR DOORS. SEE A-601 DOOR SCHEDULE.
15. NEW STEEL STAIRS WITH CLOSED RISERS AND CONCRETE FILLED TREADS/LANDINGS. STEEL COMPONENTS TO BE PRIMED AND PAINTED BLACK. SEE DETAILS ON A-403 & A-404.
16. NEW EXTERIOR WALL SCONCE, FULL CUTOFF AND FULLY SHIELDED, TYP. SEE A-104 REFLECTED CEILING PLAN.

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REGISTERED ARCHITECT
CHRISTON M. HOOVER
30340
STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition

2711 Nueces Street
Austin, Texas 78705

REVISIONS	DATE

PROJECT NO.	1917
CAD FILE	1917 A-201
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Exterior Elevations

A-201

DWG - OF -

1 Existing East Elevation

SCALE: 3/16" = 1'-0"

2 Proposed East Elevation

SCALE: 3/16" = 1'-0"

KEYNOTES

1. NEW BRICK VENEER PAINTED WHITE TO MATCH EXISTING.
2. NEW GRAY COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
3. NEW EAVE AND HIDDEN GUTTER, CONTINUATION OF EXISTING. MATCH EXISTING CONSTRUCTION.
4. NEW SQUARE DOWNSPOUT, WHITE, SIZE AND MATERIAL TO MATCH EXISTING.
5. WOOD TRIM PAINTED WHITE TO MATCH EXISTING.
6. NEW DOUBLE-HUNG WINDOW, TYP. SEE A-101/102 FLOOR PLANS & A-602 WINDOW SCHEDULE.
7. NEW HINGED & SLIDING GLASS DOORS & TRANSOMS. SEE A-101 FLOOR PLAN & A-601 DOOR SCHEDULE.
8. GUTTER AND TRIM DETAILS AT NEW PORCH ROOF TO MATCH EXISTING AT SUN PORCH ROOF.
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10. NEW SITE CAST CONCRETE PORCH, STEPS, RAMPS AND LANDINGS. SEE DETAILS ON A-402 & A-403.
11. NEW DRAIN PIPE FROM EXISTING DOWNSPOUT, BENEATH NEW PORCH TO FACE OF PLANTER. SEE 2/A-402.
12. NEW SLIDING GLASS DOORS TO REPLACE EXISTING. SEE A-101 FLOOR PLAN & A-601 DOOR SCHEDULE.
13. NEW CMU PLANTERS, INTEGRALLY COLORED "LIMESTONE". SEE 2/A-402 & 8/A501.
14. NEW GALVANIZED STEEL DOOR, PAINTED TO MATCH EXISTING EXTERIOR DOORS. SEE A-601 DOOR SCHEDULE.
15. NEW STEEL STAIRS WITH CLOSED RISERS AND CONCRETE FILLED TREADS/LANDINGS. STEEL COMPONENTS TO BE PRIMED AND PAINTED BLACK. SEE DETAILS ON A-403 & A-404.
16. NEW EXTERIOR WALL SCONCE, FULL CUTOFF AND FULLY SHIELDED, TYP. SEE A-104 REFLECTED CEILING PLAN.

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REGISTERED ARCHITECT
CREIGHTON M. HOOVER
20340
STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition

2711 Nueces Street
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SCALE:	AS NOTED

Exterior Elevations

A-202

DWG - OF -

KEYNOTES

1. NEW BRICK VENEER PAINTED WHITE TO MATCH EXISTING.
2. NEW GRAY COMPOSITION SHINGLE ROOFING TO MATCH EXISTING.
3. NEW EAVE AND HIDDEN GUTTER, CONTINUATION OF EXISTING. MATCH EXISTING CONSTRUCTION.
4. NEW SQUARE DOWNSPOUT, WHITE, SIZE AND MATERIAL TO MATCH EXISTING.
5. WOOD TRIM PAINTED WHITE TO MATCH EXISTING.
6. NEW DOUBLE-HUNG WINDOW, TYP. SEE A-101/102 FLOOR PLANS & A-602 WINDOW SCHEDULE.
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1 Existing North Elevation

SCALE: 3/16" = 1'-0"

2 Proposed North Elevation

SCALE: 3/16" = 1'-0"

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REGISTERED ARCHITECT
CHRISTOPHER M. HOOVER
30340
STATE OF TEXAS

7/21/2022

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Zeta Tau Alpha Sorority House Addition

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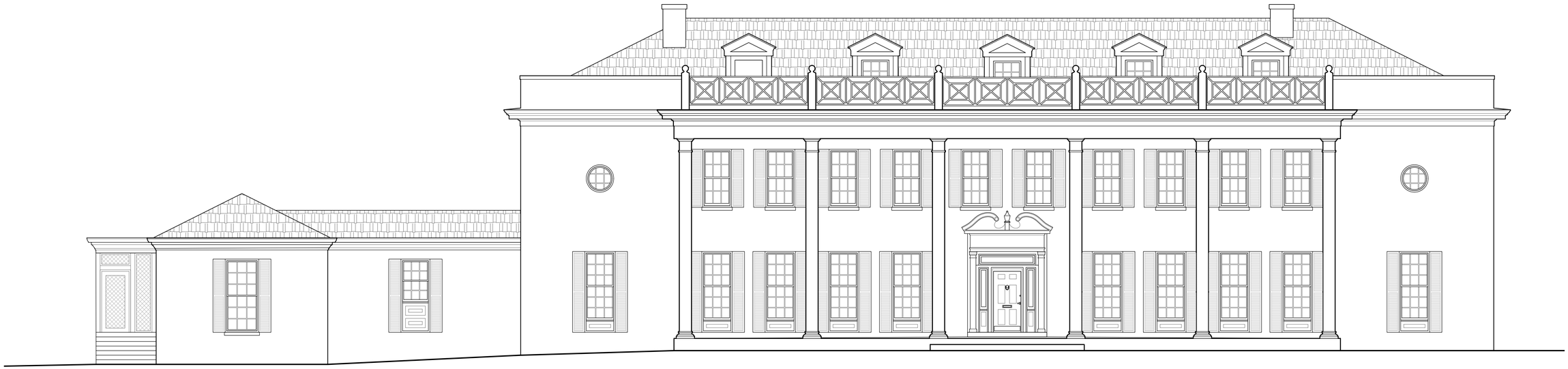
Exterior Elevations

A-203

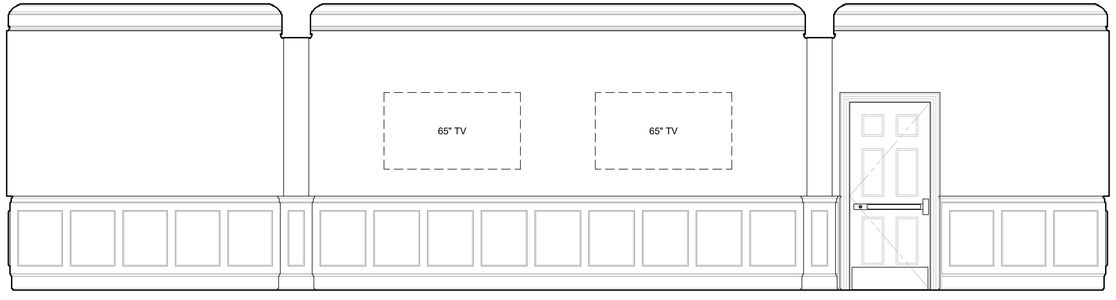
DWG - OF -



1 Existing/Proposed West Elevation

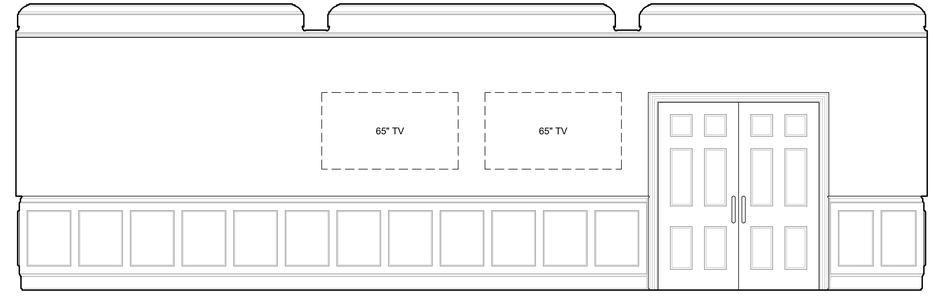
SCALE: 3/16" = 1'-0"

NO ALTERATIONS PROPOSED,
ELEVATION SHOWN FOR REFERENCE ONLY



2 Chapter Room - North

SCALE: 3/8 = 1'-0"

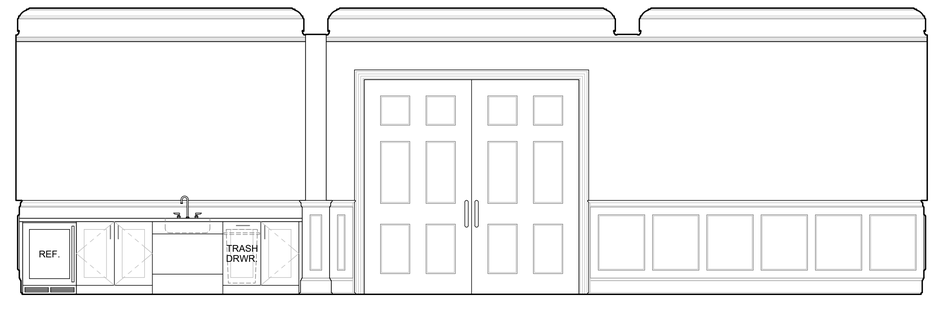


3 Chapter Room - East

SCALE: 3/8 = 1'-0"

4 Chapter Room - South

SCALE: 3/8" = 1'-0"



5 Chapter Room - West

SCALE: 3/8" = 1'-0"

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REGISTERED ARCHITECT
CHRISTOPHER M. HOOVER
30340
STATE OF TEXAS

7/21/2022

CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND NOTIFY THE ARCHITECT OF ANY DIMENSIONS, CONDITIONS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.

Zeta Tau Alpha Sorority House Addition

2711 Nueces Street
Austin, Texas 78705

REVISIONS	DATE

PROJECT NO.	1917
CAD FILE	1917 A-201
DRAWN BY	CH
CHECKED BY	MWH
DATE:	mm-dd-yyyy
SCALE:	AS NOTED

Exterior & Interior Elevations

A-204

DWG - OF -