

ORDINANCE NO. 20050825-040

AN ORDINANCE AMENDING ORDINANCE NO. 890202-B TO MODIFY THE LAND USE PLAN, TO REZONE AND CHANGE THE ZONING MAP FROM PLANNED UNIT DEVELOPMENT (PUD) DISTRICT TO PLANNED UNIT DEVELOPMENT (PUD) DISTRICT FOR LAND KNOWN AS THE DAVENPORT RANCH WEST PLANNED UNIT DEVELOPMENT LOCATED AT 3100-3320 NORTH CAPITAL OF TEXAS HIGHWAY (LOOP 360).

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. Davenport Ranch West planned unit development ("Davenport PUD") is comprised of approximately 444.33 acres of land located generally in the vicinity of Westlake Drive and Loop 360 and more particularly described by metes and bounds in the Land Use Plan incorporated into Ordinance No. 890202-B.

PART 2. Davenport PUD was approved February 2, 1989, under Ordinance No. 890202-B (the "Original PUD Ordinance"), and amended under Ordinances No. 010719-28, No. 010719-115, and No. 021205-17.

PART 3. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from planned unit development (PUD) district to planned unit development (PUD) district on the property described by metes and bounds in Ordinance No. 890202-B as approximately 444.33 acres of land that includes the following property described in Zoning Case No. C814-88-0001.08, as follows:

A 31.844 acre tract of land, more or less, out of the Burke Trammell Survey No. 3 and the Antonio Rodriguez Survey No. 4 in Travis County, the tract of land being more particularly described by metes and bounds in Exhibit "A" incorporated into this ordinance (the "Property"),

the 31.844 acres being generally known as the Gables at Westlake project in the Davenport Ranch West planned unit development, locally known as the property located at 3100-3320 North Capital of Texas Highway (Loop 360), in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 4. This ordinance, together with the attached Exhibits "A" and "B", shall constitute the land use plan for the Davenport PUD (the "PUD") created by this ordinance. The PUD shall conform to the limitations and conditions set forth in the ordinance and the Davenport

Ranch West planned unit development land use plan (the "PUD land use plan") on record at the Neighborhood Planning and Zoning Department in File No. C814-88-0001.08. If this ordinance and the attached exhibits conflict, the ordinance applies. Except as otherwise specifically provided by this ordinance, all other rules, regulations and ordinances of the City in effect on the effective date of this ordinance apply to the PUD.

PART 5. Certain Terms Defined.

Tract D-1 means Tract F, Block D, Lot 1, as shown on the PUD land use plan attached as Exhibit B.

Tract D-1A means Tract F, Block D, Lot 1-A, as shown on the PUD land use plan attached as Exhibit B.

Tract E-16 means Tract F, Block E, Lot 16, as shown on the PUD land use plan attached as Exhibit B.

PART 6. The attached exhibits on file with the City of Austin Neighborhood Planning and Zoning Department in File No. C814-88-0001.08 are incorporated into this ordinance in their entirety as though set forth fully in the text of this ordinance. Exhibit H of Ordinance No. 890202-B is amended as shown on Exhibit B of this ordinance. The attached exhibits are as follows:

Exhibit A: Description of 31.844 acres and zoning map

Exhibit B: Amended Davenport PUD land use plan

PART 7. In accordance with Section 25-2-411(A) (*Planned Unit Development District Regulations*) of the City Code, the following regulations apply to the PUD instead of otherwise applicable City Code regulations.

- (A) Cut and fill over four feet shall be structurally contained.
- (B) Native grass/wildflower mix shall be used for restoration of disturbed natural area, including vegetative filter strips.
- (C) Replacement trees shall be Class I trees.
- (D) Water quality facilities are subject to Code requirements as of the date of this ordinance.

- (E) A minimum of 9.0 acres shall be provided for Hill Country Natural Area.
- (F) At the time an application for approval of a site plan is submitted for development of the Property, or any portion of the Property, an Integrated Pest Management (IPM) plan shall be submitted to the Watershed Protection and Development Review Department for review and approval. The IPM plan shall comply with the guidelines in Section 1.6.9.2 (D) and (F) of the Environmental Criteria Manual that are in effect on the date of this ordinance.
- (G) Except as otherwise provided in this part, development of (i) Tract D-1 shall be in compliance with multifamily residence low density (MF-2) district site development regulations, (ii) Tract D-1A shall be in compliance with community commercial (GR) district site development regulations, and (iii) Tract E-16 shall comply with townhouse and condominium residence (SF-6) district site development regulations. If the regulations of this Part 7, Section (G) conflict with the Capital of Texas Highway Corridor regulations (Loop 360 Ordinance), as referenced on the original PUD land use plan of Ordinance No. 890202-B, the regulations of the Loop 360 Ordinance shall control.
- (H) The following regulations apply to Tract E-16.
1. All permitted and conditional townhouse and condominium residence (SF-6) uses are permitted and conditional uses of the tracts.
 2. The maximum number of townhouse and condominium residential units is 41.
 3. The maximum height of a building or structure is 35 feet from ground level as measured by the Code as of the date of this ordinance.
- (I) The following regulations apply to Tract D-1.
1. All permitted and conditional multifamily residence low density (MF-2) uses are permitted and conditional uses of the tract.
 2. The maximum number of multifamily residential units is 175 and the minimum number of residential units is three per lot.

3. Except as provided in Subsection 3, the maximum height of a building or structure is 47 feet measured from the finished floor elevation to the midpoint of the highest gable of the roof.
4. The maximum height of a building or structure used as a community recreation (private) use is 30 feet from the finished floor elevation to the midpoint of the highest gable of the roof.

(J) The following regulations apply to Tract D-1A.

1. Vehicular access from Tract D-1A may be to Loop 360 and Westlake Drive.
2. Except as provided in Subsection 3, all permitted and conditional community commercial (GR) uses are permitted uses and conditional uses of the tract.
3. The following uses are prohibited uses of the tract:

Pawn shop services	Off site accessory parking
Hotel-motel	Funeral services
Commercial off-street parking	Automotive rentals
Automotive repair services	Automotive sales
Bail bond services	Communications services
Exterminating services	Indoor entertainment
Indoor sports and recreation	Outdoor sports and recreation
Theater	Congregate living
Communication service facilities	Family home
Group home, Class I (limited)	Group home, Class II
Local utility services	Residential treatment
Urban farm	Group home, Class I (general)

4. A site plan or building permit for Tract D-1A may not be approved, released, or issued, if the completed development or uses of Tract D-1A, considered cumulatively with all existing or previously authorized development and uses, generate traffic that exceeds 1,302 unadjusted trips per day.

PART 8. Except as otherwise provided in this ordinance, the provisions of the Original PUD Ordinance, as amended, remain in effect.

PART 9. This ordinance takes effect on September 5, 2005.

PASSED AND APPROVED

August 25, 2005

§
§
§



Will Wynn
Mayor

APPROVED:



David Allan Smith
City Attorney

ATTEST:



Shirley A. Brown
City Clerk

31.844 ACRES
GABLES WESTLAKE

EXHIBIT A

FN.NO. 04-191(MM)
JUNE 6, 2004
BPI JOB NO. 659-15

DESCRIPTION

OF A 31.844 ACRE TRACT OR PARCEL OF LAND OUT OF THE BURKE TRAMMELL SURVEY NO. 3 AND THE ANTONIO RODRIGUEZ SURVEY NO. 4, SITUATED IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN 62.965 ACRE TRACT OF LAND CONVEYED TO PROTESTANT EPISCOPAL CHURCH COUNCIL OF THE DIOCESE OF TEXAS BY DEED OF RECORD IN VOLUME 6177, PAGE 1858 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS; SAID 31.844 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, at a 1/2 inch iron rod found in the westerly right-of-way line of Capital of Texas Highway (Loop 360) (R.O.W. varies), being the southeasterly corner of said 62.965 acre tract, same being the northeasterly corner of Lot 1, St. Stephens School, a subdivision of record in Volume 90, Pages 204-205 of the Plat Records of Travis County, Texas for the southeasterly corner hereof;

THENCE, leaving the westerly line of Capital of Texas Highway, along the southerly line of said 62.965 acre tract, being a portion of the northerly line of said Lot 1, same being the southerly line hereof, the following four (4) courses and distances:

- 1) N60°48'34"W, a distance of 354.84 feet to a 1/2 inch iron rod found for the point of curvature of a non-tangent curve to the right;
- 2) Along said non-tangent curve to the right having a radius of 479.73 feet, a central angle of 108°02'36", an arc distance of 904.63 feet and a chord which bears N06°50'24"W, a distance of 776.43 feet to a 1/2 inch iron rod found for the end of said curve;
- 3) N47°16'27"E, a distance of 3.01 feet to a 1/2 inch iron rod found for an angle point;
- 4) N61°12'32"W, a distance of 1012.87 feet to a 1/2 inch iron rod found for the southwesterly corner hereof;

THENCE, leaving the northerly line of said Lot 1, over and across said 62.965 acre tract, along the westerly line hereof, the following three (3) courses and distances:

- 1) N28°47'53"E, a distance of 49.98 feet to a 1/2 inch iron rod found for an angle point;

- 2) N65°26'28"E, a distance of 254.05 feet to a 1/2 inch iron rod found for an angle point;
- 3) N44°56'27"E, a distance of 198.70 feet to a 1/2 inch iron rod found for the northwesterly corner hereof;

THENCE, S66°01'48"E, continuing over and across said 62.965 acre tract, passing at a distance of 107.06 feet, a 1/2 inch iron rod found 0.40 feet to the right (or south of this line), being the southwesterly corner of Lot 17, Block "E", Davenport West P.U.D. Section 5, Phase 5, a subdivision of record in Document No. 200000169 of the Official Public Records of Travis County, Texas and continuing along the southerly line of said Lot 17, Block "E", same being the irregular easterly line of said 62.695 acre tract, for a total distance of 914.96 feet to a 1/2 inch iron rod found at the southeasterly corner of said Lot 17, Block "E", being the southwesterly corner of the southerly terminus of Westlake Drive (90' R.O.W.) for an angle point hereof;

THENCE, continuing along the irregular easterly line of said 62.965 acre tract, being the southerly terminus of Westlake Drive and the southerly line of Lot 2 and Lot 3, Block "D", Davenport West P.U.D. Section 5, Phase 5, a subdivision of record in Document No. 200000171 of said Official Public Records, the following four (4) courses and distances:

- 1) S69°16'32"E, a distance of 1.84 feet to a 1/2 inch iron rod found for an angle point;
- 2) S65°59'30"E, a distance of 87.55 feet to a 1/2 inch iron rod found for an angle point;
- 3) S64°33'19"E, a distance of 0.71 feet to a 1/2 inch iron rod found for an angle point;
- 4) S68°49'27"E, a distance of 694.12 feet to a 1/2 inch iron rod with cap set in the westerly line of Capital of Texas Highway, being the southeasterly corner of said Lot 3, Block "D", for the northeasterly corner hereof;


FN. NO. 04-191(MM)
JUNE 7, 2004
PAGE 3 of 3

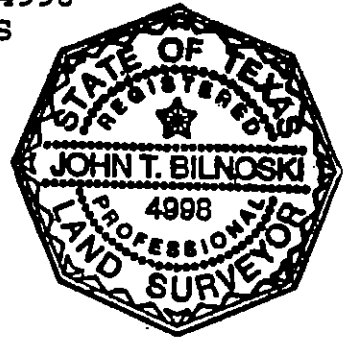
THENCE, along the westerly line of Capital of Texas Highway, being the irregular easterly line of said 62.965 acre tract, same being the easterly line hereof, the following two (2) courses and distances:

- 1) S34°08'02"W, a distance of 802.94 feet to a 1/2 inch iron rod with cap set for an angle point;
- 2) S29°06'46"W, a distance of 458.10 feet to the POINT OF BEGINNING, containing an area of 31.844 acres (1,387,122 sq. ft.) of land, more or less, within these metes and bounds.

THAT I, JOHN T. BILNOSKI, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS DETERMINED BY A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

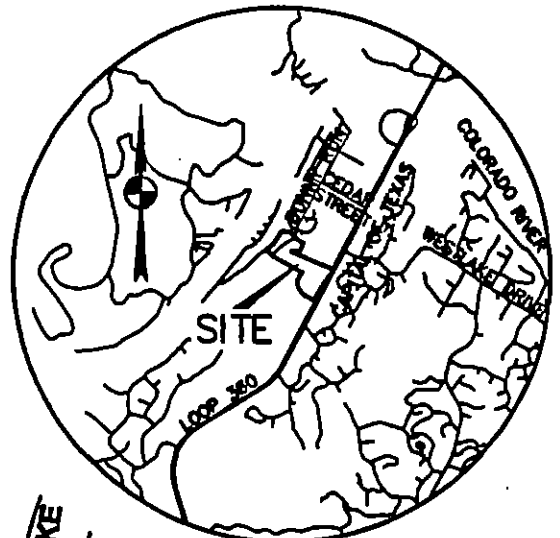
BURY & PARTNERS, INC.
ENGINEERS-SURVEYORS
3345 BEE CAVE ROAD
AUSTIN, TEXAS 78746

 6/7/04
JOHN T. BILNOSKI
R.P.L.S. NO. 4998
STATE OF TEXAS





0 150 300 600
SCALE: 1" = 300'



VICINITY MAP
N.T.S.

BUNNY RUN (70' R.O.W.)

PORTION OF 62.965 ACRES
PROTESTANT EPISCOPAL CHURCH
COUNCIL OF THE DIOCESE OF TEXAS
VOL. 6177, PG. 1858

LOT 17
BLOCK 17
DAVENPORT
WEST P.U.D.
SEC. 5, PH. 6
DOC. NO. 200000169

PASSING AT 107.06'
AND 0.40' SOUTH

WESTLAKE
DRIVE
(90' R.O.W.)

LOT 4
BLOCK 17
DAVENPORT WEST P.U.D.
SEC. 5, PH. 5
DOC. NO. 200000171
LOT 3

LEGEND

- 1/2" IRON ROD FOUND
- 1/2 INCH IRON ROD WITH CAP SET
- P.O.B. POINT OF BEGINNING

ST. STEPHEN'S SCHOOL
VOL. 90, PGS. 204-205

31844 ACRES
(1,387,122 SQ. FT.)

PORTION OF 62.965 ACRES
PROTESTANT EPISCOPAL CHURCH
COUNCIL OF THE DIOCESE OF TEXAS
VOL. 6177, PG. 1858

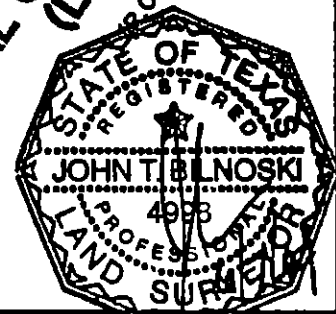
LINE TABLE

No.	Bearing	Distance
L1	N60°48'34"W	354.84'
L2	N47°16'27"E	3.01'
L3	N28°47'53"E	49.98'
L4	N65°26'28"E	254.05'
L5	N44°36'27"E	198.70'
L6	S69°16'32"E	1.84'
L7	S65°39'30"E	87.55'
L8	S64°33'19"E	0.71'
L9	S29°06'46"W	458.10'

CURVE TABLE

No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	108°02'36"	479.73	904.63	776.43	N06°50'24"W

CAPITAL OF TEXAS HIGHWAY
(LOOP 360)
(R.O.W. VARIES)



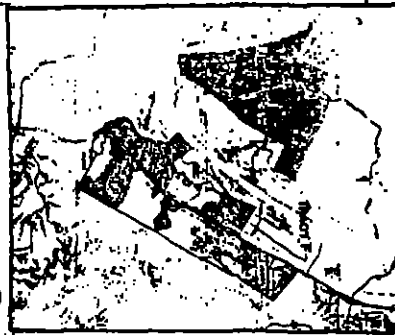
Bury+ Partners
Engineering Solutions
Austin, Texas Tel 512/329-8011 Fax 512/329-8325
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SKETCH TO ACCOMPANY DESCRIPTION

OF A 31,844 ACRE TRACT OF LAND OUT OF THE BURKE TRAMMELL SURVEY NO. 3 AND THE ANTONIO RODRIGUEZ SURVEY NO. 4 BEING A PORTION OF THAT CERTAIN 62.965 ACRE TRACT OF LAND OF RECORD IN VOLUME 6177, PAGE 1858 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, SITUATED IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS

**GABLES
RESIDENTIAL TRUST**

WESTLAKE



CONTROLLING ORDINANCES

Location Map (Full)

TRACT C AND F - ST. STEPHENS SCHOOL PROPERTY - SECTION 3 & 4

ORDINANCE INFORMATION

TRACT F - OVERALL

ORDINANCE	TRACT F - OVERALL
1. Zoning Ordinance	See Sheet 21
2. Subdivision Ordinance	See Sheet 21
3. Building Ordinance	See Sheet 21
4. Fire Ordinance	See Sheet 21
5. Health Ordinance	See Sheet 21
6. Safety Ordinance	See Sheet 21
7. Environmental Ordinance	See Sheet 21
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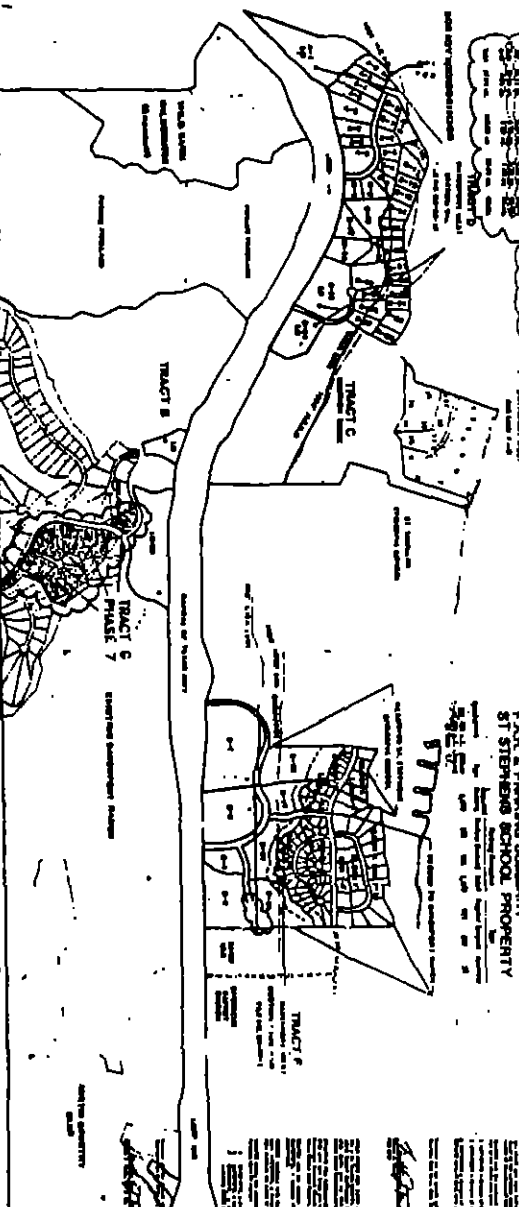
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DAVENPORT RANCH
PROJECT OWNER: WESTVIEW DEVELOPMENT INC.

DAVENPORT RANCH WEST P.U.D.
TRACT C & TRACT F - SECTION 3 & 4
ST. STEPHENS SCHOOL PROPERTY

DAVENPORT RANCH WEST P.U.D.
TRACT C & TRACT F - SECTION 3 & 4
ST. STEPHENS SCHOOL PROPERTY

CEI CANYON ENGINEERING INCORPORATED
1000 WESTLAKE HIGH DRIVE
AUSTIN, TEXAS 78746
(512) 227-4022

LANDCORP
1800 WEST AVENUE • AUSTIN, TEXAS 78701 • 512/474-8800

DAVENPORT RANCH WEST P.U.D.
TRACT C & TRACT F - SECTION 3 & 4
ST. STEPHENS SCHOOL PROPERTY

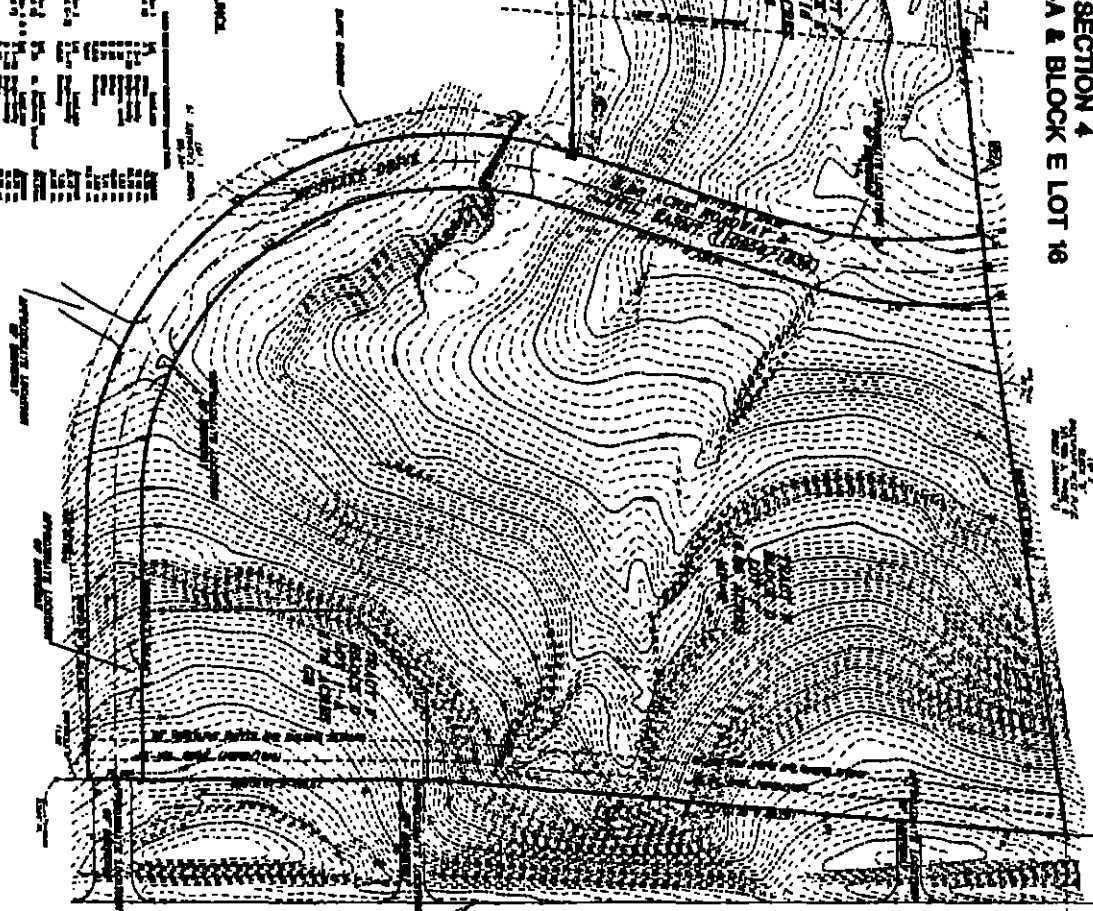
ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 10/1/2001 BY 60322 UCBAW



LINE NUMBER	NUMBER	DESCRIPTION	DISTANCE	REMARKS
1	566023.24	70.17	CONCRETE ROAD	
2	566024.75	70.31	CONCRETE ROAD	
3	566026.46	70.47	CONCRETE ROAD	
4	566028.37	70.63	CONCRETE ROAD	
5	566030.43	70.79	CONCRETE ROAD	
6	566032.56	70.94	CONCRETE ROAD	
7	566034.78	71.09	CONCRETE ROAD	
8	566037.16	71.25	CONCRETE ROAD	
9	566039.72	71.40	CONCRETE ROAD	
10	566042.42	71.56	CONCRETE ROAD	
11	566045.2	71.71	CONCRETE ROAD	

PROJECT OWNER:
PROTESTANT EPISCOPAL SCHOOL COUNCIL
2700 QUARTY MAN
AUSTIN, TX 78746

CLIMATE TABLE						
MAKER	MODEL	BEARING	DAY	HOURS	ARC	CORDED (PERIOD CORDS)
C1	07030 by	5.179 07 29	23.00	565.00	50.14	50.12
C2	07309 by	061 30 29 W	22.51	25.00	56.63	11.46
C3	07309 by	061 30 29 W	22.51	56.74	66.86	100 20 17 7 6 2 7
C4	28 10 20	5.007 42 08 E	13.72	5.79 46	140.50	257.88
C5	08 40 20	5.006 16 10 W	11.24	13.00	54.76	31.70
C6	16 13 20	5.005 32 25 W	10.64	23.00 00	706.24	202.54
C7	08 13 20	5.005 16 10 W	12 11	56.74	66.86	64.56
C8	17 10 15	5.014 42 16 E	56.80	00.00 12	100.12	79.00
C9	108 07 15	5.006 42 54 W	00.01	478.23	604.63	776.62
C10	25 31 15	5.006 42 54 W	120.05	5.00 12	6.06 12	254.17
C11	108 07 18	5.006 42 51 E	564.54	40.08 73	172 77	663.19
C12	20 53 17	5.007 01 28 W	11.78	65.00	621.64	626.63
C13	20 27 33	5.005 31 16 W	22.00	8.00 70	431.42	427.08
C14	20 27 33	5.005 31 16 W	22.00 70	8.00 70	462.62	462.60
C15	20 27 33	5.005 31 16 W	104.51	264.00	384.34	265.70



CAPITAL OF TEXAS HIGHWAY (LOOP 360)
(2004-07-27 BY: JMM)

EXHIBIT B - pg. 4 of 6

TRACT F SECTION 4
BLOCK D LOTS 1, 1-A & BLOCK E LOT 10

CABLES RESIDENTIAL

DAVENPORT RANCH WEST P.L.D.

Bury+Partners
Consulting Engineers and Surveyors
10000 10th Avenue, Suite 100, Denver, CO 80231
303.751.1000

1. The 25' and 100' year floodplains will be contained within drainage easements and greenbelts.
2. Subdivision is classified as urban and all public streets, alleys, and drainage or wastewater lines shall be constructed to City of Austin Standards.
3. All access to state highways (Capital of Texas Highway) will be obtained before site plan approval.
4. Water and wastewater service shall be provided by City of Austin.
5. All greenbelts, public utility easements, access easements and drainage easements will be owned and maintained by the property owner.
6. Access to public drainage easements 25' or larger will be determined at the site development plan permit stage.
7. Property owner shall provide for access to all drainage easements as may be necessary and shall not prohibit access by governmental authorities.
8. No buildings, fences, landscaping or other obstruction shall be placed within any drainage easement shown hereon except as specifically approved by the City of Austin or other appropriate authority.
9. There will be no construction in the greenbelts other than utilities, drainage, and recreational facilities.
10. The responsibility for maintenance of stormwater detention/retention facilities lies with the owner, or successor in title, of the land wherein the facilities are located.
11. Parking structure layouts will be submitted to Transportation Review for approval prior to an application for site plan.
12. The Austin Fire Department requires access width of 25 feet, and asphalt or concrete as a "cold weather driving surface."
13. The required width of access roadways shall not be obstructed in any manner, including parking of vehicles. NO PARKING signs or other appropriate notices, or both, prohibiting obstructions, may be required and shall be maintained by owner. Fire lanes should be appropriately marked.
14. Fire hydrants will be installed with the center of the 4 inch opening at least 18 inches above the finished street with a 3 to 6 foot setback from curb(s). No obstructions shall be placed within 3 feet of any fire hydrant and the 4 inch opening must be totally unobstructed from the street.
15. When fire protection facilities are to be installed by the developer, such facilities, including all surfaces access roads, shall be installed and made serviceable prior to and during the time of construction. When alternate methods of protection, as approved by the fire chief, are provided, the above may be waived or modified.
16. All fire alarm systems, fire hydrant systems, fire extinguishing systems (including sprinkler systems) wet and dry standpipes, and basement inlet pipes, shall have the approval of the fire department as to installation and location, and will be subject to such periodic tests as required by the fire chief. Plans and specifications shall be submitted to the fire department for review and approval prior to construction.
17. All fire access roads will have a minimum wheel clearance of 13 feet 6 inches.
18. Where it is applicable, buildings will meet the high-rise ordinance for fire protection.
19. All signs will comply with the Sign Ordinance of the City of Austin, except as otherwise provided in the conceptual land plan as of the date of the ordinance.
20. A detailed planting plan showing reclamation methods will be submitted to the city for approval at the site development plan permit stage.
21. All construction drawings, including a utility layout, will be submitted for review and approved by the city at the site development plan permit stage.

23. All exterior lighting shall be hooded or shielded so that the light source is not directly visible from adjacent SR-5 or more restrictive properties.
24. All dumpsters and any permanently placed refuse receptacles shall be located a minimum of 20 feet from any property used or zoned as SR-3 or more restrictive. The location of and access to dumpsters or any other refuse receptacles shall comply with the guidelines published by the Public Works Department. Location and access shall be reviewed by the Public Works and Urban Transportation Departments.
25. The use of highly reflective surfaces, such as reflective or mirrored glass, or reflective metal roofs whose pitch is more than a run of 7 to a rise of 12, shall be prohibited.
26. Signage locations shall be determined at the time of subdivision.
27. Each compact parking space will be identified by a sign stating "small car only" and signs will be posted on site directing motorists to such spaces.
28. Parking - NOT INTENTIONALLY DETECTED plan permit phase:
29. Drainage plans will be submitted to City of Austin. Runoff will be addressed at the site development plan permit stage.
30. Tree Access Points will be allowed to Loop 360 subject to TxDOT approval. Four driveways, subject to City of Austin driveway regulations, will be allowed to Westlake Drive. Appropriate locations are shown.
31. Tract F, Block D, Lot 1 will provide an IPM plan, 194-3" container grown trees, and comply with the City of Austin Green Builders Program (One Star Level). Trees will be selected to provide overall species diversity.
32. Project - NOT INTENTIONALLY DETECTED total hard work, including Westlake Drive
33. All cut and fill over 4 feet is to be structurally contained.
34. No coal-tar based sealants shall be used.
35. Project - NOT INTENTIONALLY DETECTED (attention panels) that meet current code standards
36. Maximum height for buildings on Tract F, Block D, Lot 1 is 47 feet.
37. Section 25-10-124 (B), scenic roadway sign district regulations is amended to allow two signs on tract B-1.
38. The owners of Lots 1, 1-A, Block "D" Tract F and Lot 16, Block "E" Tract F may, by mutual written agreement between or among them, as the case may be, radiocate the impervious cover allowed for each lot as a minor change to this document in accordance with TS-2-403(c) of the Land Development Code.
39. Lots 1 and 1-A, Block "D", Tract F and Lot 16, Block "E" Tract F are offered a total of 9.49 acres of impervious cover as shown on the thoroughfare map by slopes table on sheet 22. An additional 1.95 acres of impervious cover is allowed for the extension of Westlake Drive as shown on the summary table on sheet 22.
40. Notwithstanding anything herein to the contrary, including without limitation both section 25-2-403(d)(1) and section 25-2-403(e) of the code, all portions of the maps are related applicable to a project under Texas Property Code Chapter 62, regardless of whether they relate exclusively to one or more parcels of land owned by the same person.
- B-1 shall be developed with not fewer than 5 multi-family units per lot, if any.
- | Cover Number: |
|---|
| Determined by Council on _____ |
| Determined through Subordinating on _____ |
| No per LDC 20-3-ABJ |
- AMENDMENT OR ADDITION
- Approved Planning and Zoning Regulations**

Case Number: _____
Assignment for AGENCY'S Paid 1,000 U.S. \$1.44
Approved by Council on _____ \$0._____
Assignment Approved Adequately on _____ \$0._____
As per LDC 20-2-243
Assigned Planning and Policy Department

1

BLACK	UNIT	REMARKS
BLACK "1"	UNIT 1	1000-1000
BLACK "2"	UNIT 2	1000-1000
BLACK "3"	UNIT 3	1000-1000
BLACK "4"	UNIT 4	1000-1000
BLACK "5"	UNIT 5	1000-1000

RESEARCH DESIGN

DATE	TO	AMOUNT	REMARKS
1900	100	100	100
1901	100	100	100
1902	100	100	100
1903	100	100	100
1904	100	100	100
1905	100	100	100
1906	100	100	100
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1989	100	100	100
1990	100	100	100
1991	100	100	100

CONFIDENCE CALCULATIONS

100

[illegible]

Using Another Computer

[illegible]

INTERNAL AKA NUMBER

[illegible]

TRAIL, LEADERSHIP TEAM

[illegible]

QUESTIONS

DATE OF BIRTH: 10 FEB 1947
DATE OF DEATH: 10 FEB 1947
CITY AND FULL ADDRESS OF NEXT OF KIN: 1000 E. 10TH AVE. S.W. ALBUQUERQUE, N.M. 87102

[illegible]

Abstract and Field - Test 1 - Assessment of Important Issues

Year	1900	1901	1902	1903	1904	1905	1906	1907	1908	1909	1910	1911	1912	1913	1914	1915	1916	1917	1918	1919	1920	1921	1922	1923	1924	1925	1926	1927	1928	1929	1930	1931	1932	1933	1934	1935	1936	1937	1938	1939	1940	1941	1942	1943	1944	1945	1946	1947	1948	1949	1950	1951	1952	1953	1954	1955	1956	1957	1958	1959	1960	1961	1962	1963	1964	1965	1966	1967	1968	1969	1970	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
Population	1,000,000	1,050,000	1,100,000	1,150,000	1,200,000	1,250,000	1,300,000	1,350,000	1,400,000	1,450,000	1,500,000	1,550,000	1,600,000	1,650,000	1,700,000	1,750,000	1,800,000	1,850,000	1,900,000	1,950,000	2,000,000	2,050,000	2,100,000	2,150,000	2,200,000	2,250,000	2,300,000	2,350,000	2,400,000	2,450,000	2,500,000	2,550,000	2,600,000	2,650,000	2,700,000	2,750,000	2,800,000	2,850,000	2,900,000	2,950,000	3,000,000	3,050,000	3,100,000	3,150,000	3,200,000	3,250,000	3,300,000	3,350,000	3,400,000	3,450,000	3,500,000	3,550,000	3,600,000	3,650,000	3,700,000	3,750,000	3,800,000	3,850,000	3,900,000	3,950,000	4,000,000	4,050,000	4,100,000	4,150,000	4,200,000	4,250,000	4,300,000	4,350,000	4,400,000	4,450,000	4,500,000	4,550,000	4,600,000	4,650,000	4,700,000	4,750,000	4,800,000	4,850,000	4,900,000	4,950,000	5,000,000	5,050,000	5,100,000	5,150,000	5,200,000	5,250,000	5,300,000	5,350,000	5,400,000	5,450,000	5,500,000	5,550,000	5,600,000	5,650,000	5,700,000	5,750,000	5,800,000	5,850,000	5,900,000	5,950,000	6,000,000	6,050,000	6,100,000	6,150,000	6,200,000	6,250,000	6,300,000	6,350,000	6,400,000	6,450,000	6,500,000	6,550,000	6,600,000	6,650,000	6,700,000	6,750,000	6,800,000	6,850,000	6,900,000	6,950,000	7,000,000	7,050,000	7,100,000	7,150,000	7,200,000	7,250,000	7,300,000	7,350,000	7,400,000	7,450,000	7,500,000	7,550,000	7,600,000	7,650,000	7,700,000	7,750,000	7,800,000	7,850,000	7,900,000	7,950,000	8,000,000	8,050,000	8,100,000	8,150,000	8,200,000	8,250,000	8,300,000	8,350,000	8,400,000	8,450,000	8,500,000	8,550,000	8,600,000	8,650,000	8,700,000	8,750,000	8,800,000	8,850,000	8,900,000	8,950,000	9,000,000	9,050,000	9,100,000	9,150,000	9,200,000	9,250,000	9,300,000	9,350,000	9,400,000	9,450,000	9,500,000	9,550,000	9,600,000	9,650,000	9,700,000	9,750,000	9,800,000	9,850,000	9,900,000	9,950,000	10,000,000	10,050,000	10,100,000	10,150,000	10,200,000	10,250,000	10,300,000	10,350,000	10,400,000	10,450,000	10,500,000	10,550,000	10,600,000	10,650,000	10,700,000	10,750,000	10,800,000	10,850,000	10,900,000	10,950,000	11,000,000	11,050,000	11,100,000	11,150,000	11,200,000	11,250,000	11,300,000	11,350,000	11,400,000	11,450,000	11,500,000	11,550,000	11,600,000	11,650,000	11,700,000	11,750,000	11,800,000	11,850,000	11,900,000	11,950,000	12,000,000	12,050,000	12,100,000	12,150,000	12,200,000	12,250,000	12,300,000	12,350,000	12,400,000	12,450,000	12,500,000	12,550,000	12,600,000	12,650,000	12,700,000	12,750,000	12,800,000	12,850,000	12,900,000	12,950,000	13,000,000	13,050,000	13,100,000	13,150,000	13,200,000	13,250,000	13,300,000	13,350,000	13,400,000	13,450,000	13,500,000	13,550,000	13,600,000	13,650,000	13,700,000	13,750,000	13,800,000	13,850,000	13,900,000	13,950,000	14,000,000	14,050,000	14,100,000	14,150,000	14,200,000	14,250,000	14,300,000	14,350,000	14,400,000	14,450,000	14,500,000	14,550,000	14,600,000	14,650,000	14,700,000	14,750,000	14,800,000	14,850,000	14,900,000	14,950,000	15,000,000	15,050,000	15,100,000	15,150,000	15,200,000	15,250,000	15,300,000	15,350,000	15,400,000	15,450,000	15,500,000	15,550,000	15,600,000	15,650,000	15,700,000	15,750,000	15,800,000	15,850,000	15,900,000	15,950,000	16,000,000	16,050,000	16,100,000	16,150,000	16,200,000	16,250,000	16,300,000	16,350,000	16,400,000	16,450,000	16,500,000	16,550,000	16,600,000	16,650,000	16,700,000	16,750,000	16,800,000	16,850,000	16,900,000	16,950,000	17,000,000	17,050,000	17,100,000	17,150,000	17,200,000	17,250,000	17,300,000	17,350,000	17,400,000	17,450,000	17,500,000	17,550,000	17,600,000	17,650,000	17,700,000	17,750,000	17,800,000	17,850,000	17,900,000	17,950,000	18,000,000	18,050,000	18,100,000	18,150,000	18,200,000	18,250,000	18,300,000	18,350,000	18,400,000	18,450,000	18,500,000	18,550,000	18,600,000	18,650,000	18,700,000	18,750,000	18,800,000	18,850,000	18,900,000	18,950,000	19,000,000	19,050,000	19,100,000	19,150,000	19,200,000	19,250,000	19,300,000	19,350,000	19,400,000	19,450,000	19,500,000	19,550,000	19,600,000	19,650,000	19,700,000	19,750,000	19,800,000	19,850,000	19,900,000	19,950,000	20,000,000	20,050,000	20,100,000	20,150,000	20,200,000	20,250,000	20,300,000	20,350,000	20,400,000	20,450,000	20,500,000	20,550,000	20,600,000	20,650,000	20,700,000	20,750,000	20,800,000	20,850,000	20,900,000	20,950,000	21,000,000	21,050,000	21,100,000	21,150,000	21,200,000	21,250,000	21,300,000	21,350,000	21,400,000	21,450,000	21,500,000	21,550,000	21,600,000	21,650,000	21,700,000	21,750,000	21,800,000	21,850,000	21,900,000	21,950,000	22,000,000	22,050,000	22,100,000	22,150,000	22,200,000	22,250,000	22,300,000	22,350,000	22,400,000	22,450,000	22,500,000	22,550,000	22,600,000	22,650,000	22,700,000	22,750,000	22,800,000	22,850,000	22,900,000	22,950,000	23,000,000	23,050,000	23,100,000	23,150,000	23,200,000	23,250,000	23,300,000	23,350,000	23,400,000	23,450,000	23,500,000	23,550,000	23,600,000	23,650,000	23,700,000	23,750,000	23,800,000	23,850,000	23,900,000	23,950,000	24,000,000	24,050,000	24,100,000	24,150,000	24,200,000	24,250,000	24,300,000	24,350,000	24,400,000	24,450,000	24,500,000	24,550,000	24,600,000	24,650,000	24,700,000	24,750,000	24,800,000	24,850,000	24,900,000	24,950,000	25,000,000	25,050,000	25,100,000	25,150,000	25,200,000	25,250,000	25,300,000	25,350,000	25,400,000	25,450,000	25,500,000	25,550,000	25,600,000	25,650,000	25,700,000	25,750,000	25,800,000	25,850,000	25,900,000	25,950,000	26,000,000	26,050,000	26,100,000	26,150,000	26,200,000	26,250,000	26,300,000	26,350,000	26,400,000	26,450,000	26,500,000	26,550,000	26,600,000	26,650,000	26,700,000	26,750,000	26,800,000	26,850,000	26,900,000	26,950,000	27,000,000	27,050,000	27,100,000	27,150,000	27,200,000	27,250,000	27,300,000	27,350,000	27,400,000	27,450,000	27,500,000	27,550,000	27,600,000	27,650,000	27,700,000	27,750,000	27,800,000	27,850,000	27,900,000	27,950,000	28,000,000	28,050,000	28,100,000	28,150,000	28,200,000	28,250,000	28,300,000	28,350,000	28,400,000	28,450,000	28,500,000	28,550,000	28,600,000	28,650,000	28,700,000	28,750,000	28,800,000	28,850,000	28,900,000	28,950,000	29,000,000	29,050,000	29,100,000	29,150,000	29,200,000	29,250,000	29,300,000	29,350,000	29,400,000	29,450,000	29,500,000	29,550,000	29,600,000	29,650,000	29,700,000	29,750,000	29,800,000	29,850,000	29,900,000	29,950,000	30,000,000	30,050,000	30,100,000	30,150,000	30,200,000	30,250,000	30,300,000	30,350,000	30,400,000	30,450,000	30,500,000	30,550,000	30,600,000	30,650,000	30,700,000	30,750,000	30,800,000	30,850,000	30,900,000	30,950,000	31,000,000	31,050,000	31,100,000	31,150,000	31,200,000	31,250,000	31,300,000	31,350,000	31,400,000	31,450,000	31,500,000	31,550,000	31,600,000	31,650,000	31,700,000	31,750,000	31,800,000	31,850,000	31,900,000	31,950,000	32,000,000	32,050,000	32,100,000	32,150,000	32,200,000	32,250,000	32,300,000	32,350,000	32,400,000	32,450,000	32,500,000	32,550,000	32,600,000	32,650,000	32,700,000	32,750,000	32,800,000	32,850,000	32,900,000	32,950,000	33,000,000	33,050,000	33,100,000	33,150,000	33,200,000	33,250,000	33,300,000	33,350,000	33,400,000	33,450,000	33,500,000	33,550,000	33,600,000	33,650,000	33,700,000	33,750,000	33,800,000	33,850,000	33,900,000	33,950,000	34,000,000	34,050,000	34,100,000	34,150,000	34,200,000	34,250,000	34,300,000	34,350,000	34,400,000	34,450,000	34,500,000	34,550,000	34,600,000	34,650,000	34,700,000	34,750,000	34,800,000	34,850,000	34,900,000	34,950,000	35,000,000	35,050,000	35,100,000	35,150,000	35,200,000	35,250,000	35,300,000	35,350,000	35,400,000	35,450,000	35,500,000	35,550,000	35,600,000	35,650,000	35,700,000	35,750,000	35,800,000	35,850,000	35,900,000	35,950,000	36,000,000	36,050,000	36,100,000	36,150,000	36,200,000	36,250,000	36,300,000	36,350,000	36,400,000	36,450,000	36,500,000	36,550,000	36,600,000	36,650,000	36,700,000	36,750,0

IE

ADJUSTMENT OF ADOPTED PUD (AND USE P/AS)

Case Number: _____

As per LIC 25-2-003

Independent Funding and Living Expenses

EXHIBIT B - pg 6 of 6

DAVENPORT RANCH WEST PUD.

Bury+Partners
Consulting Engineers and Surveyors
Suite 1000, 2nd St./P.O. Box 1001, Fort Collins, CO 80501-1001
970/225-1100, Fax 970/225-1101

TRACT F SECTION 4
BLOCK D LOTS 1, 1-A & BLOCK E LOT 10
GARLES RESIDENTIAL

OF 22 22	SHEET 22	PLATING SCALE 1" = 1'
		DATE PLOTTED 08/25/98
		FILE # 0001/1/00150002
		DRAWN BY JLM/08/98
		DESIGNED BY JLM
		CHECKED BY JLM
		PROJECT NO.: 000-1000