

## SUBDIVISION REVIEW SHEET

**CASE NO.:** C8J-2021-0141

**ZAP DATE:** September 13, 2022

**SUBDIVISION NAME:** Gullahorn, Phase 1A Preliminary Plan

**AREA:** 16.40 acres

**LOT(S):** 98

**OWNER/APPLICANT:** Blackburn Homes (Rick Hanna)

**AGENT:** Atwell, LLC (David Fusilier)

**ADDRESS OF SUBDIVISION:** 5300 Gregg Lane

**GRIDS:** Q32

**COUNTY:** Travis

**WATERSHED:** Gilleland Watershed

**JURISDICTION:** 2-mile ETJ

**EXISTING ZONING:** N/A

**MUD PLAN:** N/A

**PROPOSED LAND USE:** Residential – single family lots, open space/drainage easement lots, public utility easements (PUEs) lots, and public ROW

**VARIANCES:** None

**SIDEWALKS:** Sidewalks will be provided along all internal streets and the boundary street.

**DEPARTMENT COMMENTS:** The request is for the approval of the Gullahorn, Phase 1A Preliminary Plan. The plan is comprised of 98 total lots on approximately 16.40 acres including 90 single family lots, 4 open space/drainage easement lots, 4 public utility easement lots, and 3,562 linear feet of streets. The property connects to Gregg Lane. Parkland will be in compliance with the Single Office/Title 30. Water and wastewater will be provided by will be provided by the City of Austin.

Staff recommends approval of the preliminary plan, subject to the conditions listed in the attached comment report. After the conditions are met, the plan will comply with LDC 30-2-84. The conditions include remove or update notes, define easements, update engineer's report and drainage information, environmental, etc. These are administrative actions that require no discretionary review. An application that has been approved with conditions may be updated to address those conditions until the application expires and the plan does not need to be heard before the Commission again.

**STAFF RECOMMENDATION:** Staff recommends approval of the preliminary plan, subject to the conditions listed in the comment report dated September 7, 2022 and attached as Exhibit C.

**CASE MANAGER:** Paul Scoggins, Travis County Single Office **PHONE:** 512-854-7619  
Email address: [Paul.Scoggins@traviscountytexas.gov](mailto:Paul.Scoggins@traviscountytexas.gov)

Exhibit A: Gullahorn, Phase 1A Preliminary Plan

Exhibit B: Gullahorn, Phase 1A Location Map

Exhibit C: Gullahorn, Phase 1A Preliminary Plan Comment Report

**CITY OF AUSTIN – TRAVIS COUNTY – SINGLE SUBDIVISION OFFICE  
SUBDIVISION APPLICATION – MASTER COMMENT REPORT**



CASE NUMBER: C8J-2022-0141  
REVISION #: 00  
CASE MANAGER: Paul J. Scoggins  
UPDATE: U0  
PHONE #: (512)854-7619

PROJECT NAME: Gullahorn Subdivision, Phase 1A  
LOCATION: 5300 GREGG LN

SUBMITTAL DATE: August 15, 2022  
REPORT DUE DATE: September 13, 2022  
FINAL REPORT DATE: September 7, 2022

**STAFF REPORT:**

This report includes all staff comments received to date concerning your most recent subdivision application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal. The subdivision application will be approved when all requirements from each review discipline have been addressed.

If you have any questions, concerns or if you require additional information about this report, please contact your case manager at the phone number listed above or by using the contact information listed for each reviewer in this report.

Any change to the plan/plat shall not cause noncompliance with any applicable code or criteria. In addition, any change to the plat may trigger new comments.

**UPDATE DEADLINE (LDC 30-2-56; 30-2-82):**

All comments must be addressed by filing an updated submittal prior to the update deadline of (90 days from submittal) **November 14, 2022**. Otherwise, the application will expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Extension of Review Period, Extension of Update Deadline and Tolling of Application Period do not apply to applications for preliminary plan, plat or subdivision construction plans (LDC).

**UPDATE SUBMITTAL INSTRUCTIONS (LDC 30-1-113):**

1. Applicants must contact Intake Staff (974-1770) in order to submit an update.
2. Your update must include the following items:
  - a. The revised plat/plan in pdf format
  - b. A letter that addresses each comment in the master comment report
3. Updates must be submitted on an approved submittal date. Refer to the submittal calendar for a list of approved submittal dates.

**A formal update submittal is required.**

**REVIEWERS:**

Planner 1: Chima Onyia  
Site Plan Plumbing: Juan Beltran  
Electric Review: Betty Nguyen  
Environmental Review: Enrique Maiz-Torres  
AW Utility Development Services: Bradley Barron

Wetlands Biologist Review: Hank Marley  
Travis Co. Subdivision Review: Paul J.Scoggins  
Travis Co. Drainage Review: Manny Duarte  
911 Addressing Review: Janny Phung

- EL 1.** Fifteen (15) foot electric distribution, electric telecommunications, and electric fiber easement (15' E.T.E.) is required adjacent to Gregg Lane R.O.W. Show the easement on the face of the plat.

**LDC § 30-2-132 EASEMENTS AND ALLEYS.**

*(A) Easements for public utilities and drainage ways shall be retained in all subdivisions in the widths and locations determined necessary by the single office. All easements shall be dedicated to public use for the named purpose and shall be aligned to minimize construction and future maintenance costs.*

*Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046*

- EL 2.** Please revise 10' AE easement as shown in all inside streets as 10' electric distribution, electric telecommunications, and electric fiber easement (10' E.T.E.)

**LDC § 30-2-132 EASEMENTS AND ALLEYS.**

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*Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046*

- EL 3.** Please add/include P.U.E. to all lots being dedicated as Open Space/D.E. (e.g. Lot 1A, Block F, Lot 1A, Block E.)

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*Source: City Code § 25-4-132; County Code § 82.202(p); Ord. 031211-11; Ord. 031211-42; Ord. 20131017-046*

- EL 4.** Please add the following note to Notes section on page 2:  
Any relocation of electric facilities shall be at landowner's/developer's expense.

**§ 30-1-113 - APPLICATION REQUIREMENTS**

- EL 5.** Please replace note no. 18 of the Notes section on page 2 with the following notes:  
Austin Energy has the right to prune and/or remove trees, shrubbery and other obstructions to the extent necessary to keep the easements clear. Austin Energy will perform all tree work in compliance with Chapter 30-5, Subchapter B of the Austin/Travis County Subdivision Regulations.

**§ 30-1-113 - APPLICATION REQUIREMENTS**

- EL 6.** Please replace note no. 19 of the Notes section on page 2 with the following notes:  
The owner/developer of this subdivision/lot shall provide Austin Energy with any easement and/or access required, in addition to those indicated, for the installation and ongoing maintenance of overhead and underground electric facilities. These easements and/or access are required to provide electric service to the building and will not be located so as to cause the site to be out of compliance with Chapter 30-2 of the Austin/Travis County Subdivision Regulations. **§ 30-1-113 - APPLICATION REQUIREMENTS**

**Environmental Review - Enrique Maiz-Torres – Enrique.maiz-torres@austintexas.gov**

Update 1 9/7/2022

EV 1 – Comment Cleared.

EV 2 – Provide an exhibit showing:

- Proposed lot lines;
- Proposed ROW lines;
- Proposed pond location(s) and pond driveway(s)
- Slopes from 15 to 25%; and
- Slopes over 25%.

LDC 30-5 / 25-8-301 & 302

**Update 1 Comment Pending. This subdivision plan proposes single-family residential lot(s) on a slope with a gradient in excess of 15%. Provide a note stating: “Slopes in excess of 15 percent exist on [insert Block \_\_, Lot \_\_]. Construction on slopes is limited per the Land Development Code and Environmental Criteria Manual.”**  
**[LDC 25-8, Subchapter A, Article 7; ECM 1.8.0, 1.11.0]**

EV 3 – Provide an exhibit showing:

- Proposed lot lines;
- Proposed ROW lines;
- Proposed pond location(s) and pond driveway(s)
- Grading from 4 to 8 feet; and
- Grading over 8 feet.

LDC 30-5 / 25-8-341 & 342

**Update 1 Comment Pending. Grading over than 8 feet will requires commission variance.**

**AW Utility Development Services - Bradley Barron - 512-972-0078**

AW1. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

The landowner intends to serve each lot with City of Austin water and wastewater utilities. Each lot must have a separate water and wastewater utility connection and no existing or proposed plumbing may cross lot lines. The landowner, at own expense, will be responsible for providing the water and wastewater utility improvements, offsite main extensions, system upgrades, utility relocations and or abandonments to serve each lot.

AW2. Per City Ordinance 20120524-139, §25-4-175:

Flag lot is proposed in Lot 1 Block F as well as a public wastewater main. A driveway and utility plan are required with plan submittal for plans utilizing flag lots with proposed main extensions greater than 100'. Written approval from a representative of the AW Pipeline Engineering Review team and the AW Site Plan Plumbing Review team will be required prior to plan submittal.

Submit a copy of the utility plan to Jason Inge at [Jason.Inge@austintexas.gov](mailto:Jason.Inge@austintexas.gov) to obtain approval from the AW Pipeline Engineering Review team.

Also submit a copy to assigned Site Plan Plumbing Review reviewer and obtain approval.

AW3. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

Add the following note to the plan:  
WATER METERS AND CLEANOUTS SHALL NOT BE LOCATED IN DRIVEWAYS OR  
SIDEWALKS.

AW4. Per Utility Criteria Manual Section 2, §15-9, §30-2, §25-5, §25-9, and the Uniform Plumbing Code:

Add the following note to the plan:

EACH LOT SHALL HAVE INDEPENDENT WATER METERS AND CLEANOUTS AND PRIVATE PLUMBING SHALL NOT CROSS LOT LINES. PRIVATE LINES MAY CROSS PERPENDICULARLY BUT OTHERWISE SHALL NOT BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT.

FYI. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

**Wetlands Biologist Review - Hank Marley - [hank.marley@austintexas.gov](mailto:hank.marley@austintexas.gov)**

Update 0 8/30/2022

*Please be advised that additional comments may be generated as update information is reviewed. If an update has been rejected, reviewers are not able to clear comments based on phone calls, emails, or meetings but must receive formal updates in order to confirm positive plan set changes. CEFs and their buffers must be shown on all site plan sheets.*

- WB 1 Pursuant to LDC 25-8-281(C)(2)(a) please add a note to the coversheet stating that: "All activities within the CEF and CEF buffer must comply with the City of Austin Code and Criteria. The natural vegetative cover must be retained to the maximum extent practicable; construction is prohibited; and wastewater disposal or irrigation is prohibited."
- WB 2 Please include a preliminary note indicating "A CEF mitigation plan is required. The details for the mitigation plan will be reviewed, approved, and executed during the Subdivision Construction Plans. No certificate of occupancy will be issued until mitigation plan has been completed and released."
- WB 3 Clearly show the boundary of all wetland CEFs and clearly label the features: "WETLAND CEF". Reference the Environmental Resource Inventory provided with this submittal.
- WB 4 Clearly show and label "WETLAND CEF SETBACK" the standard 150 ft CEF setback on all plan sheets. Reference the Environmental Resource Inventory provided with this submittal.
- WB 5 Remove proposed grading of CEF Wetland 1 & Wetland 2. A water quality pond has not been approved to be placed over a wetland CEF.

**Travis Co. Subdivision Review - Paul J. Scoggins - (512)854-7619**

Release of this application does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the application is reviewed for code compliance by city engineers.

All comment pursuant to LDC § 30-1-113

1. For Travis County Transportation Review, Drainage Engineering Review, and Subdivision Review, provide a complete application as described in the Completeness Checklist, including the following documents.

All elements listed below are required for intake into the Completeness Check process:

<https://www.traviscountytexas.gov/tnr/permits/subdivisions>

o Cover letter sealed by Texas Licensed Professional Engineer, describing the major elements of the project, all jurisdictions affecting the project, all approvals that are required for the project, identifying any pre-requisite requirements for subdivision application submittal, and identifying all documents submitted as part of the completed subdivision application, including all documents required under each code compliance summary, with all required information found listed in the Completeness Checklist;

o A completed Travis County Subdivision Application Completeness Checklist sealed by a Texas Licensed Professional Engineer;

o All documentation addressing completed Prerequisites;

o Reports must be finalized instead of drafts.

o Completed Code Compliance Summaries sealed by a Texas Licensed Professional Engineer;

o All application documents required by code, listed in the Completeness Checklist and Code Compliance summaries, or required in a completeness or compliance review.

<https://www.traviscountytexas.gov/images/tnr/Docs/Drainage-Criteria-Manual-08302019.pdf>

<https://www.traviscountytexas.gov/images/tnr/Docs/Transportation-Criteria-Manual-08302019.pdf>

<https://www.traviscountytexas.gov/images/tnr/Docs/Title-30-Code-Compliance-Summary-04092020.pdf>

- a. Please confirm that all of the above documents have been provided.
- b. Cleared for CC. Will be required for formal submittal.
- c. If not previously uploaded, please upload these reports.

3. FYI: Please include a response report to the comments that were issued stating how the comment was addressed.

7. Please show sidewalks along streets as a dotted line and reference them in the legend. Add this as a plat note AND list the streets in the note.

a. Sidewalks not shown as a dotted line in the legend.

Public sidewalks are required along the streets as shown by a dotted line on the face of the plat.

The sidewalks are required to be constructed by the property owner after the abutting roadway is improved and concrete curbs are in place. Failure to construct the required sidewalks may result in the withholding of certificates of occupancy, building permits, or utility connections by the governing body or utility company.

b. Please verify if sidewalks need to be shown along Gregg Lane. If so, please show as a dotted line.

- d. Title 30 does not have a fee in lieu. Sidewalks should be shown AND the City's sidewalk deferral note can be used for Gregg Lane IF sidewalks won't be constructed at this time.
- e. Sidewalks need to be shown as a dotted line along the ROWs and shown in the legend. Example: Sheet 4 – Overall layout page.
- 17. Provide the letter from E-911 addressing verifying the proposed street names have been approved for this subdivision. COA Addressing also wants to be informed of all new streets and any street realignments, and vacations/abandonments (including dedications by separate instrument, by deed, etc.). They need to be contacted during the review process. The contact for this portion is Cathy Winfrey at 974-2398 or [cathy.winfrey@austintexas.gov](mailto:cathy.winfrey@austintexas.gov)
  - a. Will be required with formal submittal.
- 20. Show a survey tie across all existing streets bordering or traversing this subdivision to verify right-of-way width.
  - a. Pending. Survey ties not found.
  - b. A survey tie completely across showing the other side of Gregg Lane's boundary should be shown. Example: Sheet 4 – Overall layout.
- 21. Please include Travis County's approval block in the blank space.
- 22. Please show the temporary turnaround easements on all pages. Example: Sheet 4 – Overall layout.

**911 Addressing Review - Janny Phung -**

Please make sure all streets names have been reserved and approved by E-911 Addressing. Contact [Janny.Phung@austintexas.gov](mailto:Janny.Phung@austintexas.gov) prior to the resubmittal of the update. 30-1-113

**Travis Co. Transportation Review - Manny Duarte - 512-854-7581**

All transportation comments cleared.

**Travis Co. Drainage Construction Review - Manny Duarte - 512-854-7581**

36. Indicate the status of easements for the offsite ww line.  
Comment still pending. Provide status of easements with AWU.  
UPDATE: Comment still pending on permanent ww easements and temporary construction easements.

**UPDATE: Comment still pending.**

**Additional comments may be generated upon receipt of new information. Please provide on the next submittal a summary letter describing in detail how the comments were addressed. Also include in the letter if any sheets are deleted, combined or new sheets added in the submittal.**

**Site Plan Plumbing - Juan Beltran - 512-972-2095**

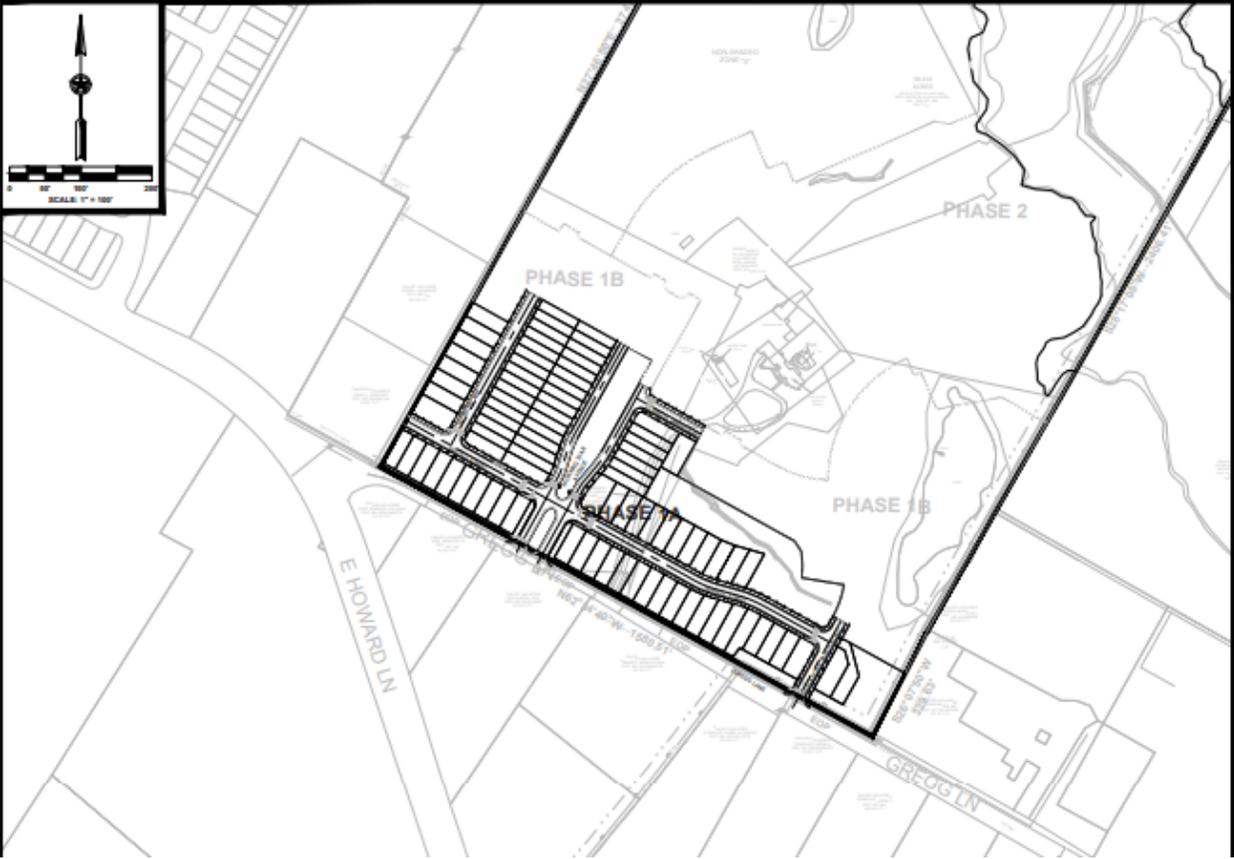
Pursuant to compliance with Sections 307.1, 609.6, and 721.1 of the 2021 Uniform plumbing code, add note that conveys the following: **Each Lot within this subdivision shall have separate sewer taps, separate water meters, and their respective private water and sewer service lines shall be positioned or located in a manner that will not cross lot lines.**

**End of Master Comment Report**

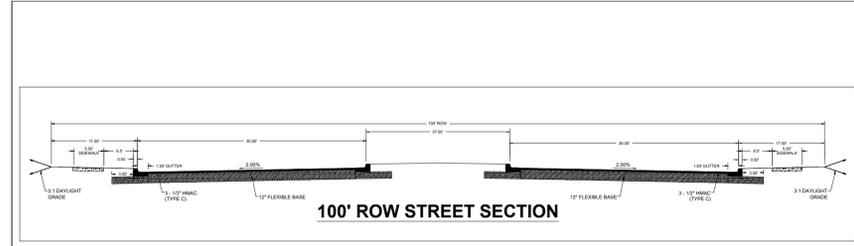
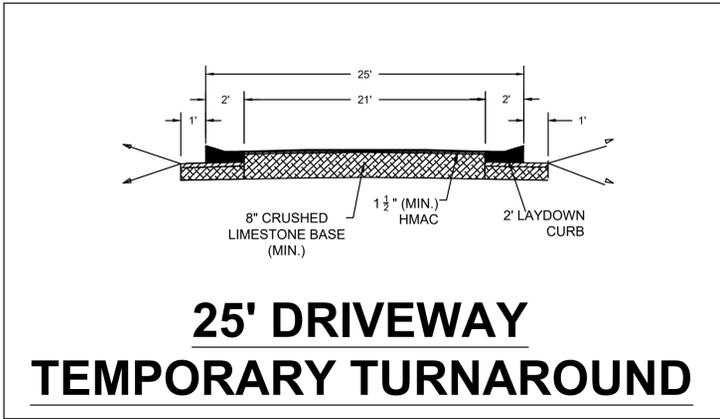
Location Map

Precinct Two

# PRELIMINARY PLAN FOR GULLAHORN SUBDIVISION PHASE 1A

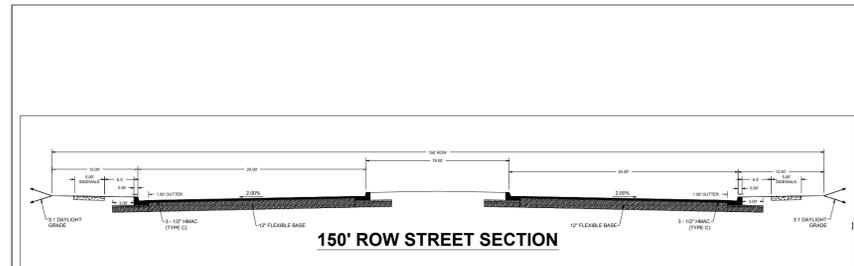






- NOTES:
- BASED ON CITY OF AUSTIN STD. DETAIL NO. 1000S-12.
  - BASE COURSE TO EXTEND BEYOND CURB 0.3 mm (1') FOR SOILS WITH PI OF 20 OR LESS, 0.9 m (3') FOR ALL OTHER SOILS.
  - 100 mm (4") MINIMUM THICKNESS OF BASE UNDER CURB.
  - STRAIGHT CROWN.
  - PAVEMENT THICKNESS IS A MINIMUM. ACTUAL THICKNESS TO BE DETERMINED BASED ON COMPUTERIZED PAVEMENT DESIGN.

**DESIGN FOR MORNING STAR AVENUE  
ENTRANCE POINT  
SECTION A-A**



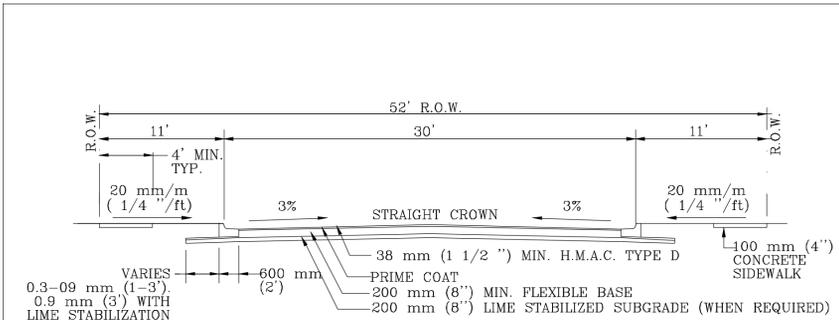
- NOTES:
- BASED ON CITY OF AUSTIN STD. DETAIL NO. 1000S-12.
  - BASE COURSE TO EXTEND BEYOND CURB 0.3 mm (1') FOR SOILS WITH PI OF 20 OR LESS, 0.9 m (3') FOR ALL OTHER SOILS.
  - 100 mm (4") MINIMUM THICKNESS OF BASE UNDER CURB.
  - STRAIGHT CROWN.
  - PAVEMENT THICKNESS IS A MINIMUM. ACTUAL THICKNESS TO BE DETERMINED BASED ON COMPUTERIZED PAVEMENT DESIGN.

**DESIGN FOR MORNING STAR AVENUE  
SECTION B-B**

NOTE: ABOVE STREET CROSS-SECTIONS ARE MODIFICATIONS OF CITY OF AUSTIN STANDARD DETAILS.

**PUBLIC R.O.W.**

	Gregg Lane	SENTLELL STREET	JACKSON LANE	MORNING STAR AVENUE	ANGEL KNOT LANE	GULLAHORN RANCH ROAD
Classification	collector	local	local	collector	local	local
ROW Width	43'	52'	52'	boulevard, each side 38'	52'	52'
Pavement Width	24'	30'	30'	boulevard, each side 24'	30'	30'
Cross-Section	none	curb and gutter	curb and gutter	curb and gutter	curb and gutter	curb and gutter
Sidewalk Location	none	both sides	both sides	outer sides	both sides	both sides



- NOTES:
- BASE COURSE TO EXTEND BEYOND CURB 0.3 m (1') FOR SOILS WITH PI OF 20 OR LESS, 0.9 m (3') FOR ALL OTHER SOILS.
  - 100 mm (4") MINIMUM THICKNESS OF BASE UNDER CURB.
  - STREETS HAVE A STRAIGHT CROWN.
  - PAVEMENT THICKNESS IS A MINIMUM. ACTUAL THICKNESS TO BE DETERMINED BASED ON COMPUTERIZED PAVEMENT DESIGN.

**DESIGN FOR LOCAL STREETS**

**WATER AND WASTEWATER SERVICE EXTENSION REQUEST FOR CONSIDERATION**

Name: Gregg Lane Subdivision Service Requested: Wastewater

MR-4942 House Service Request Number: 849346 Date Received: 11/19/2020

Location: 1506 GREGG LN, AUSTIN TX 78704 Gullhorn Subdivision

Acres: 98.48 Land Use: SINGLE FAMILY EIR: NO

All Utility Service as S.E.R. Number: City of Austin Water 838-4863

Quantity: Q31 Q33 Estimated Pressure Zone: Q30: YES

Drainage Basin: GREGG LANE Pressure Zone: NORTH PARP: NO

Plan Estimated Peak Wet Weather: 342 GPM FRR: FLUOR: 1.00 GPM

Cost Participation: 0%  1/3  1/2  2/3  3/4  5/6  Other

**WATER AND WASTEWATER SERVICE EXTENSION REQUEST FOR CONSIDERATION**

Name: Gregg Lane Subdivision Service Requested: Water

MR-4942 House Service Request Number: 849346 Date Received: 11/19/2020

Location: 1506 GREGG LN, AUSTIN TX 78704 Gullhorn Subdivision

Acres: 98.48 Land Use: SINGLE FAMILY EIR: NO

All Utility Service as S.E.R. Number: City of Austin Water 838-4863

Quantity: Q31 Q33 Estimated Pressure Zone: Q30: YES

Drainage Basin: GREGG LANE Pressure Zone: NORTH PARP: NO

Plan Estimated Peak Dry Weather: 342 GPM FRR: FLUOR: 1.00 GPM

Cost Participation: 0%  1/3  1/2  2/3  3/4  5/6  Other

**WATER AND WASTEWATER SERVICE EXTENSION REQUEST FOR CONSIDERATION**

Name: Gregg Lane Subdivision Service Requested: Water

MR-4942 House Service Request Number: 849346 Date Received: 11/19/2020

Location: 1506 GREGG LN, AUSTIN TX 78704 Gullhorn Subdivision

Acres: 98.48 Land Use: SINGLE FAMILY EIR: NO

All Utility Service as S.E.R. Number: City of Austin Water 838-4863

Quantity: Q31 Q33 Estimated Pressure Zone: Q30: YES

Drainage Basin: GREGG LANE Pressure Zone: NORTH PARP: NO

Plan Estimated Peak Dry Weather: 342 GPM FRR: FLUOR: 1.00 GPM

Cost Participation: 0%  1/3  1/2  2/3  3/4  5/6  Other

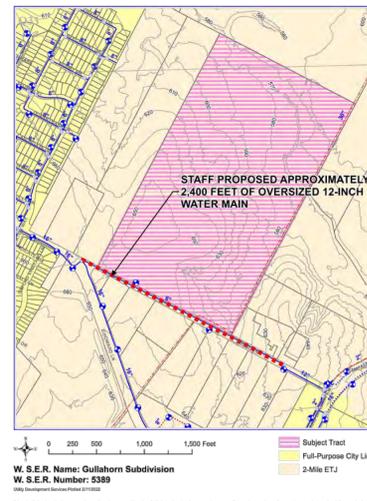
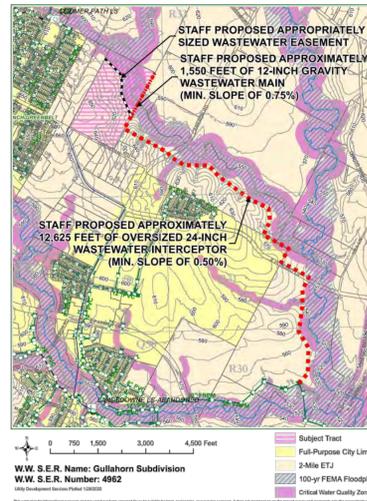
**LOT/BLOCK/USAGE TABLE**

Single-Family	A	21
Single-Family	B	10
Single-Family	C	8
Single-Family	D	32
Single-Family	E	19
<b>Total Single-Family</b>		<b>90</b>
Drainage/Open Space	E	1
Drainage/Open Space	F	1
Drainage/Open Space		2
<b>Total Drainage/Open Space</b>		<b>4</b>
PUE	E	1
PUE		3
<b>Total PUE</b>		<b>4</b>
<b>TOTAL LOTS</b>		<b>98</b>

TOTAL SITE AREA: 16.4 ac

**NOTES**

- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY CITY OF AUSTIN OR TRAVIS COUNTY.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
- THIS SUBDIVISION IS IN THE 2-MILE EXTRA-TERRITORIAL JURISDICTION OF THE CITY OF AUSTIN.
- WATER & WASTEWATER SERVICE WILL BE SERVED BY THE CITY OF AUSTIN, ELECTRIC SERVICE WILL BE PROVIDED BY AUSTIN ENERGY.
- THE OWNER OF THIS SUBDIVISION, AND HIS/HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY ON-SITE FLOODING OR OTHER APPROVED METHODS.
- THE 100 YEAR FLOODPLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENT(S) SHOWN HEREON. A PORTION OF THE TRACT IS WITHIN THE 100 YEAR FLOOD PLAIN, OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL #48453002904, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS.
- OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND/OR HIS/HER ASSIGNS. PUBLIC UTILITY EASEMENTS WILL BE FURTHER DEFINED ON THE FINAL PLAT. THESE LOTS ARE RESTRICTED AGAINST RESIDENTIAL DEVELOPMENT.
- EROSION AND SEDIMENTATION CONTROLS FOR SINGLE FAMILY CONSTRUCTION: IT SHALL BE THE RESPONSIBILITY OF THE LOT OWNER/ BUILDER TO INSTALL AND MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROLS DOWNHILL OF THE DISTURBED AREAS DURING THE PERIOD OF HOUSE CONSTRUCTION.
- UTILITY SYSTEM: NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL THE BUILDING IS CONNECTED TO CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
- THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THE SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA INCLUDING APPROVED WAIVERS. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. THE WATER AND WASTEWATER UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
- THE PROPOSED WATER AND WASTEWATER ALIGNMENTS AND SIZING SHOWN ON THE PRELIMINARY PLAN HAVE NOT BEEN APPROVED BY AUSTIN WATER. FINAL EASEMENTS, IF NECESSARY, MUST BE APPROVED BY AUSTIN WATER AS TO FORM, TYPE, AND WIDTH.
- EROSION/SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, PURSUANT TO CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL ACCORDING TO THE CITY OF AUSTIN.
- WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT PURSUANT TO THE LAND DEVELOPMENT CODE.
- APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATION FROM THE CITY'S LAND DEVELOPMENT REGULATIONS IN THE FINAL PLAT, CONSTRUCTION PLAN OR SITE PLAN STAGE, UNLESS SUCH DEVIATIONS HAVE BEEN SPECIFICALLY REQUESTED IN WRITING AND SPECIFICALLY APPROVED IN WRITING BY THE CITY. SUCH APPROVALS DO NOT RELIEVE THE ENGINEER OF THE OBLIGATION TO MODIFY THE DESIGN OF THE PROJECT IF IT DOES NOT MEET ALL OTHER CITY LAND DEVELOPMENT REGULATIONS OR IF IT IS SUBSEQUENTLY DETERMINED THAT THE DESIGN WOULD ADVERSELY IMPACT THE PUBLIC'S SAFETY, HEALTH, WELFARE OR PROPERTY.
- AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
- THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIREMENTS, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE. ANY RELOCATION OF ELECTRIC FACILITIES SHALL BE AT THE LANDOWNER'S EXPENSE.
- THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRIC FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- ROADWAYS STANDARDS**  
ALL STREETS WITHIN THE SUBDIVISION WILL BE CONSTRUCTED TO CITY OF AUSTIN STANDARDS AND DEDICATED AS PUBLIC RIGHT-OF-WAY WITH THE FINAL PLAT.
- PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS AND AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: GULLAHORN RANCH ROAD, SENTLELL STREET, MORNING STAR AVENUE, JACKSON LANE, ANGEL KNOT LANE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
- A TRAVIS COUNTY DRIVEWAY PERMIT WILL BE REQUIRED FOR ALL SINGLE-FAMILY LOTS.
- A TRAVIS COUNTY DEVELOPMENT PERMIT IS REQUIRED FOR THE PROPOSED PROJECT.



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GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5000 GREGG LANE  
GENERAL NOTES

**CITY APPROVAL**

**SITE PLAN RELEASE** Sheet 2 of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_

APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_

APPROVED BY CITY COUNCIL ON: \_\_\_\_\_

Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

CLIENT: \_\_\_\_\_

DATE: April 26, 2021

REVISIONS

SCALE: 0

DR. CM. CH. XG.

P.M. CJO

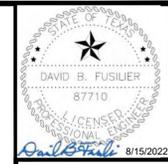
BOOK: \_\_\_\_\_

JOB: 20004096

SHEET NO. **2** OF 13

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGNSHEETS\PRELIMINARY\PHORN\NTS.DWG 8/15/2022 11:42 AM CONRADO MARTINEZ

CAO FILE: P GHORN\NTS.DWG



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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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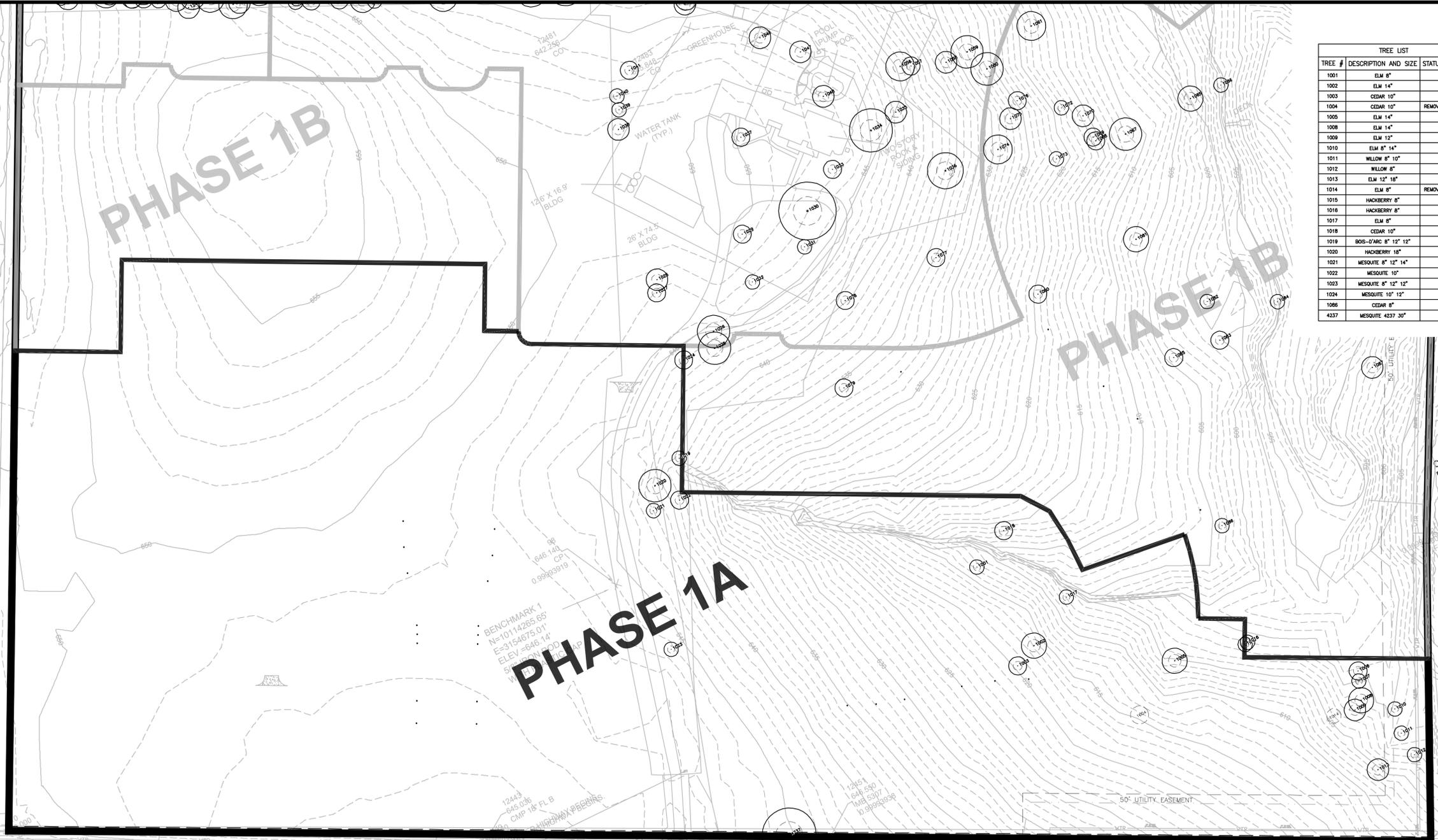
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C-51238506  
TYPE NO. 1224

GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5500 GREGG LANE  
EXISTING CONDITIONS

CLIENT	Blackburn Homes
DATE	April 26, 2021
REVISIONS	
SCALE	0
DR.	CM
P.M.	CJO
BOOK	-
JOB	20004096
SHEET NO.	3 OF 13

TREE LIST				
TREE #	DESCRIPTION AND SIZE	STATUS	CLASS	
1001	ELM 8"		H	
1002	ELM 14"		H	
1003	CEDAR 10"		H	
1004	CEDAR 10"	REMOVE	H	
1005	ELM 14"		H	
1006	ELM 14"		H	
1009	ELM 12"		H	
1010	ELM 8" 14"		H	
1011	WILLOW 8" 10"		H	
1012	WILLOW 8"		H	
1013	ELM 12" 16"		H	
1014	ELM 8"	REMOVE	H	
1015	HACKBERRY 8"		H	
1016	HACKBERRY 8"		H	
1017	ELM 8"		H	
1018	CEDAR 10"		H	
1019	BOIS-D'ARC 8" 12" 12"		H	
1020	HACKBERRY 16"		H	
1021	MESQUITE 8" 12" 14"		H	
1022	MESQUITE 10"		H	
1023	MESQUITE 8" 12" 12"		H	
1024	MESQUITE 10" 12"		H	
1066	CEDAR 8"		H	
4237	MESQUITE 4237 30"		H	



CALLED 2.00 ACRES  
JORGE L. GONZALEZ  
DOC. NO. N/A  
O.P.R.T.C.T.

CALLED 22.778 ACRES  
JORGE L. GONZALEZ  
DOC. NO. 2004069134  
O.P.R.T.C.T.

CALLED 0.61 ACRES  
BIRD, JENNIFER JO & JOHN  
DOC. NO. 2009152665TR  
O.P.R.T.C.T.

CALLED 1.83 ACRES  
BIRD, JENNIFER JO  
DOC. NO. N/A  
O.P.R.T.C.T.

CALLED 3.95 ACRES  
GULLAHORN, JACK  
DOC. NO. 2016215025  
O.P.R.T.C.T.

CALLED 3.04 ACRES  
HAMMETT, BENNIE & GAIL  
DOC. NO. 2011084641TR  
O.P.R.T.C.T.

CALLED 5.00 ACRES  
GONZALEZ, DANIEL & CYNTHIA  
DOC. NO. 2012161173TR  
O.P.R.T.C.T.

CALLED 5.00 ACRES  
GONZALEZ, JORGE L.  
DOC. NO. 2002004524TR  
O.P.R.T.C.T.

CALLED 5.00 ACRES  
GONZALEZ, JORGE L.  
DOC. NO. 2002004524TR  
O.P.R.T.C.T.

ABBREVIATIONS	LEGEND	NORTH ARROW & SCALE	KEYMAP
BLK = BLOCK DE = DRAINAGE EASEMENT PUE = PUBLIC UTILITY EASEMENT AC = ACRES AE = AUSTIN ENERGY ESMT = EASEMENT EOP = EDGE OF PAVEMENT	PROPERTY BOUNDARY RIGHT OF WAY STREET CENTERLINE SIDEWALK CURB AND GUTTER PROPOSED CONTOURS EXISTING CONTOURS EXISTING EASEMENT		

**CITY APPROVAL**

**SITE PLAN RELEASE** Sheet 3 Of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
Under Section 112 of Chapter 25-5 Of The Austin City Code

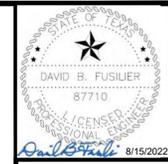
Director, Department of Planning and Development

DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\SHEETS\PRELIMINARY\PHORN EXT.DWG 8/15/2022 11:43 AM CONRADO MARTINEZ

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FAX: 512.254.1224

GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

CLIENT: BLACKBURN HOMES  
5500 GREGG LANE  
OVERALL SITE PLAN

DATE: April 26, 2021

**CITY APPROVAL**

SITE PLAN RELEASE Sheet 4 Of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_

APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_

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Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development

DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

REVISIONS

SCALE: 0

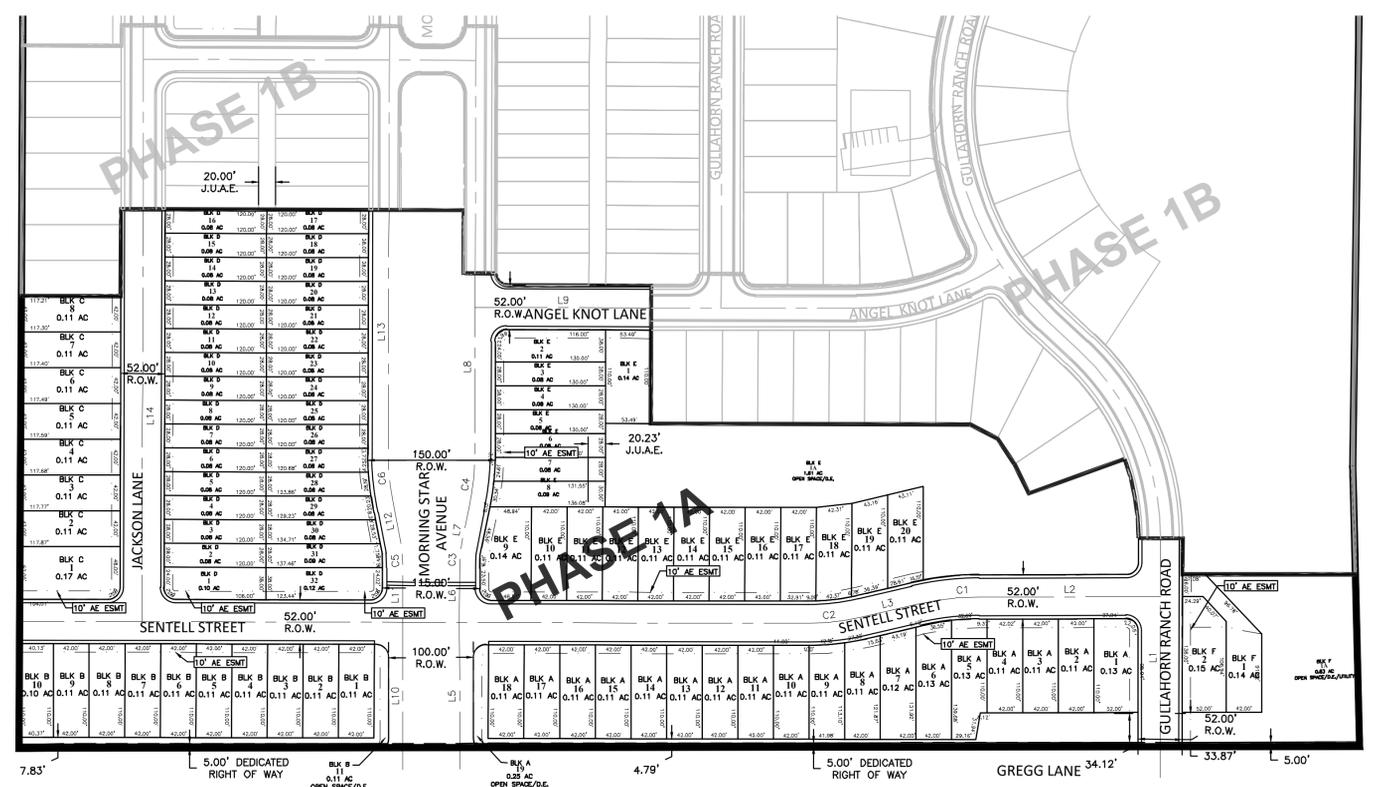
DR. CM CH. XG

P.M. CJO

BOOK -

JOB 2004096

SHEET NO. **4 OF 13**

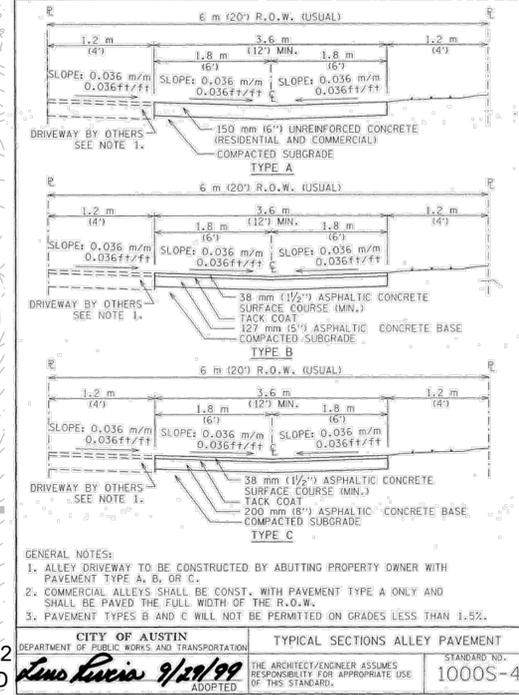
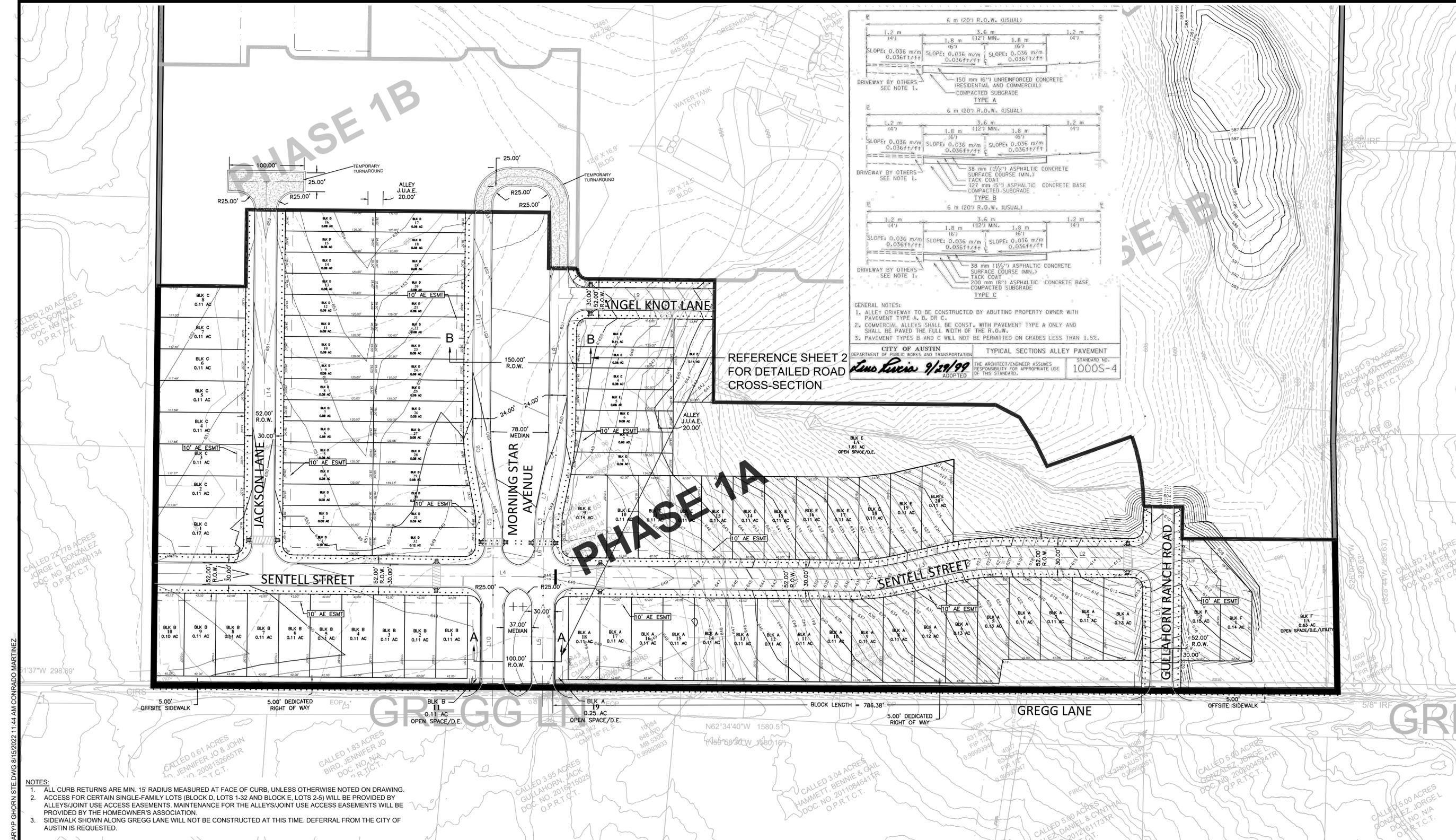


- NOTES:**
1. ALL CURB RETURNS ARE MIN. 15' RADIUS MEASURED AT FACE OF CURB, UNLESS OTHERWISE NOTED ON DRAWING.
  2. ACCESS FOR CERTAIN SINGLE-FAMILY LOTS (BLOCK D, LOTS 1-32 AND BLOCK E, LOTS 2-5) WILL BE PROVIDED BY ALLEYS/JOINT USE ACCESS EASEMENTS. MAINTENANCE FOR THE ALLEYS/JOINT USE ACCESS EASEMENTS WILL BE PROVIDED BY THE HOMEOWNER'S ASSOCIATION.

LINE & CURVE TABLES:		ABBREVIATIONS	LEGEND	NORTH ARROW & SCALE	KEYMAP																																																			
<table border="1"> <thead> <tr> <th>LINE #</th> <th>LENGTH</th> </tr> </thead> <tbody> <tr><td>L1</td><td>281.08</td></tr> <tr><td>L2</td><td>213.49</td></tr> <tr><td>L3</td><td>65.00</td></tr> <tr><td>L4</td><td>929.95</td></tr> <tr><td>L5</td><td>172.37</td></tr> <tr><td>L6</td><td>63.50</td></tr> <tr><td>L7</td><td>50.44</td></tr> <tr><td>L8</td><td>218.79</td></tr> <tr><td>L9</td><td>207.49</td></tr> <tr><td>L10</td><td>172.75</td></tr> <tr><td>L11</td><td>63.50</td></tr> <tr><td>L12</td><td>58.44</td></tr> <tr><td>L13</td><td>285.46</td></tr> <tr><td>L14</td><td>484.00</td></tr> </tbody> </table>	LINE #	LENGTH	L1	281.08	L2	213.49	L3	65.00	L4	929.95	L5	172.37	L6	63.50	L7	50.44	L8	218.79	L9	207.49	L10	172.75	L11	63.50	L12	58.44	L13	285.46	L14	484.00	<table border="1"> <thead> <tr> <th>CURVE #</th> <th>LENGTH</th> <th>RADIUS</th> </tr> </thead> <tbody> <tr><td>C1</td><td>75.24</td><td>326.00</td></tr> <tr><td>C2</td><td>64.34</td><td>274.00</td></tr> <tr><td>C3</td><td>20.01</td><td>300.00</td></tr> <tr><td>C4</td><td>58.25</td><td>300.00</td></tr> <tr><td>C5</td><td>20.01</td><td>300.00</td></tr> <tr><td>C6</td><td>58.00</td><td>300.00</td></tr> </tbody> </table>	CURVE #	LENGTH	RADIUS	C1	75.24	326.00	C2	64.34	274.00	C3	20.01	300.00	C4	58.25	300.00	C5	20.01	300.00	C6	58.00	300.00	<p>BLK = BLOCK</p> <p>DE = DRAINAGE EASEMENT</p> <p>PUE = PUBLIC UTILITY EASEMENT</p> <p>AC = ACRES</p> <p>AE = AUSTIN ENERGY</p> <p>ESMT = EASEMENT</p> <p>EDP = EDGE OF PAVEMENT</p> <p>JUAE = JOINT USE ACCESS EASEMENT</p> <p>ROW = RIGHT OF WAY</p>	<p>PROPERTY BOUNDARY</p> <p>RIGHT OF WAY</p> <p>STREET CENTERLINE</p> <p>SIDEWALK</p> <p>CURB AND GUTTER</p> <p>PROPOSED CONTOURS</p> <p>EXISTING CONTOURS</p> <p>EXISTING EASEMENT</p>		
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CAD FILE: P GHORN STE\_3.DWG



GENERAL NOTES:  
 1. ALLEY DRIVEWAY TO BE CONSTRUCTED BY ADJUTING PROPERTY OWNER WITH PAVEMENT TYPE A, B, OR C.  
 2. COMMERCIAL ALLEYS SHALL BE CONST. WITH PAVEMENT TYPE A ONLY AND SHALL BE PAVED THE FULL WIDTH OF THE R.O.W.  
 3. PAVEMENT TYPES B AND C WILL NOT BE PERMITTED ON GRADES LESS THAN 1.5%.

CITY OF AUSTIN  
 DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION  
 LINDA RIVERA 9/29/99  
 ADOPTED

TYPICAL SECTIONS ALLEY PAVEMENT  
 STANDARD NO. 1000S-4

- NOTES:
- ALL CURB RETURNS ARE MIN. 15' RADIUS MEASURED AT FACE OF CURB, UNLESS OTHERWISE NOTED ON DRAWING.
  - ACCESS FOR CERTAIN SINGLE-FAMILY LOTS (BLOCK D, LOTS 1-32 AND BLOCK E, LOTS 2-5) WILL BE PROVIDED BY ALLEYS/JOINT USE ACCESS EASEMENTS. MAINTENANCE FOR THE ALLEYS/JOINT USE ACCESS EASEMENTS WILL BE PROVIDED BY THE HOMEOWNER'S ASSOCIATION.
  - SIDEWALK SHOWN ALONG GREGG LANE WILL NOT BE CONSTRUCTED AT THIS TIME. DEFERRAL FROM THE CITY OF AUSTIN IS REQUESTED.

**LINE & CURVE TABLES:**

LINE #	LENGTH
L1	281.08
L2	213.49
L3	65.00
L4	929.95
L5	172.37
L6	63.50
L7	50.44
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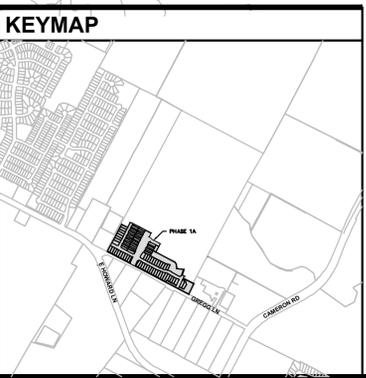
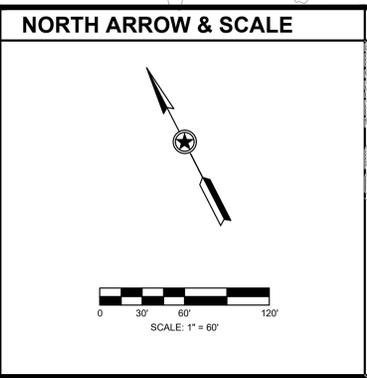
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**ABBREVIATIONS**

BLK = BLOCK  
 DE = DRAINAGE EASEMENT  
 PUE = PUBLIC UTILITY EASEMENT  
 AC = ACRES  
 AE = AUSTIN ENERGY  
 ESMT = EASEMENT  
 EOP = EDGE OF PAVEMENT  
 JUA.E. = JOINT USE ACCESS EASEMENT  
 ROW = RIGHT OF WAY

**LEGEND**

--- PROPERTY BOUNDARY  
 --- RIGHT OF WAY  
 --- STREET CENTERLINE  
 --- SIDEWALK  
 --- CURB AND GUTTER  
 --- PROPOSED CONTOURS  
 --- EXISTING CONTOURS  
 --- EXISTING EASEMENT



**CITY APPROVAL**

**SITE PLAN RELEASE** Sheet 5 of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
 CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
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Director, Department of Planning and Development  
 DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

DAVID B. FUSLIER  
 87710  
 8/15/2022

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 O: 512-594-0900 F: 512-594-0909  
 TBP# 166 12242

GULLAHORN SUBDIVISION  
 PHASE 1A  
 AUSTIN, TEXAS

CLIENT: BLACKBURN HOMES  
 5300 GREGG LANE

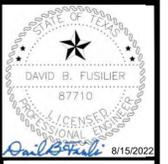
DATE: April 26, 2021

REVISIONS

SCALE: 0

DR. CM CH. XG  
 P.M. CJO  
 BOOK: -  
 JOB: 20004096  
 SHEET NO. **5 OF 13**

CAD FILE: P-GHORN-STEDJWG



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PHASE 1A  
AUSTIN, TEXAS

CLIENT  
BLACKBURN HOMES  
5300 GREGG LANE  
AUSTIN, TEXAS

DATE  
April 26, 2021

CITY APPROVAL

SITE PLAN RELEASE  
Sheet 6 Of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development  
DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Revisions:  
Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

SCALE 0  
DR. CM CH. XG  
P.M. C.JG  
BOOK \_\_\_\_\_  
JOB 20004096  
SHEET NO. 6 OF 13

APPENDIX Q-2  
IMPERVIOUS COVER  
SUBURBAN WATERSHEDS  
GULLAHORN TRACT, PHASE 1A

IMPERVIOUS COVER ALLOWED AT 65 % X GROSS SITE AREA = 10.65 ACRES

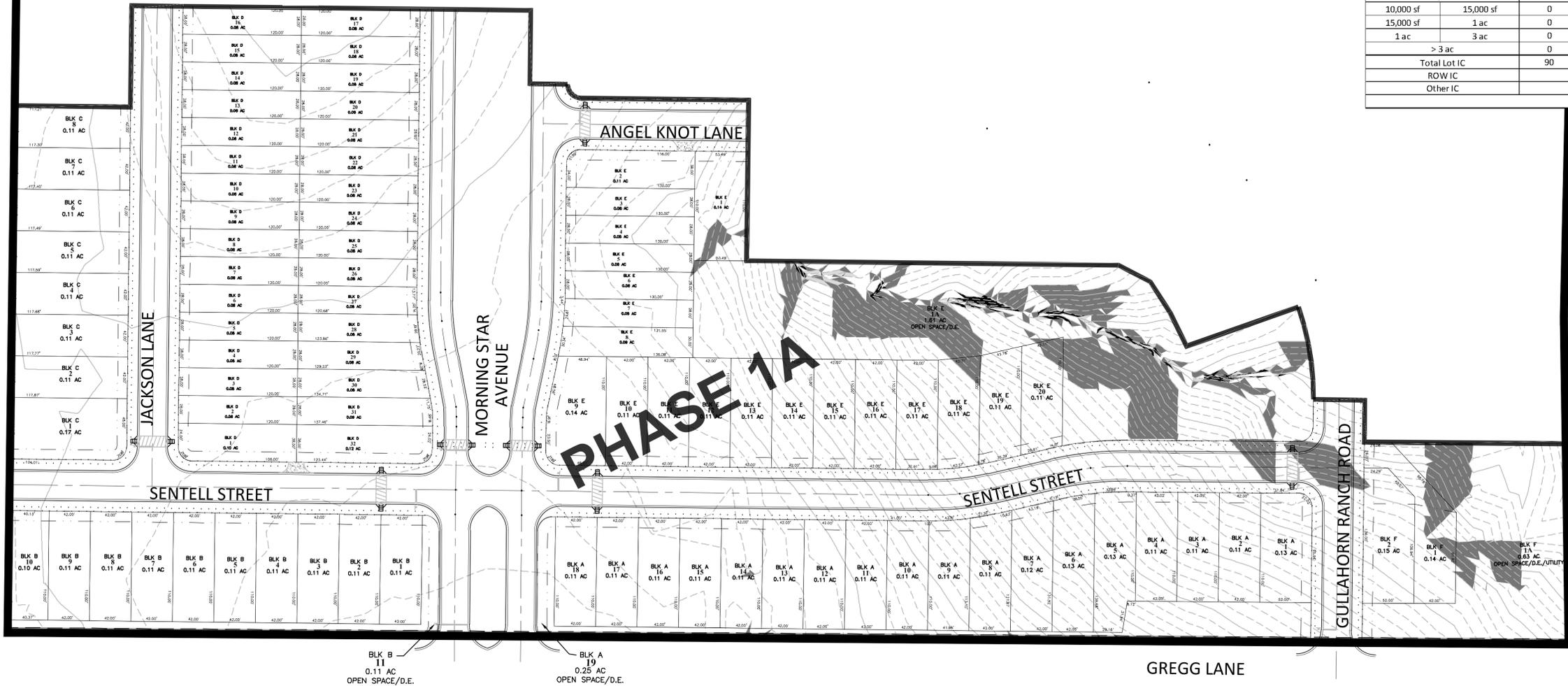
ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY  
TOTAL ACREAGE 15-25% = 0.74 ACRES X 10% = 0.074 ACRES

PROPOSED TOTAL IMPERVIOUS COVER  
TOTAL PROPOSED IMPERVIOUS COVER = 8.30 ACRES = 50.7 %

PROPOSED IMPERVIOUS COVER ON SLOPES

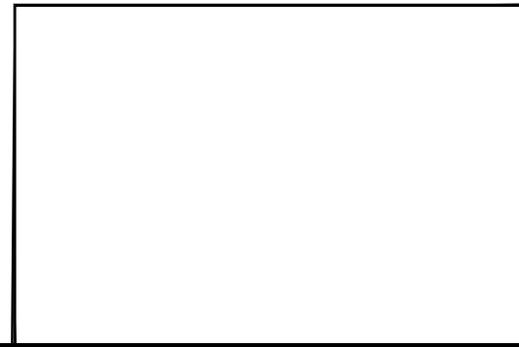
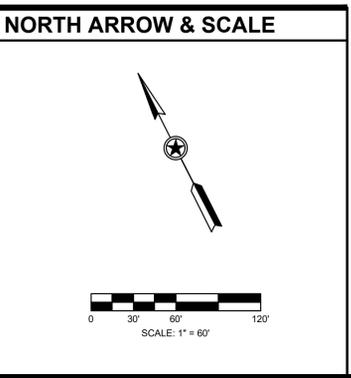
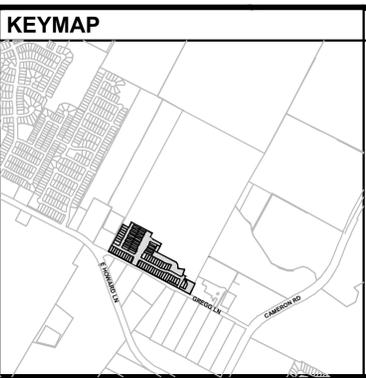
SLOPE CATEGORIES	TOTAL ACRES	IMPERVIOUS COVER		
		ACRES	% OF CATEGORY	ACRES
0-15%	15.575	5.150	33.07	2.984
15-25%	0.742	0.015	2.02	0.086
25-35%	0.030	0.000	0.00	0.000
OVER 35%	0.033	0.000	0.00	0.000
TOTAL SITE AREA	16.380			

Lot Size		Number of Lots	Assumed IC (sf)	Proposed IC (sf)
Min.	Max.			
< 10,000 sf		90	2,500	225,000
10,000 sf	15,000 sf	0	3,500	0
15,000 sf	1 ac	0	5,000	0
1 ac	3 ac	0	7,000	0
> 3 ac		0	10,000	0
Total Lot IC		90		225,000
ROW IC				136,538
Other IC				0
			<b>Total:</b>	<b>361,538</b>



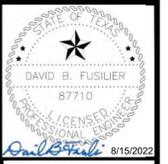
**SLOPES TABLE**

Number	Minimum Slope	Maximum Slope	Color	ACRES
1	0.00%	15.00%	White	15.26
2	15.00%	25.00%	Light Gray	0.75
3	25.00%	35.00%	Medium Gray	0.03
4	35.00%	100.00%	Dark Gray	0.03



T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\PHASE 1A\PRELIMINARY\GHORN\_SDM\DWG 8/15/2022 11:44 AM CONRADO MARTINEZ

CAD FILE: P:\GHORN\_SDM\DWG



Know what's below.

Call before you dig.

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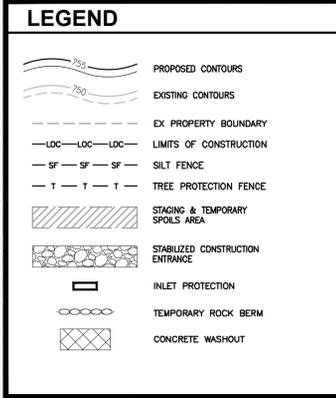
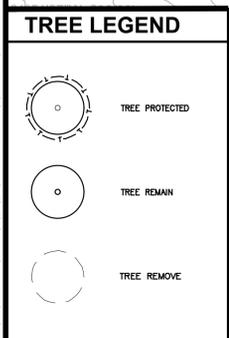
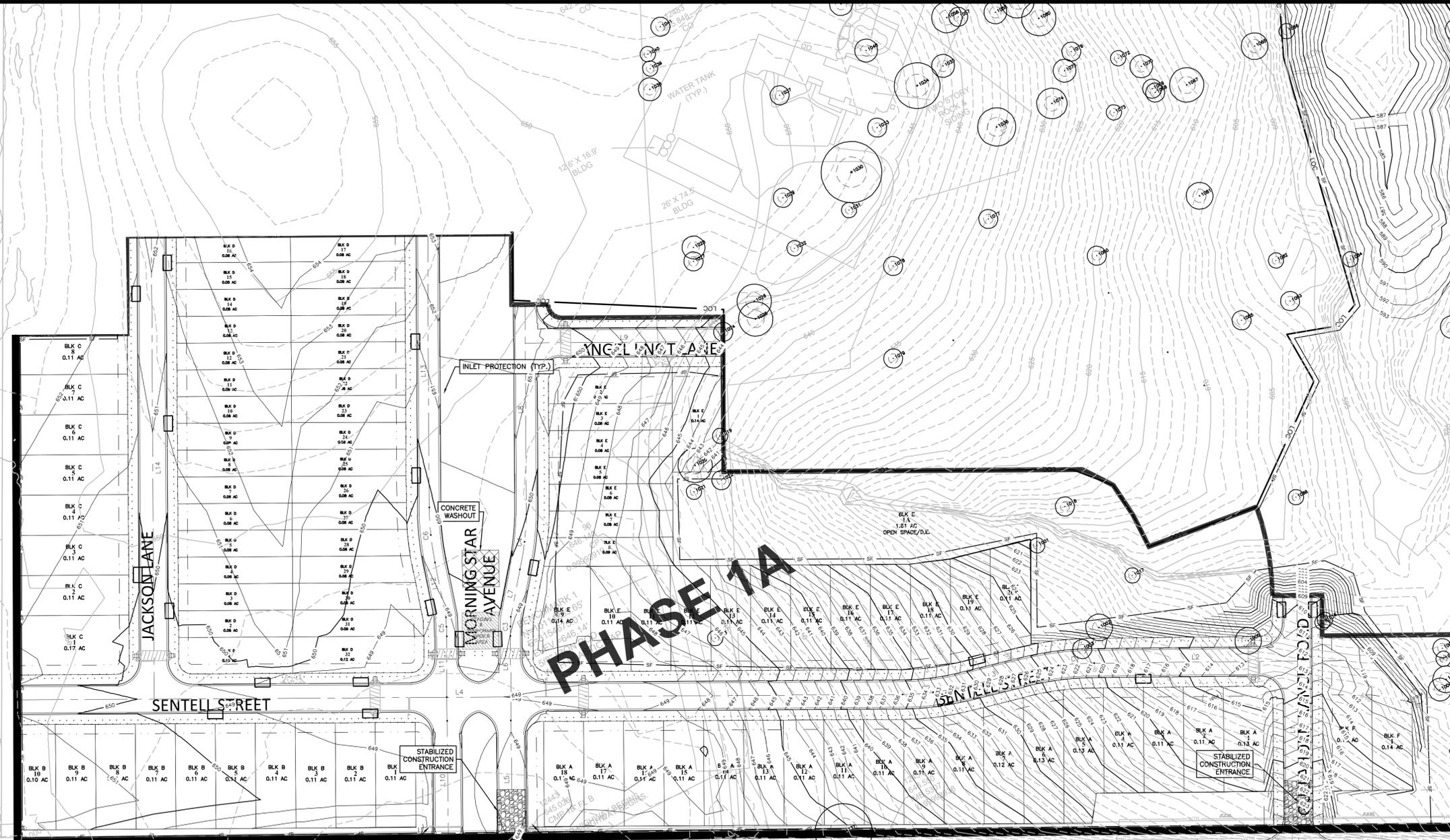
GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5300 GREGG LANE  
ENVIRONMENTAL  
PROTECTION PLAN

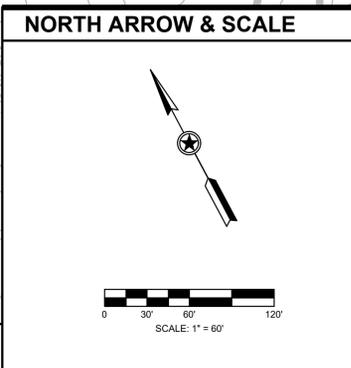
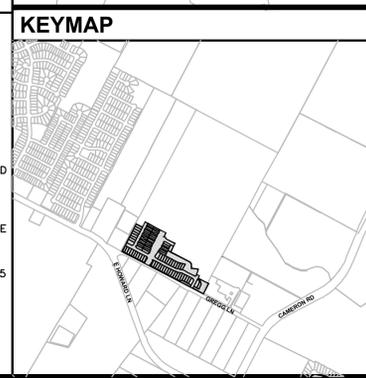
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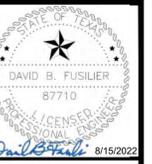
**CITY APPROVAL**  
**SITE PLAN RELEASE** Sheet 7 of 13  
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Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_  
SCALE 0  
DR. CM CH. XG  
P.M. CJO  
BOOK \_\_\_\_\_  
JOB 20004096  
SHEET NO.  
**7 OF 13**

TREE #	DESCRIPTION AND SIZE	STATUS	CLASS
1001	ELM 8"		H
1002	ELM 14"		H
1003	CEDAR 10"		H
1004	CEDAR 10"	REMOVE	H
1005	ELM 14"		H
1006	ELM 14"		H
1009	ELM 12"		H
1010	ELM 8" 14"		H
1011	WILLOW 8" 10"		H
1012	WILLOW 8"		H
1013	ELM 12" 18"		H
1014	ELM 8"	REMOVE	H
1015	HACKBERRY 8"		H
1016	HACKBERRY 8"		H
1017	ELM 8"		H
1018	CEDAR 10"		H
1019	BOS-STAR 8" 12" 12"		H
1020	HACKBERRY 18"		H
1021	MESQUITE 8" 12" 14"		H
1022	MESQUITE 10"		H
1023	MESQUITE 8" 12" 12"		H
1024	MESQUITE 10" 12"		H
1086	CEDAR 8"		H
4237	MESQUITE 4237 30"		H



- NOTES**
- LIMITS OF CONSTRUCTION: 19.6 ACRES
  - THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN ACCORDANCE WITH THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL, SECTION 1.4.5.D.
  - ALL AREA INLETS SHALL HAVE INLET PROTECTION IN PLACE UNTIL THE COMPLETION OF GRADING AND REVEGETATION.
  - THE TRAVIS COUNTY AND COA INSPECTORS HAVE THE AUTHORITY TO MODIFY EROSION/SEDIMENTATION CONTROLS AS REQUIRED TO ENSURE THE CONTROLS ARE FUNCTIONING PROPERLY.
  - ANY DIRT, MUD, ROCKS OR OTHER DEBRIS CARRIED ONTO EXISTING ROADS SHALL BE REMOVED IMMEDIATELY AND THE ROAD RESTORED TO A DRIVABLE CONDITION, FREE FROM OBSTRUCTIONS.
  - WHERE STREET IMPROVEMENTS END ON A GRADE THAT ALLOWS OFFSITE SEDIMENT TO WASH ONTO PAVEMENT, THE CONTRACTOR SHALL INSTALL ROCK BERMS AT THE EDGE OF PAVEMENT, ROCK BERMS SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL ADJACENT PHASE IMPROVEMENTS BEGIN.
  - AT THE COMPLETION OF STREET AND UTILITY IMPROVEMENTS, THE CONTRACTOR SHALL REVEGETATE THE AREAS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH THE CONDITIONS LISTED ON THE GENERAL NOTES SHEET.
  - IN AREAS WHERE SILT FENCE IS TO BE INSTALLED CROSSING CONTOURS, J-HOOKS SHALL BE ADDED TO THE SILT FENCE EVERY 100'.
  - OFFSITE DISPOSAL OF SPOIL MATERIAL MUST BE CLEARED BY COUNTY INSPECTOR PRIOR TO THE REMOVAL FROM THE JOBSITE.
  - DIRT TRACKED INTO THE ROADWAY OUTSIDE THE LOC MUST BE IMMEDIATELY REMOVED UPON DISCOVERY.
  - CONTRACTOR SHALL ATTEMPT TO REVEGETATE MAJOR AND CRITICAL PORTIONS OF THE PROJECT IN DISCREET PHASES AND AS EARLY AS POSSIBLE.
  - FOR THE STABILIZATION OF ALL THE SLOPES 3:1 OR GREATER, SUITABLE ESC MATTING (TYPE I) WILL BE UTILIZED IN CONJUNCTION WITH REVEGETATIVE EFFORTS ONSITE. (TYPE II) FOR CHANNELS.
  - IF DISTURBED AREA IS NOT TO BE WORKED ON FOR THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR VEGETATION MATTING.
  - ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN-COMPLIANCE WITH CITY OF AUSTIN RULES AND REGULATIONS.
  - CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5 (A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
  - THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
  - FOR OFF-SITE UTILITY LINES- PROVIDE PERPENDICULAR EROSION CONTROLS EVERY 30' AS YOU FINISH LINE.





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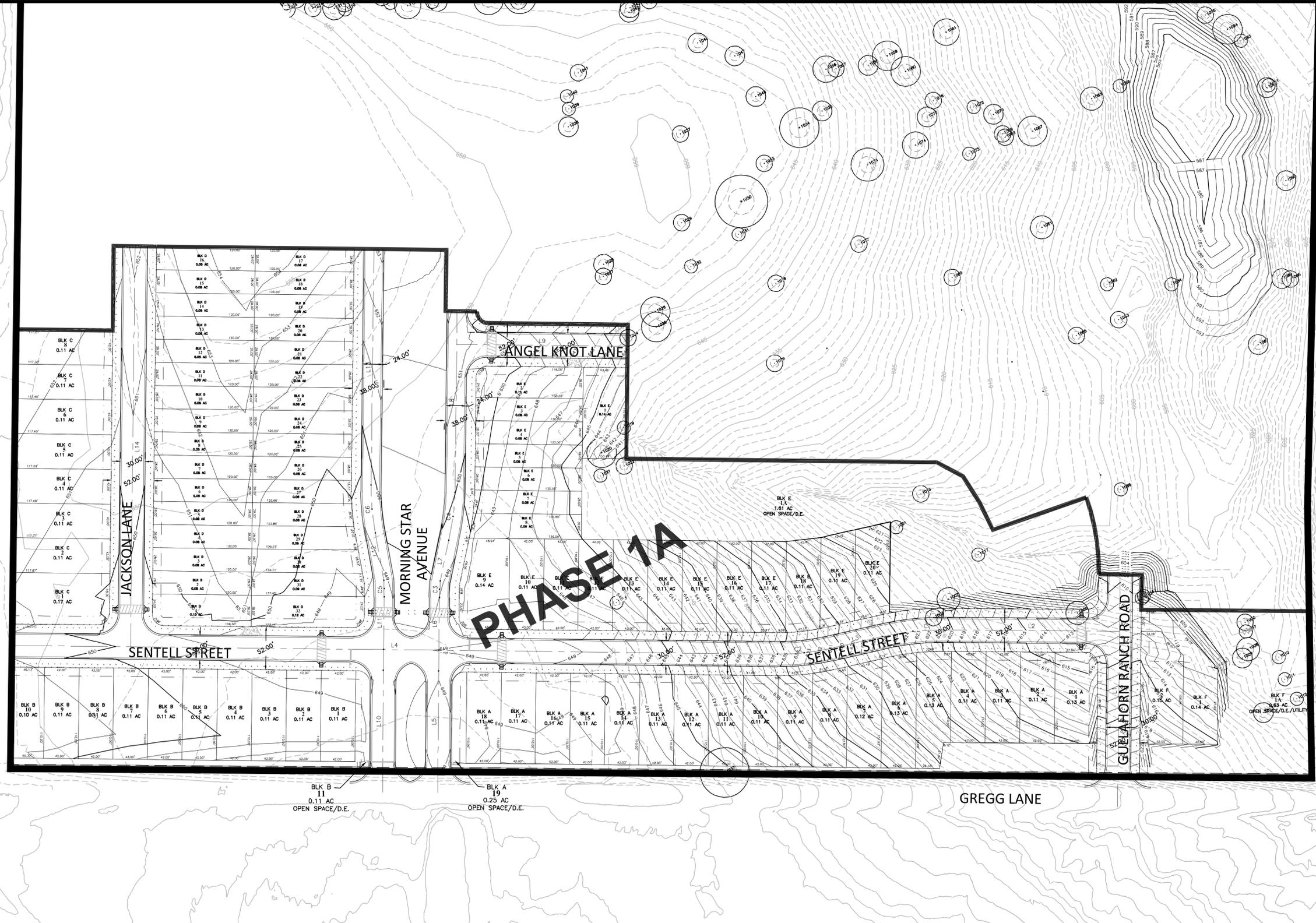


GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5300 GREGG LANE  
GRADING PLAN

CLIENT  
DATE  
April 26, 2021

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SCALE 0  
DR. CM CH. XG  
P.M. CJO  
BOOK -  
JOB 20204096  
SHEET NO.  
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LINE & CURVE TABLES:

LINE TABLE		CURVE TABLE		
LINE #	LENGTH	CURVE #	LENGTH	RADIUS
L1	281.08	C1	75.24	326.00
L2	213.49	C2	64.34	274.00
L3	65.00	C3	20.01	300.00
L4	929.95	C4	58.25	300.00
L5	172.37	C5	20.01	300.00
L6	63.50	C6	58.00	300.00
L7	50.44			
L8	218.79			
L9	207.49			
L10	172.75			
L11	63.50			
L12	58.44			
L13	285.46			

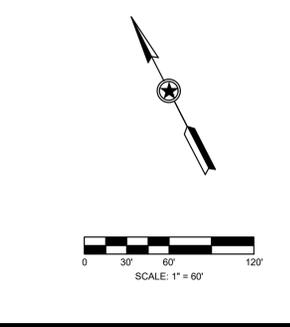
ABBREVIATIONS

BLK = BLOCK  
DE = DRAINAGE EASEMENT  
PUE = PUBLIC UTILITY EASEMENT  
AC = ACRES  
AE = AUSTIN ENERGY  
ESMT = EASEMENT  
EOP = EDGE OF PAVEMENT  
JUNE = JOINT USE ACCESS EASEMENT  
ROW = RIGHT OF WAY

LEGEND

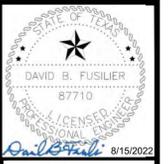
--- PROPERTY BOUNDARY  
--- RIGHT OF WAY  
--- STREET CENTERLINE  
--- SIDEWALK  
--- CURB AND GUTTER  
--- PROPOSED CONTOURS  
--- EXISTING CONTOURS  
--- EXISTING EASEMENT

NORTH ARROW & SCALE



KEYMAP





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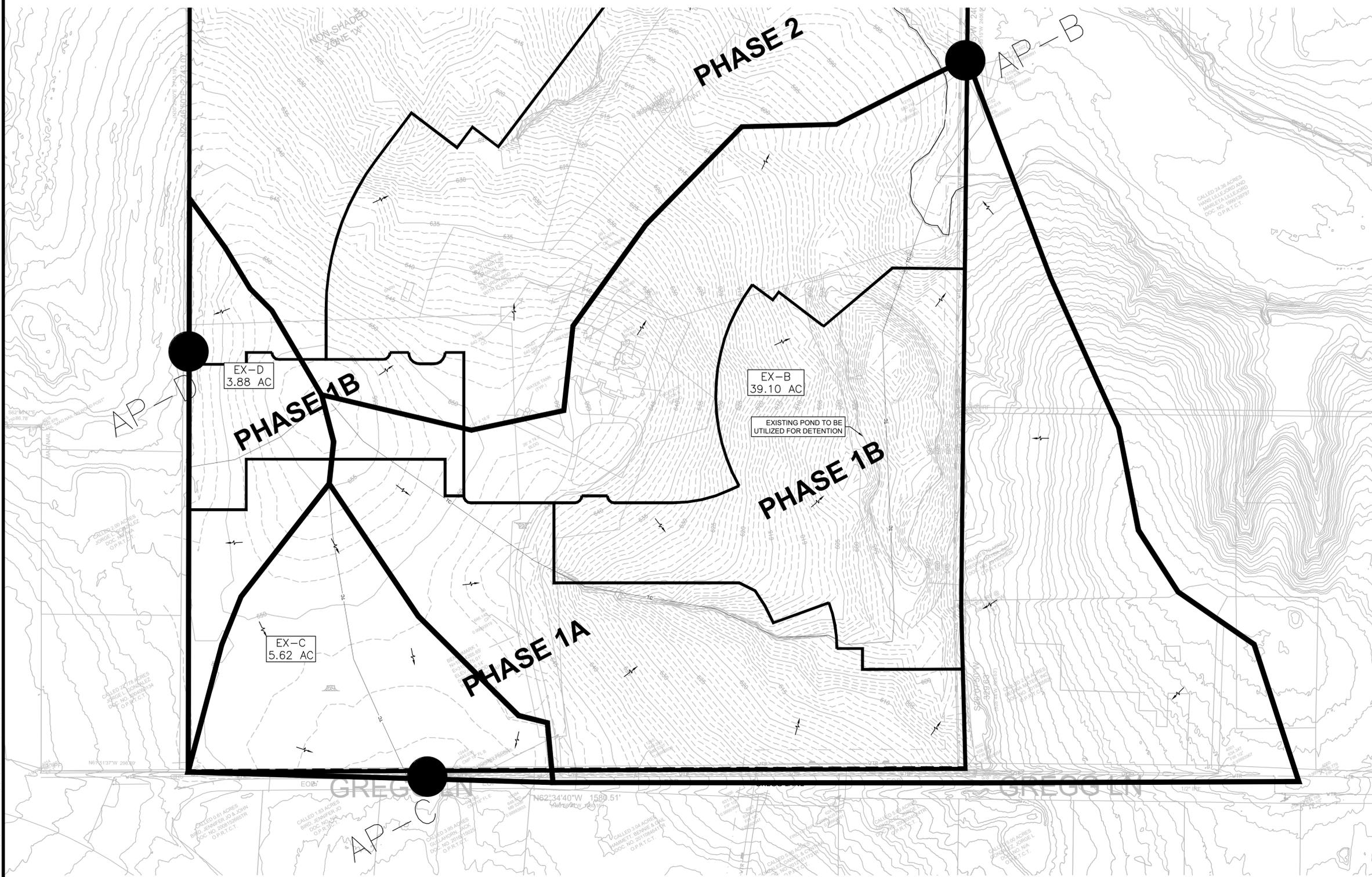
GULLAHORN SUBDIVISION  
 PHASE 1A  
 AUSTIN, TEXAS

CLIENT  
 BLACKBURN HOMES  
 5300 GREGG LANE  
 PRE-DEVELOPED  
 DRAINAGE AREA MAP

DATE  
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REVISIONS  
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 DR. CM CH. XG  
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**9 OF 13**

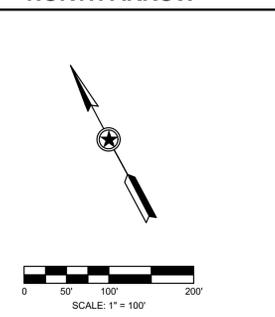
NOTE: ALL CALCULATIONS UTILIZE ATLAS 14 PRECIPITATION DATA



**LEGEND AND NOTES**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION
- STORM SEWER CULVERT
- STORM SEWER LINE
- CURB INLET
- AREA INLET
- STORM SEWER MANHOLE
- SS LEVEL SPREADER
- FLOW ARROW
- 100 YR FLOOD PLAIN
- CREX CENTER
- DRAINAGE SWALE
- DRAINAGE AREA DESIGNATION AND ACREAGE
- EX EXISTING
- DEV DEVELOPED
- WQ WATER QUALITY

**NORTH ARROW**



**Existing Drainage Areas - Time of Concentration Calculations**

Drainage Area / Basin Name	Sheet Flow					Shallow Concentrated Flow - Unpaved				Concentrated Flow - Channel			Tc-Total (min)		
	Length (ft)	Manning's n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Tc-Sheet (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)		Velocity (ft/sec)	Tc-Channel (min)
EX-B	100	0.24	1.3	0.013	4.06	14.83	423	12.9	0.030	2.81	2.50	2001	5.00	6.67	24.01
EX-C	100	0.24	2.1	0.021	4.06	12.44	520	4.6	0.009	1.52	5.69		5.00	0.00	18.13
EX-D	100	0.24	2.0	0.020	4.06	12.73	200	7.0	0.035	3.02	1.10		5.00	0.00	13.83

**Overall Site Drainage Calculations - Existing Basins**

Basin Area	PondPack Input Summary				PondPack Output Summary			
	Area (ac)	Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	10 Year			
					2 Year Peak Flow (ft <sup>3</sup> /s)	10 Year Peak Flow (ft <sup>3</sup> /s)	25 Year Peak Flow (ft <sup>3</sup> /s)	100 Year Peak Flow (ft <sup>3</sup> /s)
EX-B	39.10	2.51	80.45	24.01	77.82	148.29	196.70	277.60
EX-C	5.62	0.77	80.14	18.13	12.74	24.28	32.21	45.48
EX-D	3.88	0.00	80.00	13.83	9.90	18.91	25.02	35.26
O-B					77.82	148.29	196.70	277.60
O-C					12.74	24.28	32.21	45.48
O-D					9.90	18.91	25.02	35.26

**CITY APPROVAL**

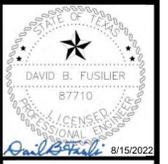
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 Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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 POST-DEVELOPED DRAINAGE AREA MAP

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 P.M. CJO  
 JOB 20004095  
 SHEET NO.  
**10 OF 13**

NOTE: ALL CALCULATIONS UTILIZE ATLAS 14 PRECIPITATION DATA

**POND B WEIR DIMENSIONS**

ORIFICE ELEVATION: 584.50'  
 ORIFICE DIAMETER: 6"  
 WEIR 1 ELEVATION: 590.61'  
 WEIR 1 LENGTH: 15'  
 WEIR 2 ELEVATION: 593.00'  
 WEIR 2 LENGTH: 75'

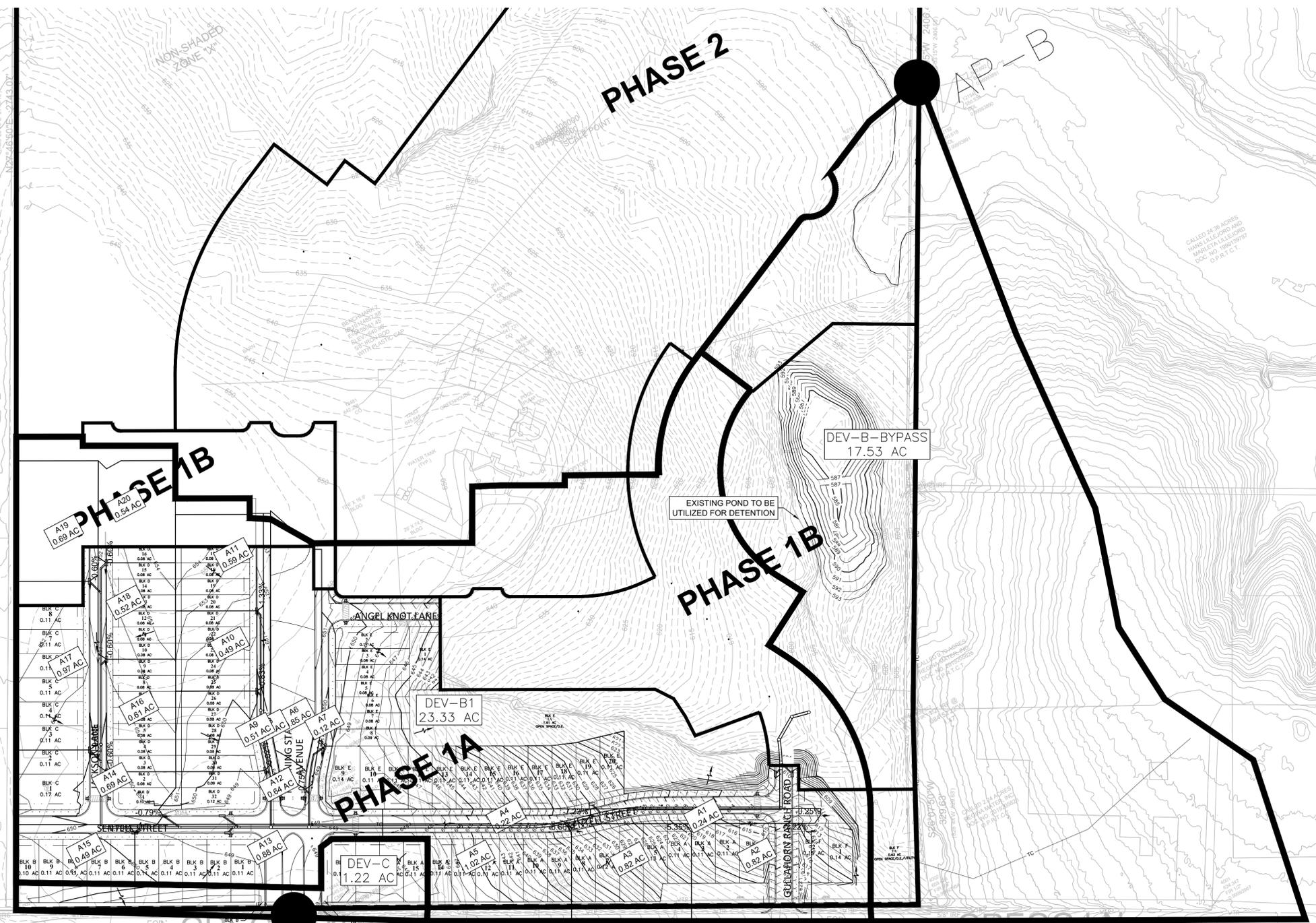
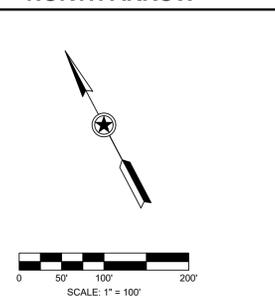
**Pond WSE and Storage - Pond B**

Storm	WSE (ft.msl)	Pond Storage (ac)
2-Year	591.23	2.39
10-Year	591.99	3.34
25-Year	592.36	3.87
100-Year	592.84	4.57
PMP	593.37	5.41

**LEGEND AND NOTES**

- EXISTING CONTOURS
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- DEV DEVELOPED
- WQ WATER QUALITY

**NORTH ARROW**



**Existing Drainage Areas - Time of Concentration Calculations**

Drainage Area / Basin Name	Sheet Flow					Shallow Concentrated Flow - Unpaved				Shallow Concentrated Flow - Paved				Concentrated Flow - Pipe			Tc-Total (min)				
	Length (ft)	Mannings n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)		Velocity (ft/sec)	Tc-Channel (min)		
DEV-B-BYPASS	100	0.24	3.3	0.033	4.06	10.37	461	36.2	0.079	4.52	1.70	196	1.6	0.008	1.46	0.00	1358	5.00	4.53	16.59	
DEV-B1	100	0.24	2.4	0.024	4.06	11.68	21	0.6	0.031	2.83	0.12	439	5.0	0.011	1.72	3.37	1651	5.00	5.50	19.09	
DEV-C	100	0.24	2.0	0.020	4.06	12.67	23	0.6	0.026	2.61	0.15								0.00		16.18

**Overall Site Drainage Calculations - Developed Basins w/o Detention**

Basin Area	PondPack Input Summary				PondPack Output Summary			
	Area (ac)	Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	2 Year Peak Flow (ft <sup>3</sup> /s)	10 Year Peak Flow (ft <sup>3</sup> /s)	25 Year Peak Flow (ft <sup>3</sup> /s)	100 Year Peak Flow (ft <sup>3</sup> /s)
DEV-B-BYPASS	17.53	0.00	80.00	16.59	41.26	78.76	104.31	147.06
DEV-B1	23.33	33.02	85.94	19.09	63.92	111.21	142.64	194.78
DEV-C	1.22	48.94	88.61	16.18	3.93	6.55	8.27	11.14
O-B					104.72	188.65	245.40	339.99
O-C					3.93	6.55	8.27	11.14

**Overall Site Drainage Calculations - Developed Basins w/ Detention**

Basin Area	PondPack Input Summary				PondPack Output Summary			
	Area (ac)	Total IC (%)	SCS Weighted Curve Number	Tc-Total (min)	2 Year Peak Flow (ft <sup>3</sup> /s)	10 Year Peak Flow (ft <sup>3</sup> /s)	25 Year Peak Flow (ft <sup>3</sup> /s)	100 Year Peak Flow (ft <sup>3</sup> /s)
DEV-B-BYPASS	17.53	0.00	80.00	16.59	41.26	78.76	104.31	147.06
DEV-B1	23.33	33.02	85.94	19.09	63.92	111.21	142.64	194.78
DEV-C	1.22	48.94	88.61	16.18	3.93	6.55	8.27	11.14
O-B					42.39	132.71	187.88	268.05
O-C					3.93	6.55	8.27	11.14
POND-B (IN)					63.92	111.21	142.64	194.78
POND-B (OUT)					23.77	74.25	104.11	147.53

**CITY APPROVAL**

**SITE PLAN RELEASE** Sheet 1001 13  
 FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
 CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
 APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
 APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
 Under Section 112 of Chapter 25-5 Of The Austin City Code

Director, Department of Planning and Development  
 DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

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TBE No. 12242

GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5300 GREGG LANE  
WATER QUALITY PLAN

CLIENT: \_\_\_\_\_  
DATE: April 26, 2021  
REVISIONS: \_\_\_\_\_  
SCALE: 0  
DR. CM CH. XG  
P.M. CJO  
BOOK: \_\_\_\_\_  
JOB: 20004096  
SHEET NO. 11 OF 13

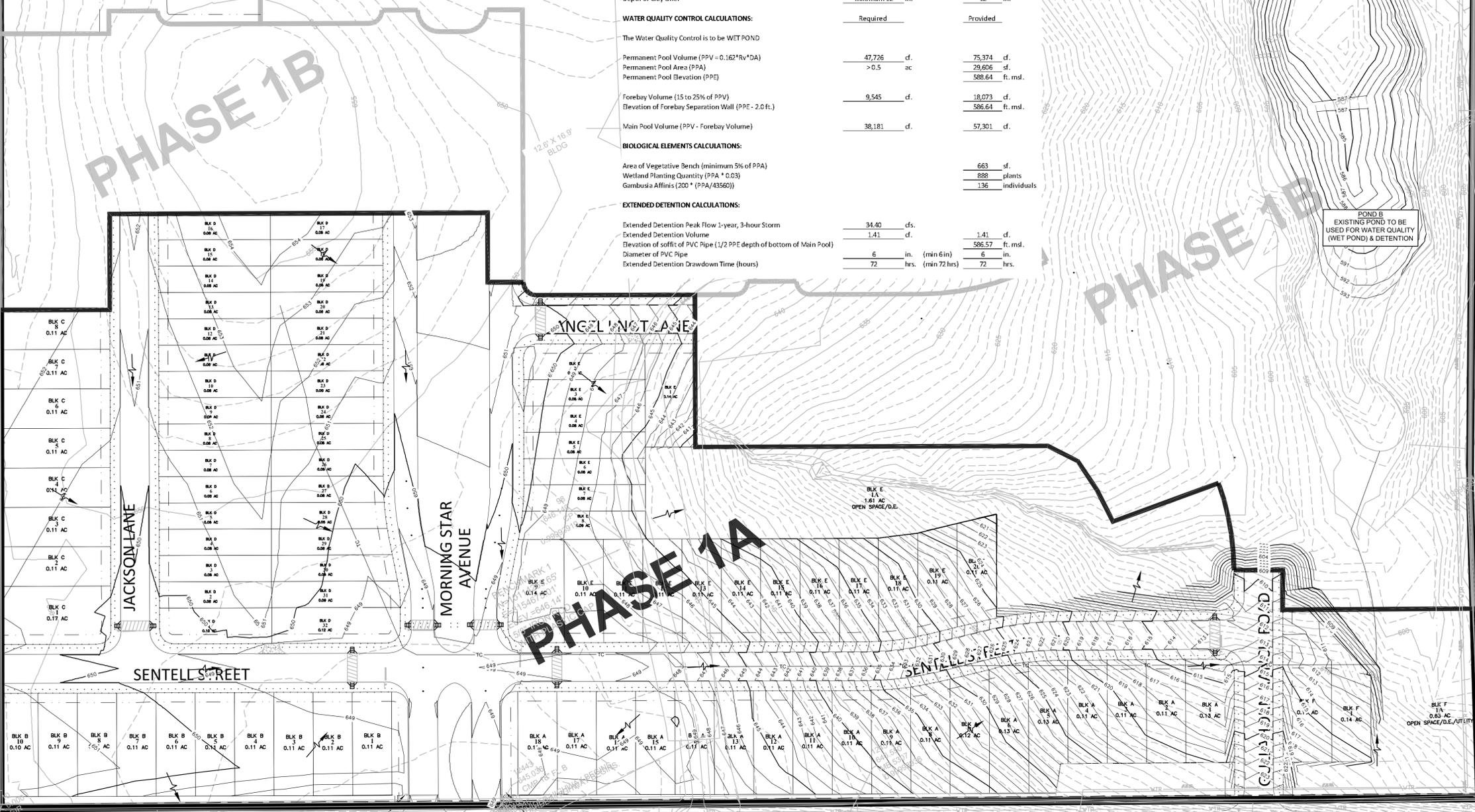
### Water Quality Drainage Areas - Time of Concentration Calculations

Drainage Area / Basin Name	Sheet Flow						Shallow Concentrated Flow - Unpaved					Shallow Concentrated Flow - Paved					Concentrated Flow - Channel			Tc-Total (min)
	Length (ft)	Mannings n	Delta - Vertical (ft)	Slope (ft/ft)	2yr-24hr Rainfall (in)	Tc-Sheet (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Delta - Vertical (ft)	Slope (ft/ft)	Velocity (ft/sec)	Tc-Shallow (min)	Length (ft)	Velocity (ft/sec)	Tc-Channel (min)	
BMP B1	100	0.24	2.5	0.025	4.06	11.51	289	3.7	0.013	1.81	2.65	280	0.4	0.002	0.64	5.81	1004	5.00	3.35	23.32

Water Quality Drainage Areas										
Basin Name	Area (sf <sup>2</sup> )	Area (ac)	Sidewalk Impervious Cover (sf)	ROW Impervious Cover (sf)	Lot Impervious Cover (sf)	Impervious Cover (sf)	Impervious Cover (ac)	Impervious Cover (%)	SCS Base Curve Number	SCS Weighted Curve Number
WQ-B2	576,523.45	13.24	21,197	111,794	202,500	335,490.45	7.70	58.2	80.00	90.47
WQ-C1	53,166.96	1.22	0	3,526	12,500	16,025.80	0.37	30.1	80.00	85.43
<b>Total:</b>		<b>14.46</b>					<b>8.07</b>	<b>55.8</b>	<b>80.00</b>	<b>90.05</b>

#### APPENDIX R-4 WETPOND CALCULATIONS FOR DEVELOPMENT PERMITS

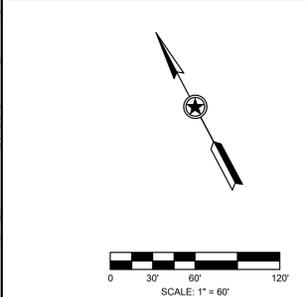
<b>DRAINAGE AREA DATA:</b>		PND B - PHIA
Drainage Area to Control (DA)	13.24 ac.	
Drainage Area Impervious Cover	62.4 %	
Over Recharge Zone (Yes or No)	No	
Annual Runoff-Rainfall Ratio (Rr) Table 1-9	0.511	
Liner Type (Clay or Geomembrane)	Geomembrane liner	
Depth of Clay Liner	minimum 12 in.	12 in.
<b>WATER QUALITY CONTROL CALCULATIONS:</b>	Required	Provided
The Water Quality Control is to be WET POND		
Permanent Pool Volume (PPV = 0.162*Rr*DA)	47,726 cf.	75,374 cf.
Permanent Pool Area (PPA)	>0.5 ac	29,606 sf.
Permanent Pool Elevation (PPE)		588.64 ft. msl.
Forebay Volume (15 to 25% of PPV)	9,545 cf.	18,073 cf.
Elevation of Forebay Separation Wall (PPE - 2.0 ft.)		586.64 ft. msl.
Main Pool Volume (PPV - Forebay Volume)	38,181 cf.	57,301 cf.
<b>BIOLOGICAL ELEMENTS CALCULATIONS:</b>		
Area of Vegetative Bench (minimum 5% of PPA)	663 sf.	
Wetland Planting Quantity (PPA * 0.03)	888 plants	
Gambusia Affinis (200 * (PPA/43560))	136 individuals	
<b>EXTENDED DETENTION CALCULATIONS:</b>		
Extended Detention Peak Flow 1-year, 3-hour Storm	34.40 cfs.	1.41 cf.
Extended Detention Volume	1.41 cf.	586.57 ft. msl.
Elevation of soffit of PVC Pipe (1/2 PPE depth of bottom of Main Pool)		6 in. (min 6in)
Diameter of PVC Pipe	6 in. (min 6in)	6 in.
Extended Detention Drawdown Time (hours)	72 hrs. (min 72 hrs)	72 hrs.



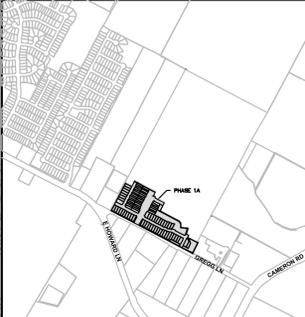
#### LEGEND AND NOTES

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPERTY BOUNDARY
- DRAINAGE AREA BOUNDARY
- TIME OF CONCENTRATION
- STORM SEWER CULVERT
- STORM SEWER LINE
- CURB INLET
- AREA INLET
- STORM SEWER MANHOLE
- SS LEVEL SPREADER
- FLOW ARROW
- 100 YR FLOOD PLAN
- CREEK CENTER
- DRAINAGE SWALE
- DRAINAGE AREA DESIGNATION AND ACREAGE DRAINED
- EX EXISTING
- DEV DEVELOPED
- WQ WATER QUALITY

#### NORTH ARROW & SCALE



#### KEYMAP



#### CITY APPROVAL

**SITE PLAN RELEASE** Sheet 11 of 13

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

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Director, Department of Planning and Development

DATE OF RELEASE: \_\_\_\_\_ Zoning: \_\_\_\_\_

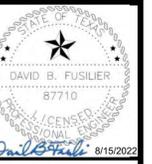
Rev 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_

Rev 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_

Rev 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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CAD FILE: P\_GHORN\_WQP.DWG



**811**  
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GULLAHORN SUBDIVISION  
PHASE 1A  
AUSTIN, TEXAS

BLACKBURN HOMES  
5300 GREGG LANE  
OVERALL UTILITY PLAN

CLIENT  
DATE  
April 26, 2021

**CITY APPROVAL**

**SITE PLAN RELEASE** Sheet 12 of 13  
FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
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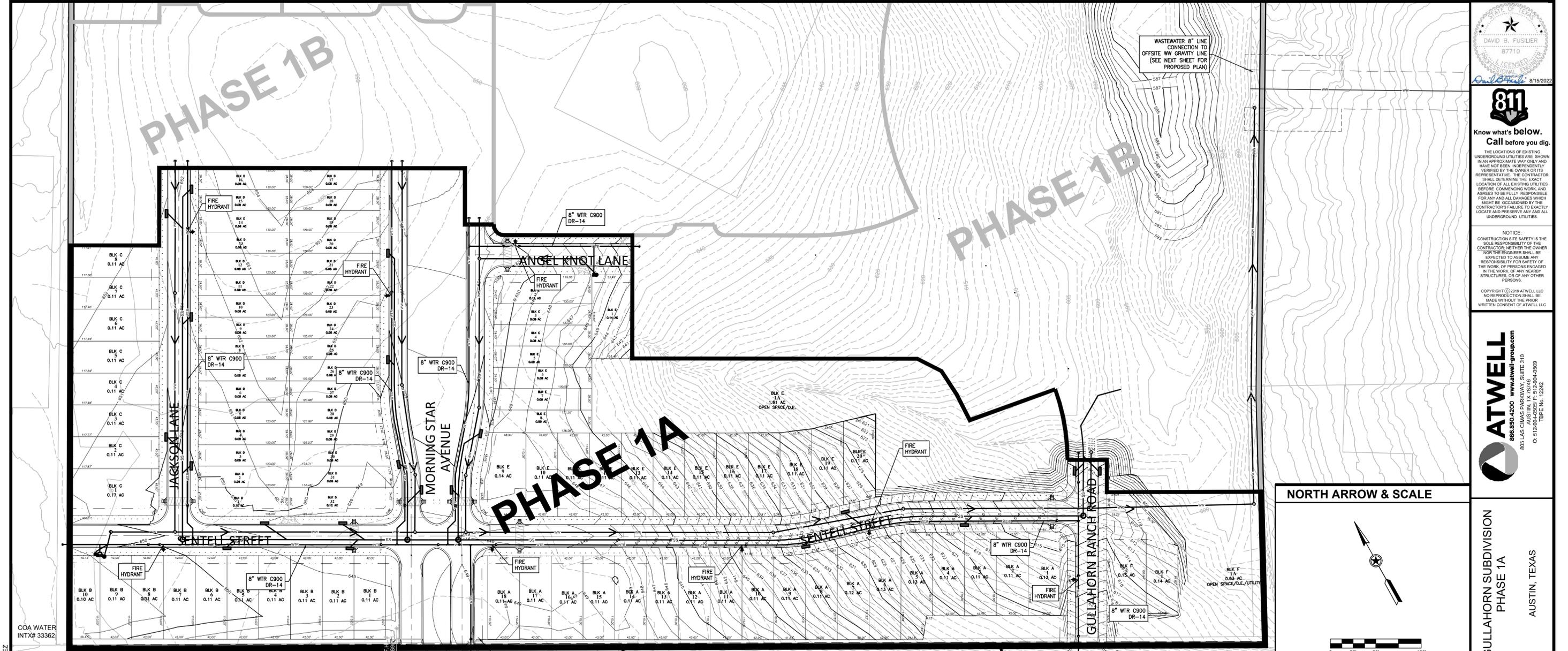
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SHEET NO. **12 OF 13**

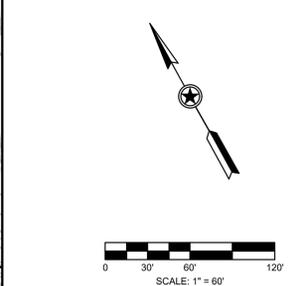
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PHASE 1B

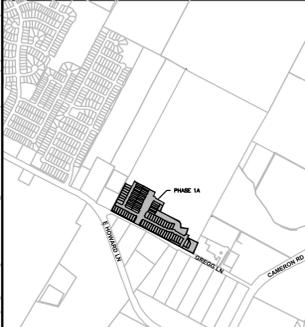
PHASE 1A



NORTH ARROW & SCALE



KEYMAP



**Deferred Fire Flow Test and Water Model**  
During construction of this project, the existing 6-inch water line serving the property will be replaced with a 12-inch water line. This new line will be installed under a Service Extension Request agreement with City of Austin Water. A copy of the SER agreement is included with this plan submittal. Upon completion of the water line installation, a flow test will be conducted and a water model developed. The water model will demonstrate that the water distribution system is capable of providing the required fire flow in addition to the peak domestic demand. A copy of this water model will be provided to Travis County Emergency Services District 2 and the City of Austin Water Department.

**LEGEND**

	EXISTING CONTOURS		WW FM LINE AS NOTED
	PHASE BOUNDARY/ROW		WW FM CLEAN OUT
	DOUBLE WATER SERVICE		WW FLOW ARROW
	SINGLE WATER SERVICE		WW MANHOLE AS NOTED
	WTR LN AS NOTED		WW LINE AS NOTED
	AUTOMATIC AIR RELEASE VALVE		DOUBLE WASTEWATER SRVC
	WTR BLOW OFF VALVE		GRINDER PUMP
	FIRE HYDRANT		SINGLE WASTEWATER SRVC
	GATE VALVE AS NOTED		SS LINE AS NOTED
	EX. WATER METER		STORM SEWER MANHOLE
	ELECTRIC TRANSFORMER		SS BOX CULVERT AS NOTED
	FITTINGS AS NOTED		SS LATERAL FROM CURB OR AREA INLET

**NOTES**

- WARNING:** CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL 8 INCH WATER PIPES WILL BE ANWA C900 DR-14 PVC PIPES UNLESS OTHERWISE STATED.
- ALL WASTEWATER PIPES WILL BE ASTM D3034-SDR-26 PVC PIPES UNLESS OTHERWISE STATED.

COA WATER INTX# 33362

T:\PRIVATE\BLACKBURN\GULLAHORN\DESIGN\SHEETS\PRELIMINARY\PHASE 1A\DWG 8/15/2022 11:47 AM CONRADO MARTINEZ