TBG
PARTNERS

Ms. Wendy Walsh
Neighborhood Planning and Zoning
City of Austin
5th floor
505 Barton Springs Rd
Austin TX 78704

Re: Goodnight Ranch PUD
Case # C814-04-0187.SH

Dear Ms. Walsh:

On behalf of the applicant, I respectfully request that the Ordinance and Restrictive Covenant be modified to address an additional aspect of the development. To read as follows:

Ordinance
Part 4. Definitions Item A.7. "MANSION HOME means a structure on one lot designed to appear like a large single family residence, but that is divided into **two** to six units, each with an individual entry " *(Change from four to six units to two to six units)*

Reason for change:

1. Market innovation – the builder community has responded favorably to the new concept of the Mansion Home (also planned and implemented in Stapleton and Mueller), but has sought to widen the offering of unit types in this product type
2. Affordability – by offering a range of unit counts and sizes on the same lot size, the appeal of the Mansion Homes will be made available to a wider range of buyers.

Restrictive Covenant
No. 3 c) Second sentence. "Trees in retail areas may be grouped **and/or have reduced spacing**."

Reason for change
The reason is to have the ability to add more street trees in retail locations

Please let me if you have any questions on this matter,

Sincerely,

Sean Compton, CNU
Principal

901 South MoPac, Building 2 Suite 350 Austin, Texas 78746 TEL 512 327 1011 FAX 512 327 0488 WEB www.tbg-inc.com

ZONING CHANGE REVIEW SHEET

CASE: C14-04-0187.SH

Z.P.C. DATE: January 31, 2006
March 7, 2006

ADDRESS: East side of Old Lockhart Highway between Nuckols Crossing Road and Capitol View Drive

OWNERS: MVE Venture, Ltd. (Claude Dean Goodnight);
Austin Goodnight Ranch, Ltd (Terry Mitchell);
Benchmark Land & Exploration, Inc. (David C Mahn)
Austin Independent School District (Mark Williams, President, Board of Trustees)

AGENT: TBG Partners (Sean Compton)

ZONING FROM: I-RR **TO:** PUD

AREA: 703 280 acres

SUMMARY STAFF RECOMMENDATION:

The Staff recommendation is to grant planned unit development (PUD) district zoning for Goodnight Ranch, as illustrated in Exhibits B through B-9

The Restrictive Covenant includes. 1) all recommendations listed in the Traffic Impact Analysis memorandum, dated December 6, 2005, as provided in Attachment A; 2) a provision for an Integrated Pest Management (IPM) plan, and 3) a statement that a public – private partnership exists between the developer of Goodnight Ranch PUD and Travis County regarding the construction of Slaughter Lane through the property

ZONING & PLATTING COMMISSION RECOMMENDATION:

January 31, 2006: *A SUBCOMMITTEE WAS CREATED TO FURTHER ASSESS THIS APPLICATION THE COMMITTEE IS COMPOSED OF COMMISSIONERS HAMMOND, RABAGO, MARTINEZ, JACKSON AND HALE, PLUS ZONING, LEGAL AND TRANSPORTATION STAFF. COMMISSIONER JACKSON IS THE COMMITTEE'S CHAIRPERSON.*

THE SUBCOMMITTEE WILL GIVE A REPORT AT THE FEBRUARY 21, 2006, ZAP COMMISSION MEETING. RE-NOTIFICATION WILL OCCUR PRIOR TO PLACING THIS ITEM BACK ON THE AGENDA
[J MARTINEZ, S. HALE 2ND] (8-0) J. GOHIL – ABSENT

March 7, 2006 *APPROVED STAFF'S RECOMMENDATION FOR PUD DISTRICT ZONING WITH A RESTRICTIVE COVENANT FOR THE TRAFFIC IMPACT ANALYSIS, INTEGRATED PEST MANAGEMENT PLAN AND A STATEMENT OF A PUBLIC/PRIVATE PARTNERSHIP BETWEEN THE DEVELOPER AND TRAVIS*

COUNTY REGARDING THE CONSTRUCTION OF SLAUGHTER LANE THROUGH THE PROPERTY.

[K. JACKSON, C. HAMMOND 2ND] (8-0-1) B.B – ABSTAINED

EXHIBITS AND ATTACHMENTS TO STAFF REPORT:

Exhibits A, A-1, A-2	Zoning Map, Aerial View and Vicinity Map
Exhibit B:	Planned Unit Development – Land Use Map
Exhibit B-1.	Code Modifications Table
Exhibit B-2	Street Cross Section Table and Illustrations
Exhibit B-3:	Parking Requirements
Exhibit B-4:	Sign Regulations
Exhibit B-5:	PUD Zoning Land Use Summary Table
Exhibit B-6·	Allowable Intensity Table
Exhibit B-7:	Site Development Regulations
Exhibit B-8:	Residential Uses – Definitions and Visual Guidelines
Exhibit B-9:	Environmental Information
Attachment A:	Traffic Impact Analysis (TIA) Memorandum
Attachment B.	Letter from Capital Metro
Attachment C	Parkland Dedication Agreement
Attachment D	Water Service Availability – Creedmoor Maha Supply Corporation
Attachment E	Wastewater and Water Service Extensions – City of Austin
Attachment F:	S.M A R.T. Housing Certification Letter

ISSUES:

The Applicant has requested a revision to the draft Zoning Ordinance that would reduce the minimum number of units permitted in a mansion home from four to two In addition, the Applicant has requested a revision to the draft Restrictive Covenant that would allow for trees in retail areas to be grouped in intervals that are less than 30 feet on center (Please refer to letter following this Summary Sheet) Staff does not object to the Applicant's requests.

The Applicants have requested two modifications from First Reading: 1) to add automotive washing (of any type) and liquor sales as permitted uses within the Neighborhood Mixed Area; and 2) to define the planting of street trees, generally based on the City's Traditional Neighborhood District Criteria Manual Staff recommends the Applicants' requested modifications be incorporated into the PUD zoning ordinance and Restrictive Covenant

The Subcommittee, Applicant and Staff met on three successive Monday evenings between January 31st and March 7th Monday, February 13th, 2006 (Applicant's presentation), Monday, February 20th and Monday, February 27th Minutes from the February 20th and 27th meetings are located at the very back of the packet.

The Applicant is in agreement with the Staff recommendation

This rezoning case has been approved to participate in the City's S.M.A.R.T. (Safe, Mixed-Income, Accessible, Reasonably-priced, Transit-Oriented) Housing expedited review program Please refer to Attachment F.

DEPARTMENT COMMENTS:

The subject property consists of undeveloped and agricultural lands, and was annexed into the City's limited purpose jurisdiction in July 2005 as interim-rural residence (I-RR) zoning. Please refer to Exhibits A, A-1 and A-2 The surrounding area consists of undeveloped and agricultural lands, single family residences and manufactured homes on lots and tracts of varying sizes. Nuckols Crossing Road forms the northwest property line and Old Lockhart Highway forms the south property line East Slaughter Lane terminates at Old Lockhart Highway approximately 400 feet to the west, and is proposed to be extended east-west through the property

PUD Land Use Plan

The Applicant has requested planned unit development (PUD) zoning so that the property may be developed with mixed-use development that provides for a range of residential, commercial, civic and open spaces integrated into a master planned community The PUD Land Use Plan contains three development areas: a *Neighborhood Mixed Use Area,* a *Mixed Residential Area*, and *Open Space* The *Neighborhood Mixed Use Area* is generally located along both sides of the Slaughter Lane alignment and Old Lockhart Highway, provides for a mixture of residential uses and up to 225,000 square feet of commercial development. The *Neighborhood Mixed Use Area* allows for a greater range of permitted uses and more intensive development standards. The *Mixed Residential Area* is generally located along the perimeters of the property, permits innovative residential designs alongside conventional single family and multi-family residential uses, and also includes up to 35,000 square feet of neighborhood-oriented commercial uses Goodnight Ranch PUD incorporates 70 acres of *Open Space*, in the form of interconnected greenways and pocket parks, as well as a comprehensive network of trails and sidewalks to encourage pedestrian circulation and recreation opportunities Street trees will be planted on both sides of pedestrian-scaled at consistent intervals and the developer is looking into creating an on-site tree farm to provide a ready source of plant material serving this purpose. Integrated together, these uses will contribute to a development that promotes living, shopping and recreation opportunities within the same development. Please refer to Exhibits B and B-6.

Residential uses account for a maximum of 3,533 dwelling units, of which a maximum of 2,150 may be multi-family. The Goodnight Ranch PUD will provide a mixture of residential types that includes

- single family detached residences with an optional second living unit above the garage (yard house),
- attached two to three-story townhomes (rowhouse),
- rowhouses with work space or commercial space permitted on the ground floor and upper level living space (live / work shophouse);

- attached dwelling units (4-6) located within a single structure (mansion home)
- apartments or condominiums (multifamily home); and,
- buildings containing residential units and non-residential square footage (multi-use buildings)

The different housing types are designed to be clustered together in order to preserve open space and achieve water quality benefits The residential developer will participate in the City's Green Building program, as established by the S.M.A.R.T. Housing certification letter. Please refer to Exhibit B-8.

Goodnight Ranch PUD provides for up to 260,000 square feet of commercial, retail and office uses, and up to 15,000 square feet of supporting civic uses. In addition, the PUD includes two AISD elementary school sites (one of which is scheduled to be constructed with the first phase of development), one City fire station site (with the location to be determined prior to approval of the first preliminary plan), five acres of private park space or a series of park spaces, and 65 acres of private open space, to be made available for use by the residents. Development of Goodnight Ranch PUD is proposed to occur in ten phases, beginning in 2008 and extending through 2026

Transportation Network
The transportation network within Goodnight Ranch PUD is proposed to consist of boulevards, main streets, avenues and alleys for automobiles, as well as trails and sidewalks for pedestrians and bicyclists The street standards have been designed to maintain efficient traffic circulation while promoting pedestrian use. Narrower street widths will assist in slowing vehicle speeds, encourage walking and bicycling within the neighborhood as well as reduce impervious cover and storm water runoff. Cul-de-sacs are strongly discouraged in order to achieve an interconnected street system and further the objective of a mixed use, pedestrian-oriented development. Please refer to Exhibits B-2 and B-3 Due to the rural nature of the two adjacent subdivisions along Cheryl Lynn Road and Capitol View Drive, the Applicant does not propose vehicular access to these developments.

A public-private partnership exists between the developer of Goodnight Ranch PUD and Travis County regarding the construction of Slaughter Lane through the property. The partnership contains provisions that specify the responsibilities of the developer and Travis County, and the review process will ensure the developer's adherence to the terms and conditions therein. In general terms, the developers will build one-half of the Slaughter Lane extension, and the County will construct the remaining one-half, using County bond money approved in November 2005 The developers have also proposed to further circulation within the Goodnight Ranch community by providing two pedestrian crossings (grade separated) under Slaughter Lane.

Fees in Lieu of Park land Dedication
The surrounding area is well-served by park and recreational facilities, including the Onion Creek and Williamson Creek green belts, a sports and recreation complex, two public golf courses, and McKinney Falls State Park The Parks and Recreation

Department (PARD) has accepted the Applicant's proposal to pay full parkland fees in lieu of parkland dedication Please refer to Attachment C.

Water Service
A Service Extension Request (SER) was approved by the Austin Water Utility and the Austin City Council. The SER requires the applicant to extend a 24-inch line from Salt Springs Road, along Thaxton Lane and Nuckols Crossing, to the tract. The line will then run through the tract and to the west along the proposed Slaughter Lane extension, where it will tie to an existing City of Austin line at Slaughter Lane and Old Lockhart Highway.

A portion of the Goodnight Ranch PUD is in the Creedmoor-Maha water service area, and Creedmoor Maha has agreed to serve the tract for its domestic water needs. Fire flow requirements can be met by on-site storage, but it is possible that an agreement can be reached whereby the City of Austin serves as a wholesale provider to the portion in Creedmoor's service area, with Creedmoor as a retail provider, thereby serving the tract with adequate fire flows in lieu of on-site storage. Please refer to Attachments D and E.

Wastewater Service
A Service Extension Request was approved by the Austin Water Utility, whereby a line will be extended from Goodnight Ranch PUD to the north, where it will cross the presently-undeveloped Onion Creek Metro Park and tie to the Onion Creek interceptor The developer has been working with PARD to obtain the necessary easement for this line, which will also serve the park as the master plan for Onion Creek Metro Park is developed PARD's initial plans call for ball fields and restroom facilities where the line is proposed, and this line (as well as the water line) can serve the park's needs as well Please refer to Attachment E.

Drainage
Detention and water quality ponds will treat developed runoff to (1) detain peak flows to existing conditions, and (2) to treat the runoff per City of Austin standards Regional detention ponds are proposed, which are believed to be more effective at detention than a series of smaller ponds throughout the tract In addition, the water quality ponds will be constructed as an amenity/recreation area to enhance the community while serving a vital water quality function Stormwater runoff will be directed to these ponds via a meandering drainageway along pedestrian paths in the greenbelts.

Code Modifications Requested with the PUD
The Code Modifications requested with the Goodnight Ranch PUD cover the following areas: building setbacks, compatibility standards (including screening) internal to the site; open space and landscape area requirements, subdivision; street design; vehicular and driveway access, parking standards and signage In general, the Code Modifications allow for a compact, pedestrian-scaled, mixed-use community to be developed, promotes the interaction between residential and non-residential uses, and provides opportunities for the development of neighborhood and community-serving businesses and activities The requested Code Modifications are specifically defined in Exhibits B-1, B-4, B-5 and B-7.

Staff recommends PUD zoning for the Goodnight Ranch project, given that: 1) it provides for a balanced land use plan and includes a range of housing types which will serve to diversify residential options in this area of Travis County; 2) housing types will be clustered together and street widths narrowed to preserve open space, slow vehicle speeds, reduce impervious cover which in turn benefits water quality; 3) it has a civic use component that includes two elementary schools, a fire station and recreational amenities by way of private park space; 4) it provides a centralized Neighborhood Mixed Use Area to provide for the "daily need" services and employment opportunities for the residents; 5) it will provide for different modes of transportation through a system of inter-connected streets, as well as sidewalks and trails to serve pedestrians and bicyclists, all of which benefit circulation within the property; and, (6) it is consistent with the Council's policy of providing opportunities for S.M.A.R.T Housing to occur.

EXISTING ZONING AND LAND USES:

	ZONING	LAND USES
Site	I-RR	Agricultural
North	I-RR; County; SF-3	Onion Creek Metro Park; Undeveloped; Single family residences – on large lots and standard size lots
South	I-RR; County	Single family residences and manufactured homes on Cheryl Lynn Road; Warehouse; Single family residences on unplatted tracts; Auto-related uses; Undeveloped
East	I-SF-2; County	Single family residences and manufactured homes on Capitol View Drive, Undeveloped
West	County, I-RR	River Ridge manufactured home community, Undeveloped, Single family residences on unplatted tracts

AREA STUDY: N / A

TIA: Is required – Please refer to Attachment A

WATERSHED: Onion Creek

DESIRED DEVELOPMENT ZONE: Yes

CAPITOL VIEW CORRIDOR: No

SCENIC ROADWAY: Yes, Slaughter Lane

NEIGHBORHOOD ORGANIZATIONS:

428 – Barton Springs / Edwards Aquifer Conservation District
511 – Austin Neighborhoods Council
627 – Onion Creek Homeowners Association
742 – Austin Independent School District

SCHOOLS:

Menchaca Elementary School Paredes Middle School Charles Akins High School

CASE HISTORIES:

NUMBER	REQUEST	COMMISSION	CITY COUNCIL
C14-05-0168 – KB Sheldon 230	I-RR to GR	Approved GR-CO with the CO for restaurant (general) and all LR uses; prohibit off-site accessory parking and drive-in services as an accessory use, and 700 trips; Restrictive Covenant for the Neighborhood Traffic Analysis, unless a TIA is submitted.	Approved GR-CO district zoning and to accept a Restrictive Covenant with conditions of the Neighborhood Traffic Analysis as recommended by Staff with the exception that the property be limited to 700 trips, unless a Traffic Impact Analysis is submitted and approved by the City, as the recommended by the Zoning and Platting Commission, on Second and Third Readings (2-9-06)
C14-03-0090.SH – KB Sheldon 230	I-SF-2; SF-3; I-SF-4A to SF-2 – Tracts 1 & 7; RR – Tracts 2 & 3, SF-4A – Tracts 4, 5 & 6	Approved RR, SF-2, SF-4A with conditions of the Traffic Impact Analysis	Approved ZAP recommendation, including a Restrictive Covenant for the Traffic Impact Analysis (1-8-04).
C14-02-0161.SH – McKinney Park East	I-RR to SF-4A	To Grant SF-4A-CO	Approved SF-4A-CO with the CO for 2,927 trips per day (4-3-03)

RELATED CASES:

The subject property was annexed for limited purposes on July 4, 2005 There are no related subdivision or site plan cases on the subject property.

ABUTTING STREETS:

NAME	ROW	PAVEMENT	CLASSIFICATION	Daily Traffic
Slaughter Lane	140 feet	Varies	Major Arterial Divided	5,782 vpd
Bluff Springs Road	70 feet	Varies	Major Arterial Divided	5 320 vpd
Nuckols Crossing Road	Varies	Varies	Collector	3,491 vpd
Bradshaw Road / Cheryl Lynn Road	50 feet	<30 feet	Local	N / A

Capitol View Drive	50 feet	<30 feet	Local	N/A

- Slaughter Lane is classified in the Bicycle Plan as a Priority 1 (Route 86) bike route
- Bluff Springs Road is classified in the Bicycle Plan as a Priority 2 (Route 224) bike route
- Capital Metro bus service is not available within 1/4 mile of this property
- There are no existing sidewalks along Slaughter Lane or Bluff Springs Road or Nuckols Crossing Road or Bradshaw/Cheryl Lynn Road or Capital View Road

CITY COUNCIL DATE: April 20, 2006 **ACTION:** Approved PUD district zoning with a Restrictive Covenant for the Traffic Impact Analysis, IPM Plan and public – private partnership between the developer and Travis County for the construction of Slaughter Lane through the Property as Zoning and Platting Commission recommended, on First Reading (6-0, Mayor Pro Tem temporarily off the dais).

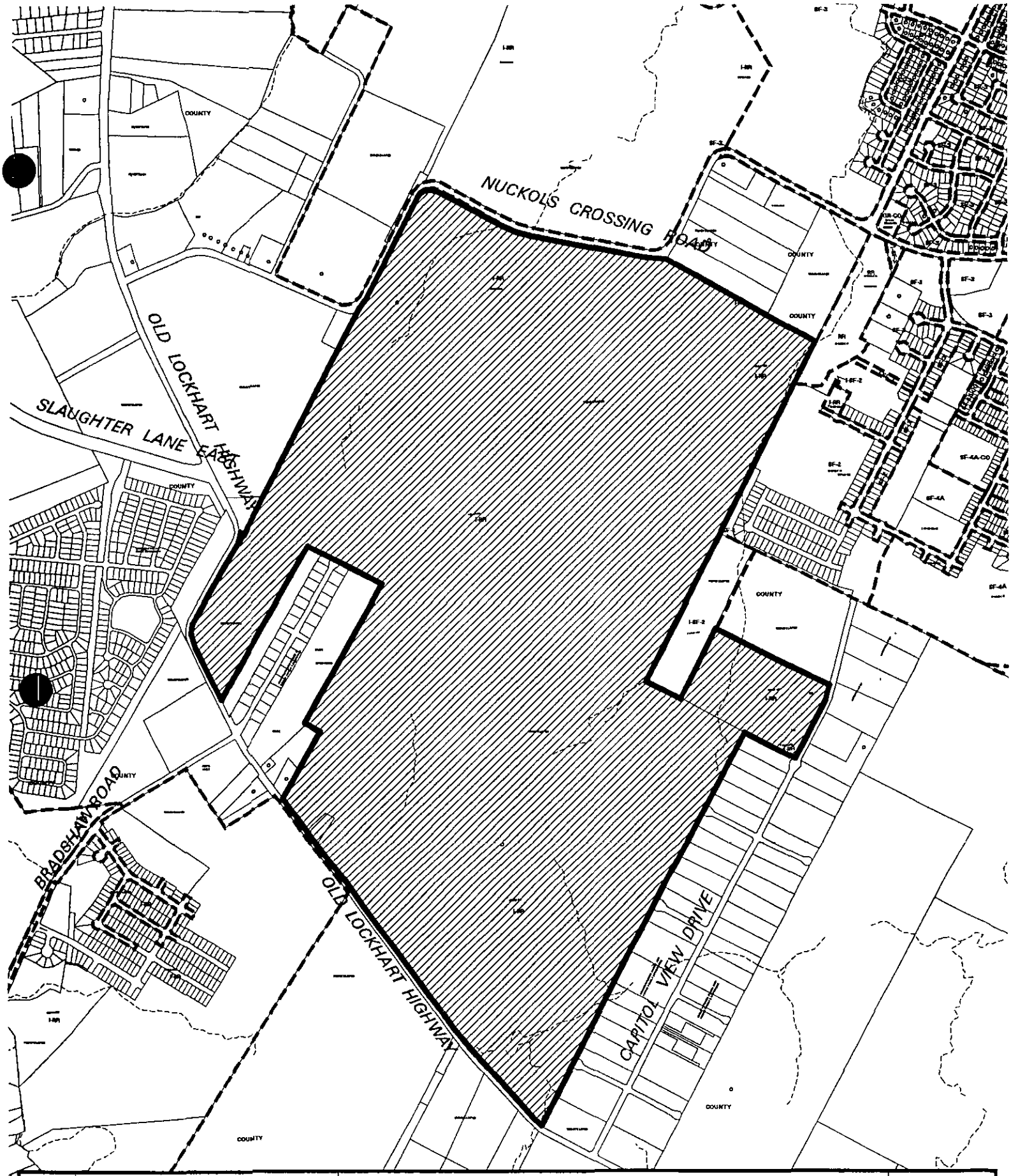
June 22, 2006 Approved PUD district zoning with Restrictive Covenant as on 1st Reading, and adding liquor sales and automotive repair services as permitted uses to the Neighborhood Mixed Use area and outlining the installation of street trees as requested by the Applicant, on 2nd Reading (5-0, McCracken, Kim off the dais)

November 16, 2006

ORDINANCE READINGS: 1st April 20, 2006 2nd June 22, 2006 3rd

ORDINANCE NUMBER:

CASE MANAGER: Wendy Walsh **PHONE:** 974-7719
e-mail. wendy walsh@ci.austin tx.us



N 1" = 1200'	SUBJECT TRACT PENDING CASE ZONING BOUNDARY CASE MGR. W. WALSH	PLANNED UNIT DEVELOPMENT EXHIBIT A CASE #: C814-04-0187.SH ADDRESS OLD LOCKHART HWY SUBJECT AREA (acres): 703 280	DATE: 06-06 INTLS: SM	CITY GRID REFERENCE NUMBER H12

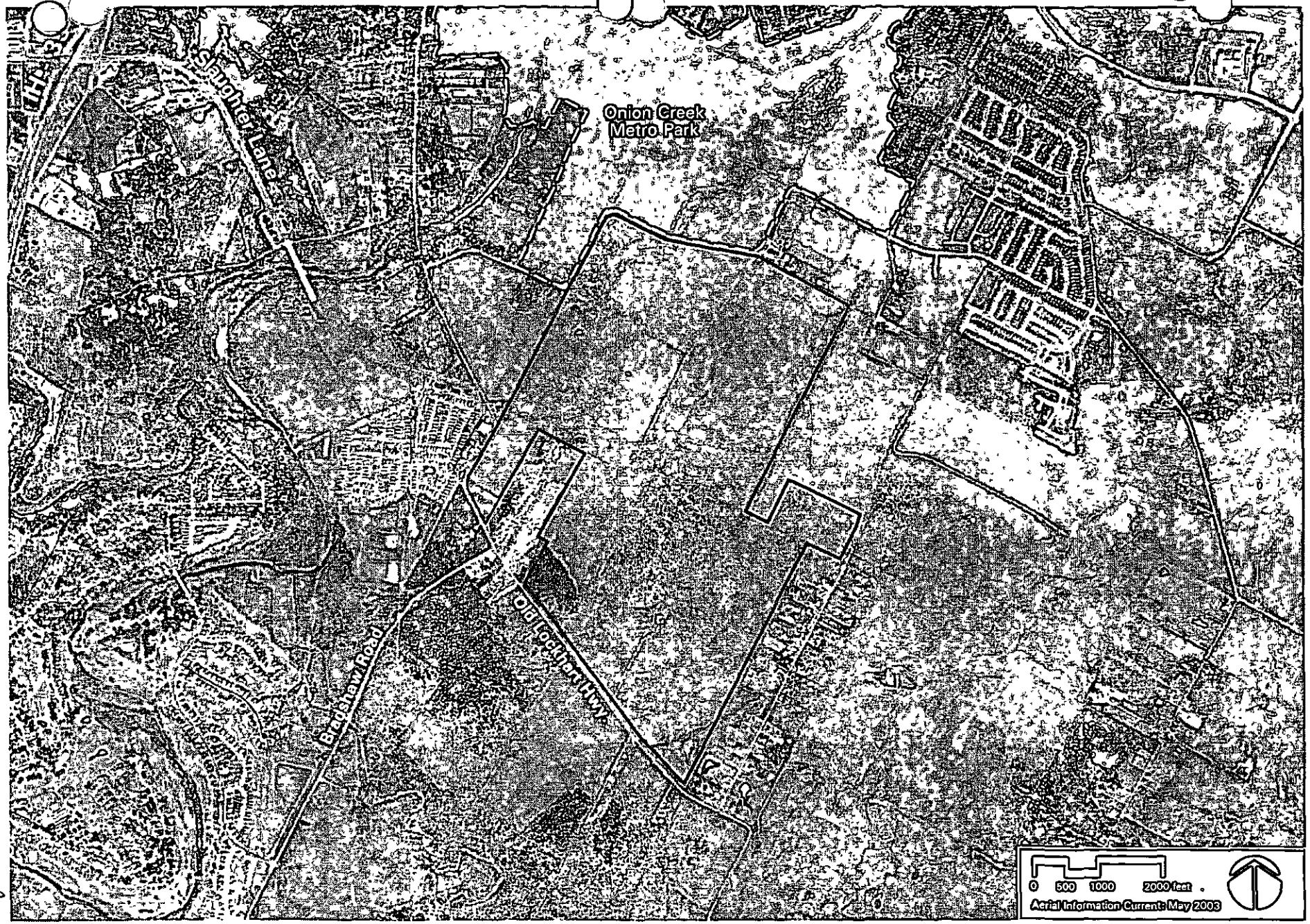


EXHIBIT A-1

Property Map **(For Review Only)**

TBG PARTNERS

Goodnight Ranch PUD Location Map

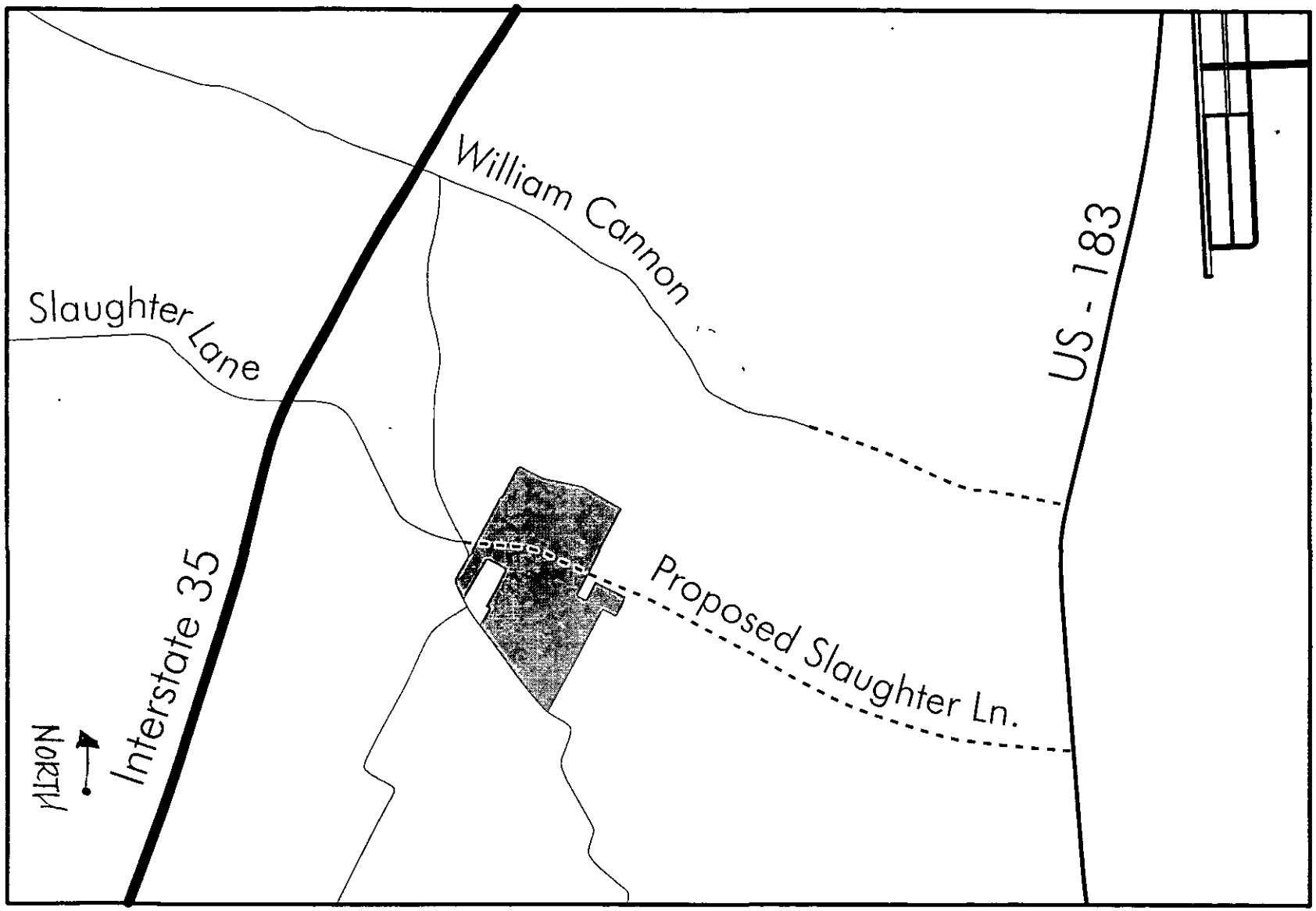


Exhibit A-2

SUMMARY STAFF RECOMMENDATION:

The Staff recommendation is to grant planned unit development (PUD) district zoning for Goodnight Ranch, as illustrated in Exhibits B through B-9.

The Restrictive Covenant includes: 1) all recommendations listed in the Traffic Impact Analysis memorandum, dated December 6, 2005, as provided in Attachment A, 2) a provision for an Integrated Pest Management (IPM) plan, and 3) a statement that a public – private partnership exists between the developer of Goodnight Ranch PUD and Travis County regarding the construction of Slaughter Lane through the property.

BASIS FOR LAND USE RECOMMENDATION (ZONING PRINCIPLES)

1. The proposed zoning should be consistent with the purpose statement of the district sought.

The Planned Unit Development (PUD) zoning district is intended for large or complex developments under unified control, planned as a single contiguous project. The PUD is intended to allow single or multi-use projects within its boundaries and provides greater design flexibility for development proposed within the PUD. Use of the PUD district should result in development superior to that which would occur using conventional zoning and subdivision regulations. PUD zoning is appropriate if the development enhances preservation of the natural environment; encourages high quality development and innovative design, and ensures adequate public facilities and services for development within the PUD

2 Zoning changes should promote an orderly and compatible relationship among land uses

Staff recommends PUD zoning for the Goodnight Ranch project, given that: 1) it provides for a balanced land use plan and includes a range of housing types which will serve to diversify residential options in this area of Travis County; 2) housing types will be clustered together and street widths narrowed to preserve open space, slow vehicle speeds, reduce impervious cover which in turn benefits water quality; 3) it has a civic use component that includes two elementary schools, a fire station and recreational amenities by way of private park space, 4) it provides a centralized Neighborhood Mixed Use Area to provide for the "daily need" services and employment opportunities for the residents, 5) it will provide for different modes of transportation through a system of inter-connected streets, as well as sidewalks and trails to serve pedestrians and bicyclists, all of which benefit circulation within the property, and, (6) it is consistent with the Council's policy of providing opportunities for S.M A R.T. Housing to occur

EXISTING CONDITIONS

Site Characteristics

The property consists of undeveloped and agricultural lands. The site may be characterized as gently sloping to rolling. A group of three hills are clustered in the southern portion of the property and panoramic views of downtown Austin can be observed from these vantage points. The surface slopes down toward tributaries of Onion Creek located to the north and east of the property In addition, about 75 acres drain south towards Marble Creek. Please refer to Exhibit B-9.

Impervious Cover

The maximum impervious cover proposed by the Goodnight Ranch PUD is 67% of the net site area. An impervious cover tracking table shall be submitted for each residential Final Plat and commercial site plan application.

Environmental

The site is not located over the Edward's Aquifer Recharge Zone. The site is in the Desired Development Zone The site is in the Onion Creek Watershed of the Colorado River Basin, which is classified as a Suburban Watershed by Chapter 25-8 of the City's Land Development Code Development on this site will be subject to the following impervious cover limits·

Yard house – 65% (in both the Mixed Residential Area and the Neighborhood Mixed Use Area)
Rowhouse, Live / Work Shophouse – 95% (in both the MRA and the NMA)
Mansion House – 75% (in both the MRA and the NMA)
Multi-family home – 75% (in both the MRA and the NMA)
Commercial – 65% in the MRA, 80% in the NMA
Civic – 70% in the MRA; 80% in the NMA
Open Space – 75% for Safety Services and Educational Facilities, Other Civic Uses and Commercial

According to flood plain maps, there is 100-year floodplain along a portion of the southeast boundary and extending into the Capitol View Estates subdivision Please refer to Exhibit H

Standard landscaping and tree protection will be required in accordance with LDC 25-2 and 25-8 for all development and/or redevelopment

Under current watershed regulations, development or redevelopment on this site will be subject to the following water quality control requirements:

- Structural controls· Sedimentation and filtration basins with increased capture volume and 2 year detention

Transportation

A traffic impact analysis is required and has been received. Additional right-of-way, participation in roadway improvements, or limitations on development intensity may be recommended based on review of the TIA. [LDC, Sec. 25-6-142]. Comments are provided in Attachment A.

The trip generation under the requested zoning is estimated to be 36,408 trips per day, assuming that the site develops to the maximum intensity allowed under the zoning classification (without consideration of setbacks, environmental constraints, or other site characteristics).

TPSD – Right of Way

The scope of this review is limited to the identification of needs for dedication and/or reservation of right-of-way for funded Capital Improvement Program (C.I.P) Roadway Construction Projects and Transportation Systems Management (T S.M.) Projects planned for implementation by the City of Austin. No aspect of the proposed project is being considered or approved with this review other than the need for right-of-way for City projects There are separate right-of-way dedication and reservation requirements enforced by other Departments and other jurisdictions to secure right-of-way for roadway improvements contained in the Austin Metropolitan Area Roadway Plan, roadway projects funded by County and State agencies, and for dedication in accordance with the functional classification of the roadway.

We have reviewed the proposed zoning case and anticipate no additional requirement for right-of-way dedication or reservation for funded C.I.P or T S.M projects at this location

Water and Wastewater

The landowner intends to serve the site and each lot with City wastewater utilities Wastewater utility improvements are necessary to serve each lot Also, offsite main extension and system upgrades are required. In order to secure City wastewater utility service, the landowner must obtain City approval of a Service Extension Request. If the landowner obtains City approval of a Service Extension Request, the landowner, at own expense, will be responsible for providing the wastewater utility improvements, offsite main extension, and system upgrades to serve each lot

A portion of the site is within the Creedmoor-Maha Water Supply Corporation CCN. For the proposed lots within this area, the landowner must provide written evidence that Creedmoor-Maha WSC will provide domestic water service and fire protection to each proposed lot and land use in accordance with the City water utility design criteria. The landowner must post fiscal for the necessary water system or must provide written evidence that Creedmoor-Maha WSC is not requiring fiscal posting

For the area not within the Creedmoor-Maha WSC CCN, the landowner intends to serve the proposed lots with City water utilities. Water utility improvements are necessary to serve each lot Also, offsite main extension and system upgrades are required. In order to secure City water utility service, the landowner must obtain City approval of a Service Extension Request. If the landowner obtains City approval a Service Extension Request, the landowner, at own expense, will be responsible for providing the water system improvements, offsite main extension, and system upgrades to serve each lot

The City should not approve the preliminary plan until the landowner has obtained City approval a Water and Wastewater Service Extension Request, the water and wastewater utility improvements, offsite main extension and system upgrades are defined. For more information pertaining to Service Extension Request process and submittal requirements, contact Phillip Jaeger, Austin Water Utility, 625 East 10th Street, 5th Floor Waller Creek Center. The Austin Water Utility reserves the right to make additional comments and to establish other requirements with the Service Extension Request and with the preliminary plan.

The water and wastewater utility system serving each lot must be in accordance with the City design criteria. The water and wastewater utility plan must be reviewed and approved by the Austin Water utility The utility construction must be inspected by the City. The landowner must pay the associated City inspection fees

With the final plat, the landowner may be required to post fiscal for some or all of the water and wastewater utility improvements, offsite main extension, and system upgrades. Also, if a lot is not exempted or waived, the landowner must pay the Subdivision Engineering Review Fee

The landowner must pay the tap fee once the landowner makes an application for a City water and/or wastewater utility tap permit Also, if a lot is not exempted or waived, the landowner must pay the City impact fee

Offsite easement or easements may be necessary for City water and/or wastewater utility service. If required, the subject landowner, at own expense, will be responsible for obtaining. The easements must be in a form and for locations defined and approved by the Austin Water Utility

Onsite easements may be necessary to provide City water and/or wastewater utility service. If required, the landowner must grant the easements for locations defined and approved by the Austin Water Utility

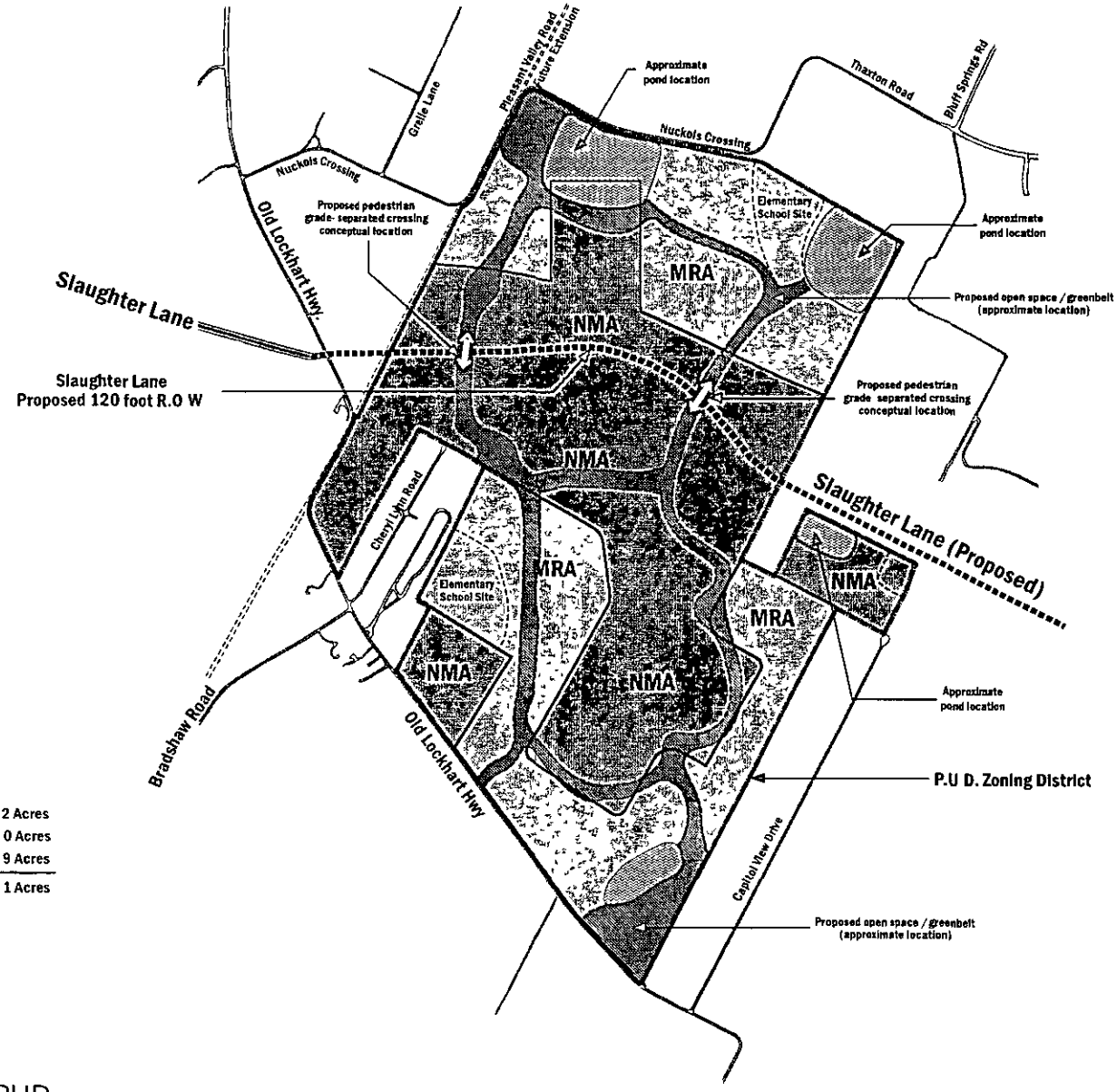
Owner:
MVE Venture, Ltd
4504 South Congress Avenue
Austin, TX 78745

Bradsher Family Trust
4504 South Congress Avenue
Austin, TX 78745

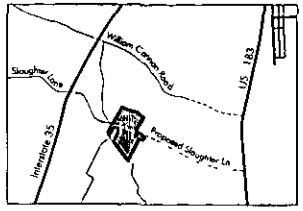
Agent:
Momark Development
P O Box 5654
Austin, TX 78763
512.391 1789
Contact Terry Mitchell

Land Planner:
TBG Partners
901 South Mopac
Building II, Suite 350
Austin, TX 78746
512 327 1011
Contact. Sean Compton

Engineer:
Hanrahan - Pritchard
Engineering, Inc
8333 Crosspark Drive
Austin, Tx 78754
Austin, TX 78757
512 459 4734
Contact Larry Hanrahan, P E



LOCATION MAP



NTS

Development Summary

Mixed Residential Area (MRA)·
- Up to 1,583 residential dwelling units
- Up to 35,000 GSF of commercial, retail/office
- Up to 5,000 GSF of civic uses
- 2 elementary school sites

Neighborhood Mixed Use Area (NMA)
- Up to 1,950 residential dwelling units
- Up to 225,000 GSF commercial/retail/office
- Up to 10,000 GSF civic uses
- Fire Station Site

NOTES

1 The overall impervious cover shall not exceed 67% of the land area for the Net Site Area of the development An impervious cover tracking table shall be submitted for each residential Final Plat and commercial site plan application

2 The specific location of the Fire/EMS station site will be determined prior to approval of the preliminary plan for the Goodnight Ranch PUD (first preliminary plan south of Slaughter Lane if the entire PUD is not included in one preliminary plan)

3 Fees in lieu of Parkland Dedication shall fulfill Parkland Dedication requirements of the entire PUD The developer will pay fees in lieu of parkland dedication, calculated as set forth in City Code Fees shall be paid for the entire PUD development up front at the time of first Preliminary Plat, rather than on a plat-by-plat basis

4 The open space/greenbelt configuration shown on Land-Use Map (Exhibit A) will be built as adjacent property is developed

PUD Development Summary

Neighborhood Mixed-Use (NMA) - 358 2 Acres
Mixed Residential Area (MRA) - 328 0 Acres
Slaughter Lane R O W - 13 9 Acres
Total Acreage - 700 1 Acres

Exhibit B

February 28, 2006
Case Number C814-04-0187 SH

Goodnight Ranch PUD
PUD General Land-Use Map **(Exhibit A)**

0 400 800 1600ft

TBG PARTNERS

GOODNIGHT RANCH PUD

Code Modifications Table, Exhibit "B"

CODE REFERENCE	COMMENT / PROPOSED ACTION
LDC 25-2 ZONING	
DIVISION 5 PLANNED UNIT DEVELOPMENT	
25-2-243	LDC 25-2-243 requires that the boundaries of districts in proposed zoning/ rezoning cases be contiguous Proposed action Remove this requirement
25-2-411(I)(4)(a)	(I) For nonresidential uses, a land use plan must include (a) 25 feet for a front yard, and 15 feet for a street side yard Proposed action Delete the requirement Justification of proposal • The proposed variances assist in the creation of a smaller front yard setback and compact street yards, thus promoting a more efficient site development pattern This compact development pattern creates a more vibrant, urban streetscape and is consistent with the overall vision for the PUD The compact development pattern is offset by a commitment of open space within the PUD • The proposed street tree planting program, based on approved xeriscape tree species, will be planted in a consistent basis on both sides of streets to create a diverse and comfortable environment that mitigates the heat island effect, reduces stormwater runoff and filters the air • The developer is closely studying a proposal for a on-site tree farm to serve as a ready source for plant material for the project's street trees and open spaces This will promote the availability and viability of trees for the project by growing trees in the same soil types, reduce air pollution from reduced trucking costs and promote affordability from reduced cost of trees
25-2-411(I)(5)	25-2-41 (I)(5) the number of curb cuts or driveways, which must be the minimum necessary for adequate access to the site Proposed action Delete the requirement
	Justification of proposal • The proposed variances assist in the creation of a smaller front yard setback and compact street yards, thus promoting a more efficient site development pattern This compact development pattern creates a more vibrant, urban streetscape and is consistent with the overall vision for the PUD The compact development pattern is offset by a commitment of open space within the PUD • The proposed street tree planting program based on approved xeriscape tree species, will be planted in a consistent basis on both sides of streets to create a diverse and comfortable environment that mitigates the heat island effect, reduces stormwater runoff and filters the air • The developer is closely studying a proposal for a on-site tree farm to serve as a ready source for plant material for the project's street trees and open spaces This will promote the availability and viability of trees for the project by growing trees in the same soil types, reduce air pollution from reduced trucking costs and promote affordability from reduced cost of trees

EXHIBIT B-1

25-2 Subchapter "C",Article 10 (Compatibility Standards)	25-2 Subchapter "C" Article 10 requires Compatibility Standards internal to the site Proposed action Delete the requirements of Sub-Chapter "C" Article 10 within Goodnight Ranch PUD and replace with modified compatibility standards A Within the boundaries of the Goodnight Ranch PUD, compatibility standards as outlined in Chapter 25-2, Subchapter C, Article 10 of the Code apply, except as modified below 1 Compatibility standards shall not apply on a residential use to residential use basis, as set forth in Section 25-2-1051 (C) 2 Section 25-2-1052, Exceptions, shall apply 3 Compatibility standards applicable to commercial and other permitted uses a Section 25-2-1065(A), scale and clustering requirements, shall apply b A 25-foot vegetative buffer area, measured from a property line of a residential use to a building, shall be provided and maintained between residential uses to the following commercial and civic uses automotive rentals, business or trade school, business support services, cocktail lounge, commercial off-street parking, consumer repair services, convenience storage, food preparation, hotel-motel, indoor entertainment, indoorsports and recreation, intensive recreational facilities, off-site accessory parking, outdoor entertainment, plant nursery, printing and publishing,service station, software development, theater, veterinary services, drive through services, custom manufacturing The following uses are exempt from this requirement i Multi-use buildings - A building containing residential units above ground floor level in which the square footage of the residential units on theground floor area is not more than 50 percent of the gross floor area of the ground floor, and the non-residential square footage in the above-groundfloor area is not more than 50 percent of the gross floor area of the above floor area ii Live/work shophouse – a rowhouse with workspace or commercial space permitted on the ground floor and upper level living space, as allowedin Home Occupations, LDC 25-2-900, as amended LDC Townhouse Residential c Improvements permitted within a vegetative buffer zone area as follows hike and bike trails, pedestrian trails, sidewalks, solid fences, detention, water quality and drainage facilities consisting primarily of earthen structures, utility improvements, overhead electric or communication lines, or those improvements that may be otherwise required by the City of Austin d Front yard setback requirements, per Section 25-2-1064, shall not apply e Height restrictions Within 50 feet of an undeveloped platted residential lot (measured to the nearest building setback line on the property), a commercial building may not exceed three stories or 40 feet in height Within 50 feet of a developed residential building, a commercial building may not exceed two stories or 30 feet above the height of the existing residential use Beyond 50 feet from a developed residential building, a commercial building may be constructed to the permitted height as set forth in this PUD f Except for lighting in a public right of way, all exterior lighting must be hooded or shielded so that the light source is not directly visible from adjacent properties Exterior lighting may not exceed 0 25 foot candles across the source property line g The noise level of mechanical equipment may not exceed 60 decibels at the property line h The use of highly reflective surfaces including reflective glass and reflective metal roofs with a pitch of more than a run of seven to a rise of 12, is prohibited This prohibition does not apply to solar panels and copper or painted metal roofs i Dumpsters and permanently placed refuse receptacles must be located at least 25 feet from adjacent residential uses The location of and access to dumpsters or any other refuse receptacles must comply with the Transportation Criteria Manual j Commercial and Civic uses must be screened in accordance with this subsection Yards, fences, vegetative screening, or berms shall be provided to screen off-street parking areas containing 12 or more parking spaces on a single site, mechanical equipment storage areas, and areas for refuse collection If fences are used for screening, the height may not exceed six feet unless otherwise permitted in the Land Development Code The property owner is responsible for the upkeep and maintenance of fences, berms, and vegetative screening 4 A 100-foot buffer area, measured from the property line for property developed with residential uses to a building developed with industrial, commercial or civic uses, shall be provided and maintained between all residential uses and property developed as Research Assembly Services, Research Services, Research Testing Services and postal facilities greater than 10,000 square feet 5 Improvements permitted within the 100-foot buffer area are as follows hike and bike trails, pedestrian trails, solid fences, detention and water quality facilities consisting primarily of earthen structures, drainage facilities, underground utility improvements, overhead electric or communication lines, streets, alleys, driveways, surface parking facilities limited to 12 spaces or fewer or those improvements that may be otherwise required by the City of Austin or specifically authorized in this ordinance B External to the property· Chapter 25-2 Subchapter C, Article 10 - Compatibility standards shall apply to property zoned SF-5 or more restrictive that abuts the PUD property

25-2-411(K)(1)(2)	This subsection provides open space requirements for certain tracts Proposed action Delete the requirement Justification of proposal • The proposed variances assist in the creation of a smaller front yard setback and compact street yards, thus promoting a more efficient site development pattern This compact development pattern creates a more vibrant, urban streetscape and is consistent with the overall vision for the PUD The compact development pattern is offset by a commitment of open space within the PUD • The proposed street tree planting program, based on approved xeriscape tree species, will be planted in a consistent basis on both sides of streets to create a diverse and comfortable environment that mitigates the heat island effect, reduces stormwater runoff and filters the air • The developer is closely studying a proposal for a on-site tree farm to serve as a ready source for plant material for the project's street trees and open spaces This will promote the availability and viability of trees for the project by growing trees in the same soil types, reduce air pollution from reduced trucking costs and promote affordability from reduced cost of trees

GOODNIGHT RANCH PUD

CODE REFERENCE	COMMENT / PROPOSED ACTION
DIVISION 9 LANDSCAPE	
25-2-1003(B)	LDC 25-2-1003 (B) requires at least 20% of the area of a landscape yard of a lot to be landscaped area Proposed action Adopt 25-3-80 which excludes the following from landscape requirements 1) A street yard 1,000 sf or less in size is not required to be landscaped 2) A parking area for 12 cars or less is not required to have landscaped islands, peninsulas, or medians Justification of proposal • Precedent established for approved RMMA PUD and Pioneer Hill TND This PUD has many of the same development characteristics - A minimum of 70 acres of open space is included in the PUD This open space is in addition to fees in lieu of Parkland Dedication, as was requested by PARD This open space more than compensates for the reduced landscape areas The proposed variances assist in the creation of a smaller front yard setback and compact street yards, thus promoting a more efficient site development pattern This compact development pattern creates a more vibrant, urban streetscape and is consistent with the overall vision for the PUD. The compact development pattern is offset by a 70-acre commitment of open space within the PUD • The proposed street tree planting program, based on approved xeriscape tree species, will be planted in a consistent basis on both sides of streets to create a diverse and comfortable environment that mitigates the heat island effect, reduces stormwater runoff and filters the air • The developer is planning a on-site tree nursery to serve as a ready source for plant material for the project's street trees and open spaces This will promote the availability and viability of trees for the project by growing trees in the same soil types, reduce air pollution from reduced trucking costs and promote affordability from reduced cost of trees
25-2-1006 (C)	LDC 25-2-1006 (C) calls for screening of specific uses as designated in the Environmental Criteria Manual Proposed action Delete the requirements of this section within the Goodnight Ranch PUD because of the mixed-use nature of the project There will be compatibility standards for the project in relation to the development outside Goodnight Ranch PUD There will also be compatibility standards internal to the site consistent with 25-3-86 (noise, lights, dumpsters, etc) Justification of proposal Fences will be required for any portion of a pond containing greater than a 3 1 slope (this includes headwalls, area inlets, etc)

CODE REFERENCE	COMMENT / PROPOSED ACTION
LDC 25-4 SUBDIVISION	
25-3-52 (N) (Modified)	Proposed action Block length of 800 feet in length is preferred and allowed Director may approve a length up to 1,000 feet in length because of topography or existing street layout, but a block longer than 800 feet must be traversed by a pedestrian path near the midpoint Block widths may not exceed 300 feet The Director may approve a block width up to 400 feet if required because of topography or existing street layout There is no limit to the block length for open space that is parallel to the right-of-way internal to the site
25-3-52 (K)	Street intersections, whether public or private streets, shall be designed in accordance with the provisions of the Traditional Neighborhood District Criteria Manual and the Transportation Criteria Manual
25-3-52 (L)	Dead-end streets are prohibited unless the Director determines that the most desirable plan requires laying out a dead-end street A dead-end street shall terminate in a courtyard designed in accordance with the Traditional Neighborhood District Criteria Manual, unless the Director determines that topography, density, adequate circulation or other unusual conditions require a deviation from the design criteria in the TND Criteria Manual
25-3-52 (H)	An interconnected network of streets is required unless the Director determines that good cause exists to require a different street pattern
25-3-82 (modified)	Direct vehicular access from a single family residential lot to an alley is permitted and preferred Lots containing multi-family, condominium, mixed-use, commercial and civic uses do not require direct vehicular access from a lot to an alley Except for the uses noted above, direct vehicular access from a lot to a street is not permitted except where (a) if a lot does not abut and take direct access to an alley, or (b) the director determines it is warranted by exceptional circumstances If the adjacent lots have direct vehicular access to a street, the director may require that the access be through a common or joint driveway Notwithstanding the above, direct vehicular access from a single family residential lot to a street is permitted provided that (a) access is taken to a street with a standard cross section and (b) driveway separation requirements are met Design criteria for SF-1/SF-2 sized local street standards may be utilized when it can be demonstrated that significant on-street parking will not occur or that off-street parking comparable to SF-2 is utilized

CODE REFERENCE	COMMENT / PROPOSED ACTION
25-6 TRANSPORTATION	
25-6-2 (A) (modified)	LDC 25-6-2 (A) defines a Type I driveway approach Proposed action Modify language to *on which a yard house, row house, or mansion home with a driveway that serves four of fewer parking spaces is located*
25-6-2 (B) (modified)	LDC 25-6-2 (B) defines a Type II driveway approach Proposed action Modify language to *other than a yard house, row house, or mansion home with a driveway that serves four of fewer parking spaces*
25-6-173	LDC 25-6-173 describes requirements for collector streets Proposed action Street Cross-Section Table governs
25-6-292 (A) (modified)	LDC 25-6-292 (A) sets standards for design, construction, alteration, or repair of sidewalk, driveway approach, pavement, appurtenance on public property, or other facility to provide access to adjoining property Proposed action Add language *except as modified by zoning* The intent here is merely to acknowledge that the other changes we are making to 25-6 and the TCM affect this provision
25-6-321 (modified)	LDC 25-6-321 specifies that the Council or Director may require an existing driveway to conform with requirements in Article 5 and the Transportation Criteria Manual Proposed action Add language *except as modified by zoning* The intent here is merely to acknowledge that the other changes we are making to 25-6 and the TCM affect this provision
25-6 Article 7 Off Street Parking and Loading	LDC 25-6 Article 7 states general regulations and design and construction standards for off-street parking and loading Proposed action Delete entire section and replace with Goodnight Ranch PUD requirements provided in Proposed Parking Requirements
25-6 Appendix A	LDC 25-6 Appendix A lists minimum parking and loading requirements for motor vehicles and bicycles Proposed action Delete entire section and replace with Goodnight Ranch PUD requirements provided in Proposed Parking Requirements
25-3-81(A)(B)(C) 25-3-52(1), (modified)	Streets alleys, and pedestrian paths shall be designed and constructed in accordance with the Traditional Neighborhood District Manual, except as modified in the Cross Section Table and Street Sections made part of this PUD
25-3-82 (modified)	Direct vehicular access from a single family residential lot to an alley is permitted and preferred Lots containing multi-family, condominium, mixed-use commercial and civic uses do not require direct vehicular access from a lot to an alley Except for the uses noted above, direct vehicular access from a lot to a street is not permitted except where (a) if a lot does not abut and take direct access to an alley, or (b) the director determines it is warranted by exceptional circumstances If the adjacent lots have direct vehicular access to a street, the director may require that the access be through a common or joint driveway Notwithstanding the above, direct vehicular access from a single family residential lot to a street is permitted provided that (a) access is taken to a street with a standard cross section and (b) driveway separation requirements are met Design criteria for SF-1/SF-2 sized local street standards may be utilized when it can be demonstrated that significant on-street parking will not occur or that off-street parking comparable to SF-2 is utilized
25-3-84	Parking Area Design and Construction Standards-set design and construction guidelines for parking and loading facilities, circulation area, and queuing areas
	Street Connections to Capital View Drive and Cheryl Lynn Drive will not be required

GOODNIGHT RANCH PUD

STREET CROSS SECTION TABLE

KEY	ROADWAY TYPE	ROW	No. of Lanes	Min. Curb Basis	Sidewalk*	Paving	Parking	Bike Lanes	Street Classification for Pavement Design Only
A	Neighborhood Center Boulevard	70'	2, divided	11'	Yes	2 @ 20', 8' median minimum	2 sides	No	Neighborhood Collector
B	Neighborhood Center Main Street	64'	2	14'	Yes	36'	2 sides	No	Neighborhood Collector
C	Neighborhood Center Avenue	64'	2	13'	Yes	34'	2 sides	No	Neighborhood Collector
D	Neighborhood Center Alley	20'	1 (shared for 2-way traffic)	N/A	No	20'	None	No	Local
E	Mixed Residential Boulevard	70'	2, divided	13'	Yes	2 @ 18', 8' median minimum	2 sides	No	Residential Collector
F	Mixed Residential Avenue	60'	2	13'	Yes	34'	2 sides	No	Residential Collector
G	Mixed Residential Street	50'	1 (shared for 2-way traffic)	11'	Yes	28'	2 sides	No	Local
H	Mixed Residential Lane	50'	1 (shared for 2-way traffic)	12'	Yes	26'	2 sides	No	Local
I	Mixed Residential One Way Street	38'	1	10'	Yes	18'	1 side	No	Local
J	Mixed Residential Alley	20'	1 (shared for 2-way traffic)	2 5'	No	15'	None	No	Local

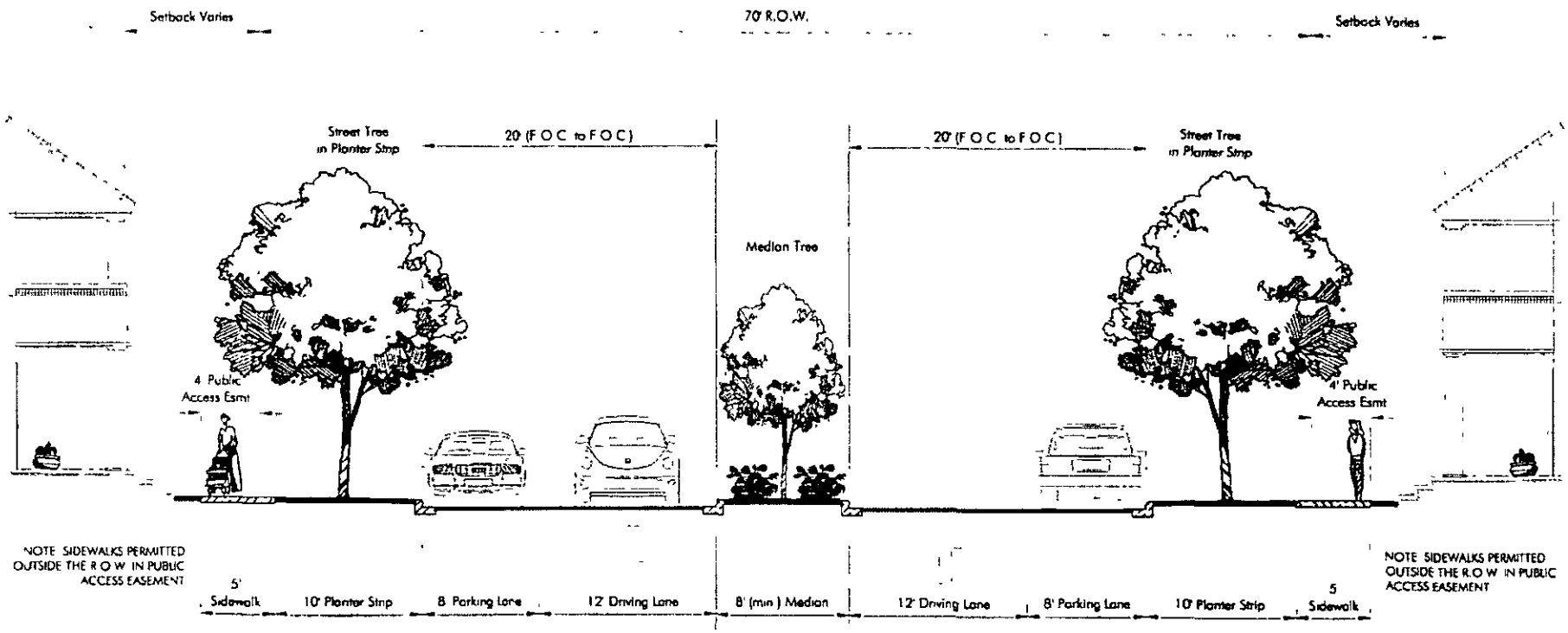
* All sidewalks shall have a minimum 5' width

1 Construction of cul-de-sacs is discouraged Should a temporary cul-de-sac be required for construction purposes, the design requirements contained in the City of Austin Transportation Criteria Manual Section 1 3 2 should be followed

2 Street cross-sections may be modified with the approval of both Watershed Protection and Development Review and TPSD

3 Except as otherwise set forth above the PUD street designs shall comply with the street standards set forth in the Traditional Neighborhood District Criteria Manual (i e design speed, typical ADT range etc)

Exhibit B-2

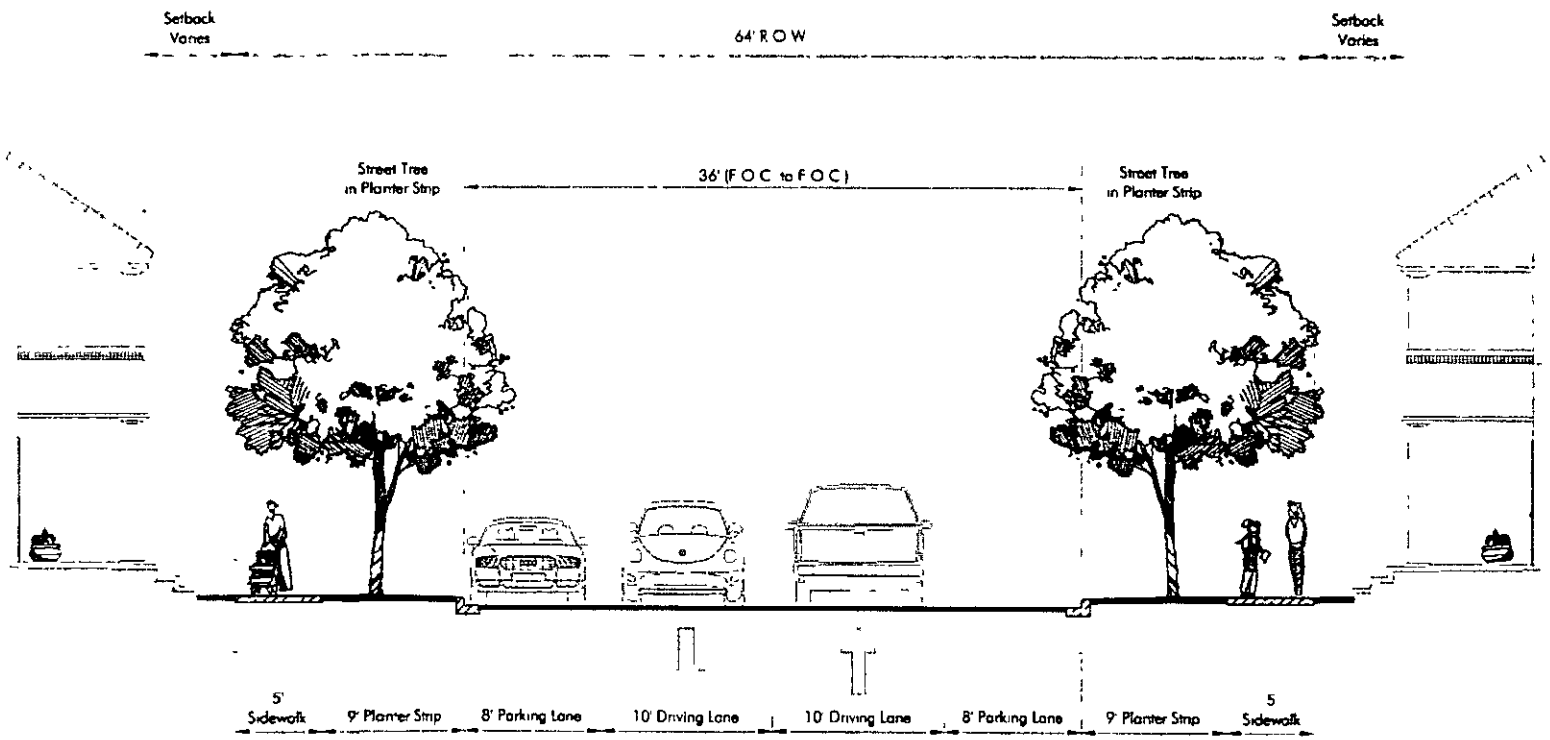


A. Neighborhood Center Boulevard

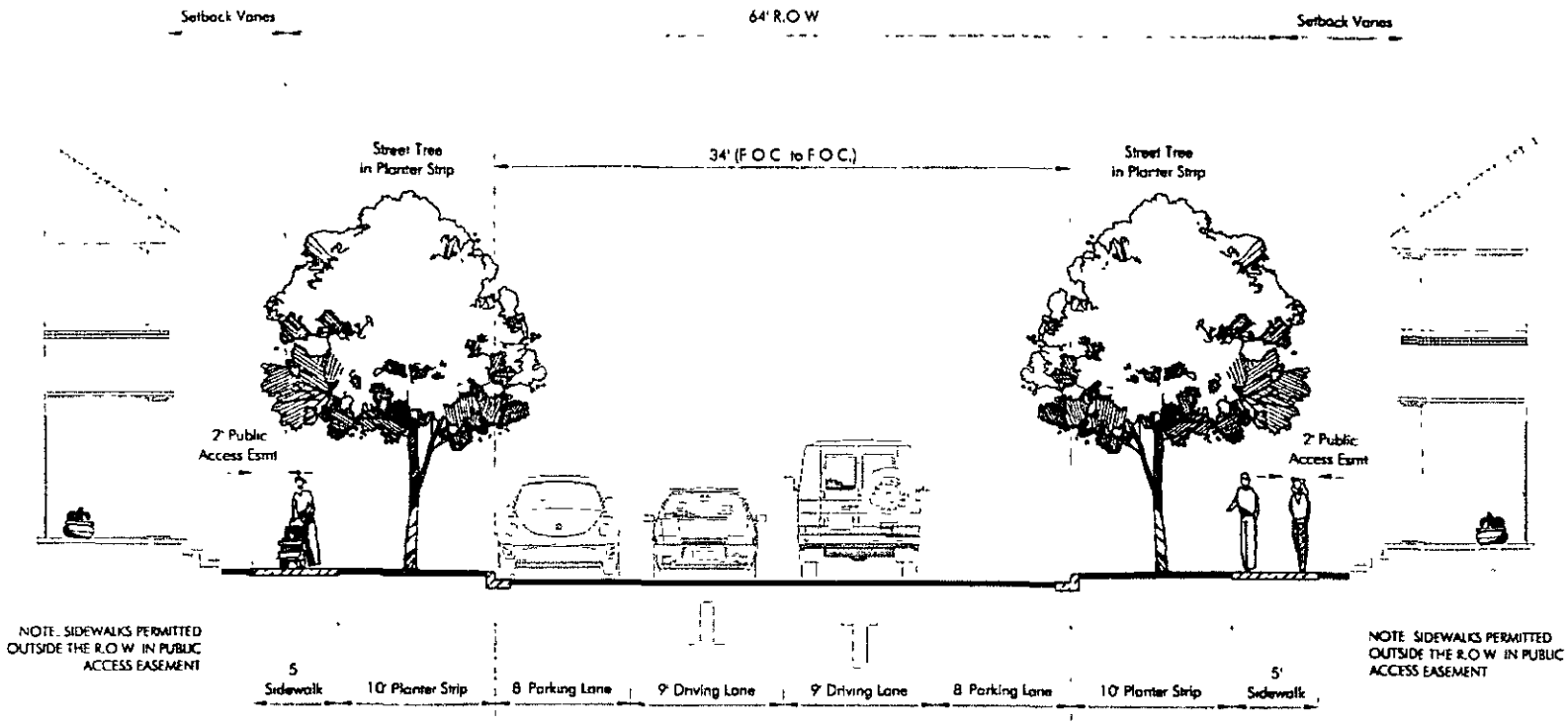
GOODNIGHT RANCH PUD
February 28,2006

C814-04-0187 SH

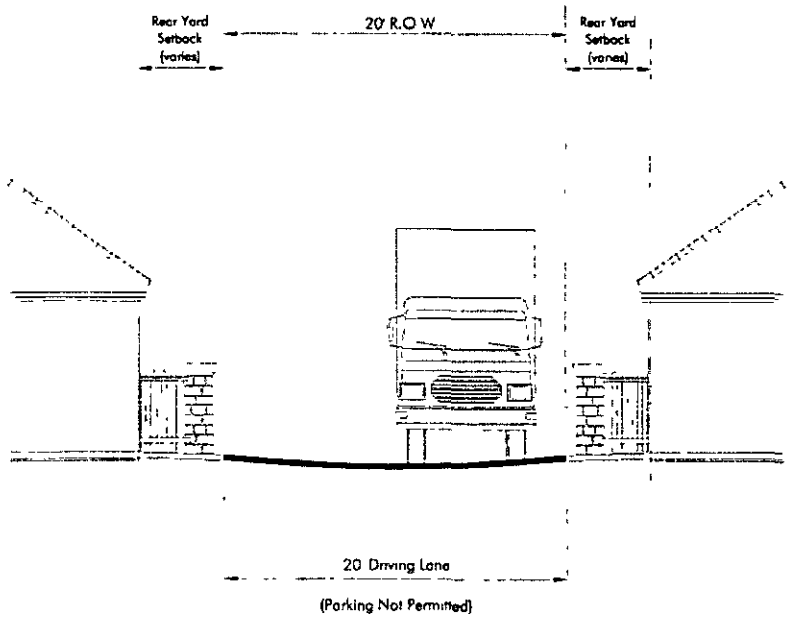
TBG PARTNERS



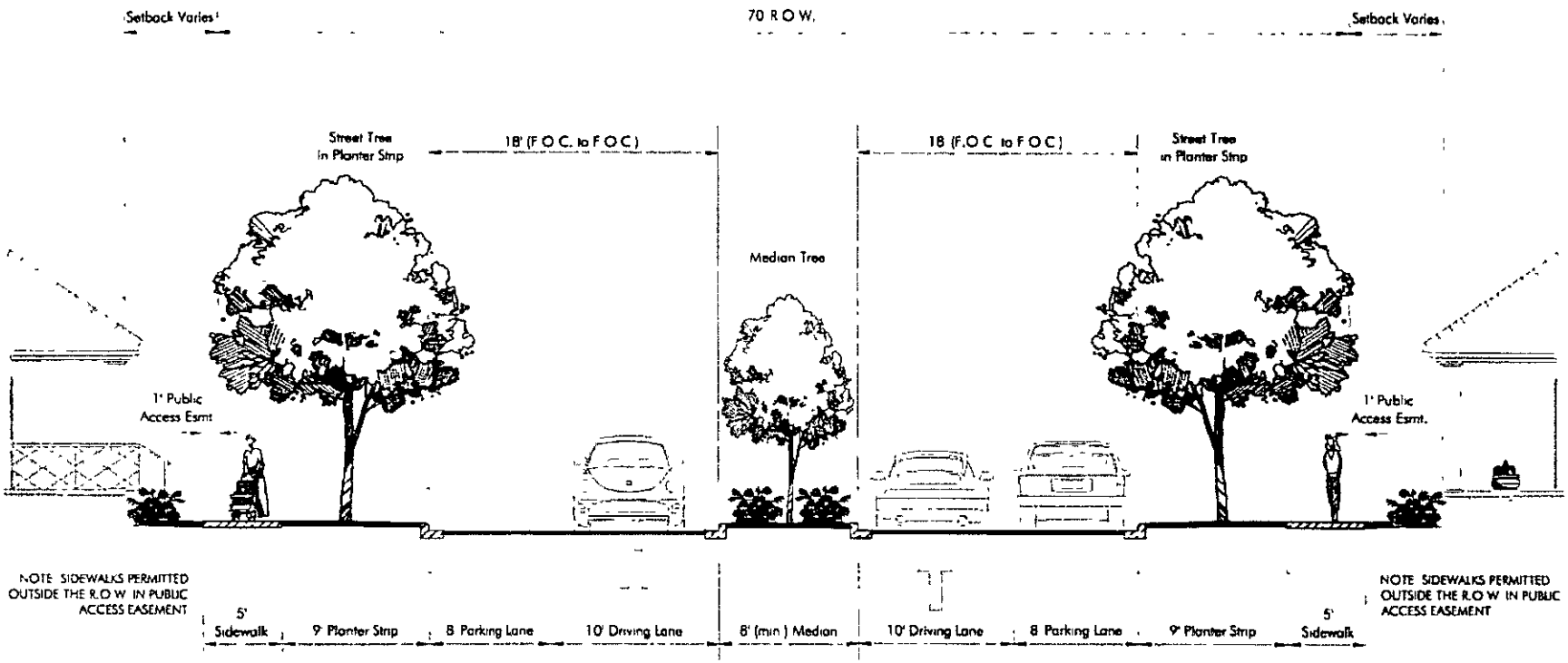
B. Neighborhood Center Main Street



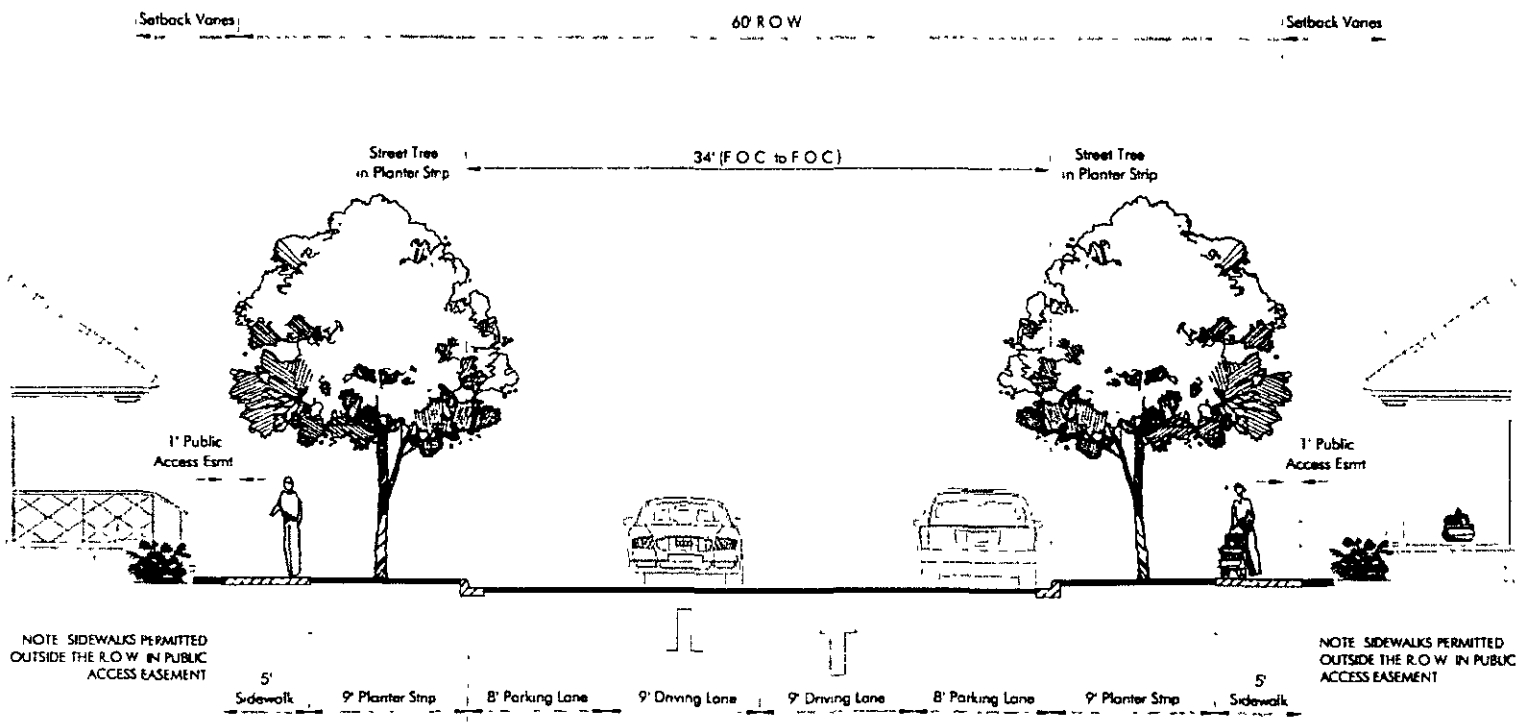
C. Neighborhood Center Avenue



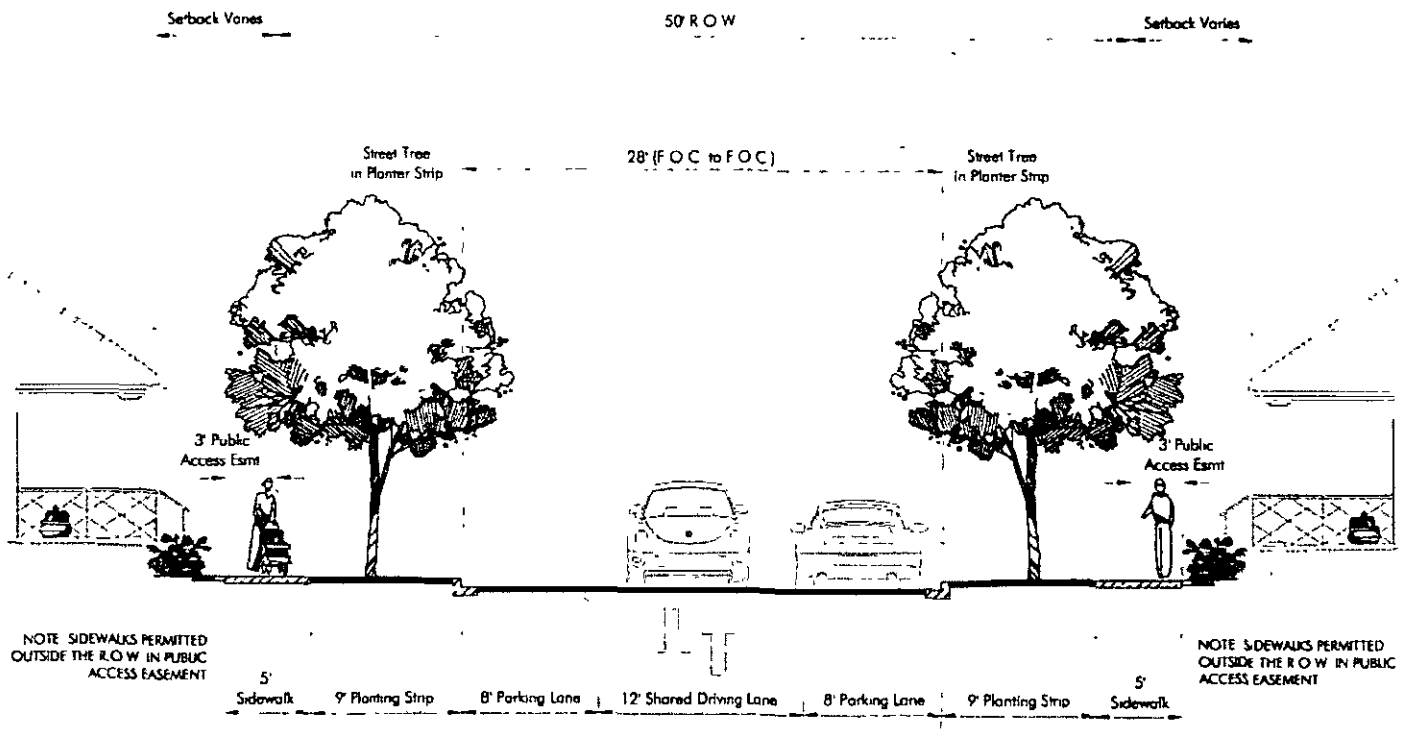
D. Neigborhood Center Alley



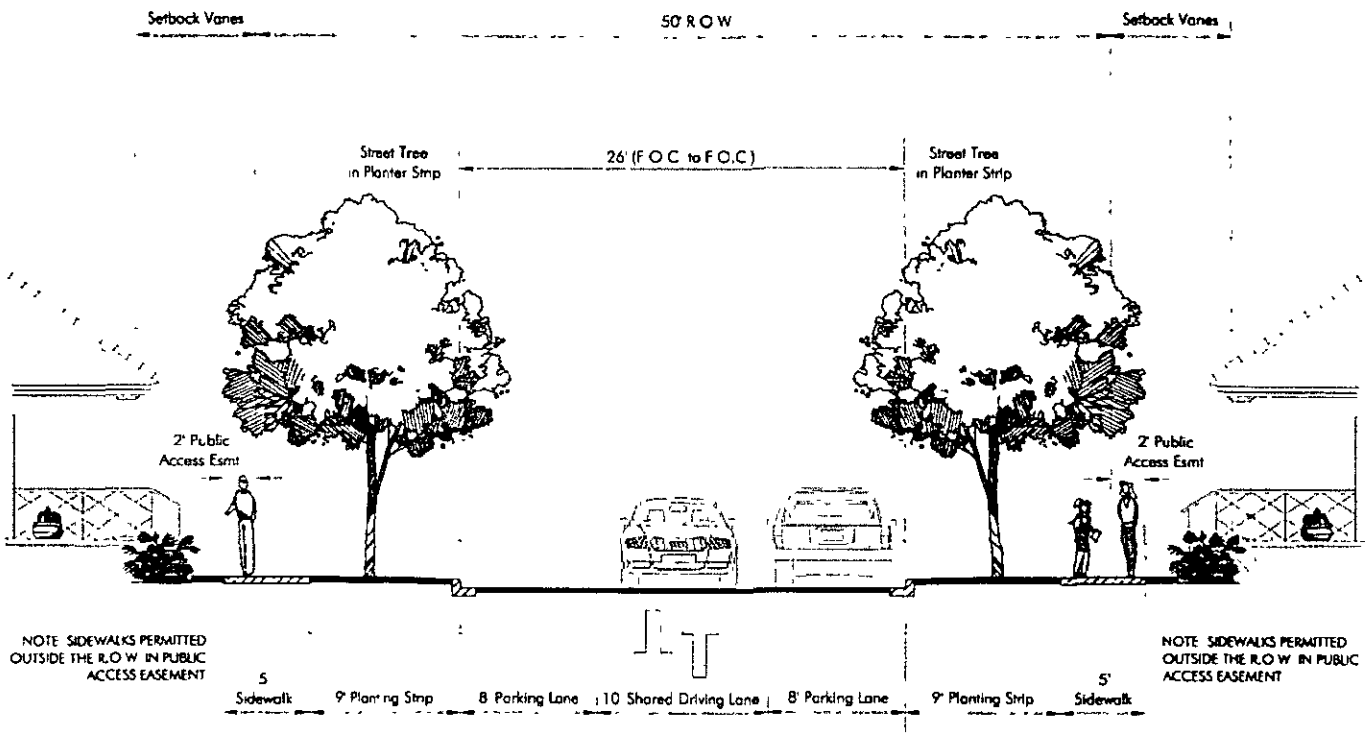
E. Mixed Residential Boulevard



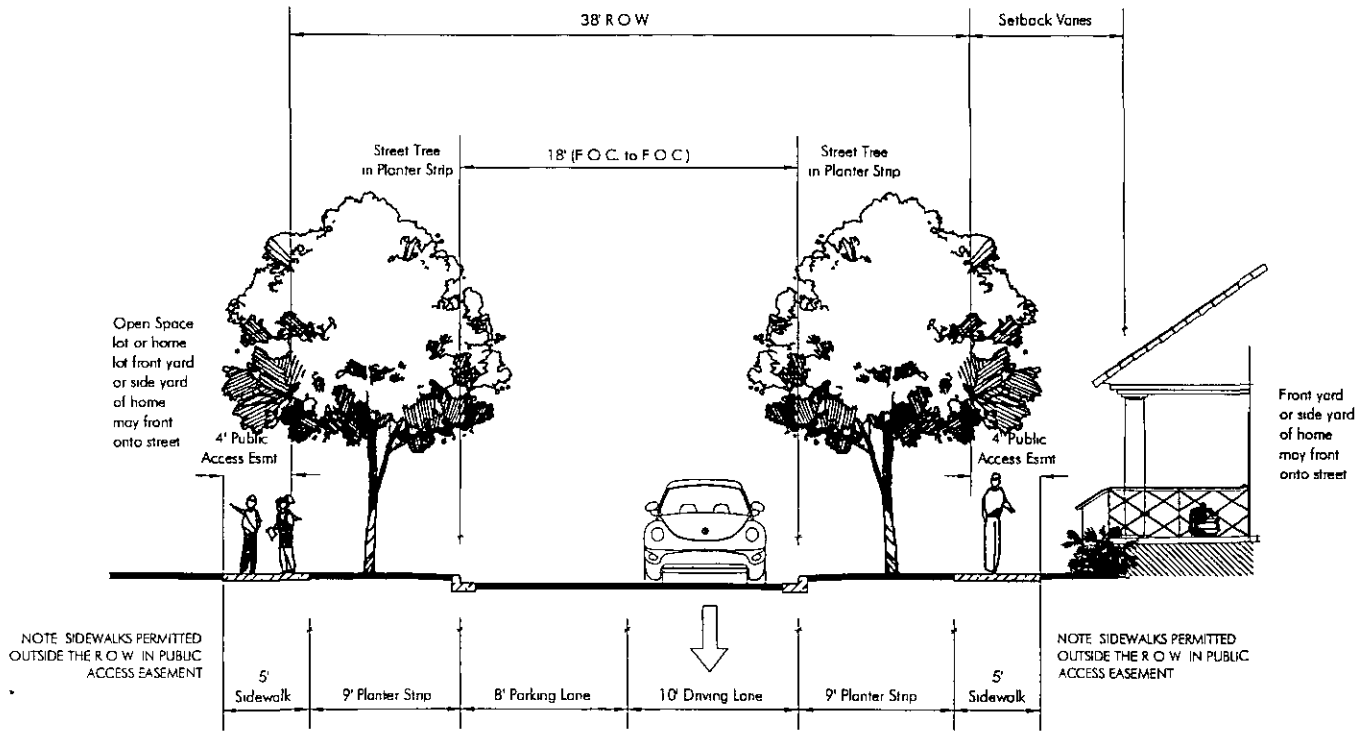
F. Mixed Residential Avenue



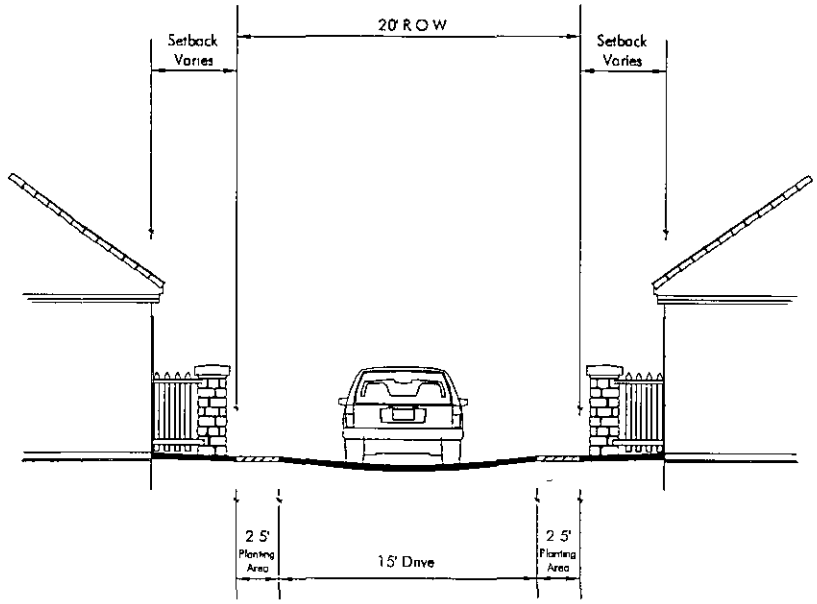
G. Mixed Residential Street



H. Mixed Residential Lane



I. Mixed Residential Street (One Way)



J. Mixed Residential Alley

GOODNIGHT RANCH PUD

PROPOSED PARKING REQUIREMENTS

Following are the proposed Goodnight Ranch PUD parking requirements adapted from the City of Austin Code for Traditional Neighborhood Developments (TND), Section 25-3-83

PARKING

(A) The following parking regulations apply within the Goodnight Ranch PUD

(1) There is no off-street loading requirement for a building with less than 10,000 square feet of gross building area The Director shall determine the location, number, and dimensions of the off-street loading for a larger building

(2) Except as approval by the Director, parking in alleys in prohibited

(3) A parking lot located at the rear or side of a building is preferred and allowed If a parking lot is located at the front of the building, buffering, in the form of landscaping, berming, decorative walls or fences, is required to buffer pedestrian activity along the street where adjacent to the parking lot If located at the side of a building, screening shall be provided at, or near, the lot line by landscaping or decorative walls or fences

(4) Compact parking spaces are prohibited.

(5) Minimum parking requirements are as follows

(a) Except as otherwise provided in these parking requirements, a commercial use, other than restaurant, must provide a minimum of one parking space for every 300 square feet of gross building area A restaurant use must provide a minimum of one parking space for every 100 square feet of gross building area

(b) General offices, professional offices and other commercial office uses must provide a minimum of one parking space for every 500 square feet of gross building area.

(c) Medical offices must provide a minimum of one parking space for every 500 square feet of gross building area

(d) For condominium, multi-family, group residential, and retirement housing, one parking space for the first bedroom and 0 5 spaces for each additional bedroom For row house, yard house, and mansion home, two parking spaces for each dwelling unit [See 25-3-83(6)(d)]

(e) A townhouse, single-family residential, duplex, group home, or family home use, yard house, row house and mansion home must provide two parking spaces for each dwelling unit

(f) A daycare services, primary educational facilities, or secondary educational facilities use must provide one parking space for each employee.

(g) Hospitals must provide one visitor parking space for every 4 beds and one parking space for every two employees (largest work shift)

(h) The Director shall determine the parking requirement for an amphitheater and/or auditoriums based on similar uses, location and characteristics of the use, and the appropriate traffic engineering and planning data

(i) The Director shall determine the parking requirement for community centers based on similar uses, location and characteristics of the use, and the appropriate traffic engineering and planning data

(j) The Director shall determine the parking requirement for playing fields based on similar uses, location and characteristics of the use, and the appropriate traffic engineering and planning data

(k) The Director shall determine the parking requirement for neighborhood parks, pavilions, picnic shelters or tables, playgrounds, swimming pools, boat rental facilites, basketball/sports courts, or bike rental facilities based on similar uses, location and characteristics of the use, and the appropriate traffic engineering and planning data

(l) The Director shall determine the parking requirement for any use not listed in this subsection.

(m) A 25-foot turning radius shall be provided for parking accessed from the alley

Exhibit B-3

(4) Bicycle parking shall be provided in accordance with Chapter 25-6, Appendix A of the City Code, except as follows

(a) A commercial use parking lot or garage must provide not less than one bicycle parking space for every 10 motor vehicle parking spaces

(B) The following regulations apply in the Goodnight Ranch Neighborhood Mixed Use Area (NMA).

(1) A commercial or a multi-family use may apply adjacent on-street parking toward the minimum parking requirements in the Neighborhood Mixed Use Area (NMA)

CODE REFERENCE	COMMENT / PROPOSED ACTION
LDC 25-10 SIGN REGULATIONS	
25-10-81	LDC 25-10-81 defines the various sign districts and establishes their hierarchy Proposed action Propose the following sign districts 1) Neighborhood Mixed Use Area (NMA)- Commercial Sign Distric 2) Mixed Residential Area- Neighborhood Sign District

Exhibit B-4

GOODNIGHT RANCH PUD
PUD ZONING LAND USE SUMMARY TABLE, EXHIBIT "C"

P = Permitted Use C = Conditional Use Permit NP= Not Permitted

RESIDENTIAL USES	MRA	NMA	OS	
Bed & Breakfast (Group 1)	P	P	NP	
Bed & Breakfast (Group 2)	P	P	NP	
Condominium Residential	P	P	NP	
Duplex Residential	P	P	NP	
Group Residential	P	P	NP	
Live/work Shophouse	P	P	NP	
Mansion Home	P	P	NP	
Mobile Home Residential	NP	NP	NP	
Multifamily Residential	P	P	NP	
Retirement Housing (Small Site)	P	P	NP	
Retirement Housing (Large Site)	P	P	NP	
Rowhouse	P	P	NP	
Single-Family Attached Residential	P	P	NP	
Single-Family Residential	P	P	NP	
Small Lot Single-Family Residential	P	P	NP	
Townhouse Residential	P	P	NP	
Two-Family Residential	P	P	NP	
Yard House	P	P	NP	
COMMERCIAL USES	**MRA**	**NMA**	**OS**	
Administrative and Business Offices	P	P	NP	
Agricultural Sales and Services	NP	NP	NP	
Art Gallery	P	P	NP	
Art Workshop	P	P	NP	
Automotive Rentals	NP	P	NP	
Automotive Repair Services	NP	P	NP	
Automotive Sales	NP	NP	NP	
Automotive Washing (of any type)	NP	P	NP	
Bail Bond Services	NP	NP	NP	
Building Maintenance Services	NP	NP	NP	
Business or Trade School	NP	P	NP	
Business Support Services	NP	P	NP	
Campground	NP	NP	NP	
Carriage Stable	NP	NP	NP	
Cocktail Lounge	NP	C*	NP	*Maximum gross floor area is 5 000 square feet
Commercial Blood Plasma Center	NP	NP	NP	

EXHIBIT B-5

P = Permitted Use C = Conditional Use Permit NP= Not Permitted

COMMERCIAL USES continued	MRA	NMA	OS	
Commercial Off-Street Parking	NP	P	NP	
Communications Services	NP	P	NP	
Construction Sales and Services	NP	NP	NP	
Consumer Convenience Services	P	P	NP	
Consumer Repair Services	NP	P	NP	
Convenience Storage	NP	C	NP	
Custom Manufacturing and Printing	NP	P	NP	
Drop-Off Recycling Collection Facility	P*	P*	NP	* Maximum gross floor area is 10,000 square feet.
Electronic Prototype Assembly	NP	NP	NP	
Equipment Repair Services	NP	NP	NP	
Equipment Sales	NP	NP	NP	
Exterminating Services	NP	NP	NP	
Financial Services	P	P	NP	
Food Preparation	NP	P	NP	
Food Sales	NP	P	NP	
Funeral Services	NP	NP	NP	
General Retail Sales (Convenience)	NP	P	NP	
General Retail Sales (General)	NP	P	NP	
Hotel-Motel	NP	P	NP	
Indoor Entertainment	NP	P	NP	
Indoor Sports and Recreation	NP	P	NP	
Kennels	NP	NP	NP	
Laundry Services	NP	P	NP	* Maximum gross floor area is 5 000 square feet
Liquor Sales	NP	P	NP	
Marina	NP	NP	NP	
Medical Offices – exceeding 5000 sq ft gross floor area	NP	P	NP	
Medical Offices – not exceeding 5000 sq ft gross floor area	NP	P	NP	
Monument Retail Sales	P	P	NP	
Off-Site Accessory Parking	P	P	NP	
Outdoor Entertainment	NP	P	NP	
Outdoor Sports and Recreation	NP	NP	NP	
Pawn Shop Services	NP	NP	NP	
Personal Improvement Services	NP	P	NP	
Personal Services	NP	P	NP	
Pet Services	NP	P	NP	
Plant Nursery	NP	P	NP	
Printing and Publishing	NP	NP	NP	

P = Permitted Use C = Conditional Use Permit NP= Not Permitted

COMMERCIAL USES continued	MRA	NMA	OS
Professional Office	P	P	NP
Recreational Equipment Maint & Stor	NP	NP	NP
Recreational Equipment Sales	NP	NP	NP
Research Assembly Services	NP	P	NP
Research Services	NP	P	NP
Research Testing Services	NP	P	NP
Research Warehousing Services	NP	NP	NP
Restaurant (General)	NP	P	NP
Restaurant (Limited)	NP	P	NP
Scrap and Salvage	NP	NP	NP
Service Station	NP	P	NP
Software Development	NP	P	NP
Special Use Historic	NP	NP	NP
Stables	NP	NP	NP
Theater	NP	P	NP
Vehicle Storage	NP	NP	NP
Vetennary Services	NP	P	NP

P = Permitted Use C = Conditional Use Permit NP= Not Permitted

CIVIC USES	MRA	NMA	OS	
Administrative Services	P	P	NP	
Aviation Facilities	NP	NP	NP	
Camp	NP	NP	NP	
Cemetery	P	P	NP	
Club or Lodge	NP	P	NP	
College and University Facilities	NP	P	NP	
Communication Service Facilities	P	P	NP	
Community Events	NP	P	NP	
Community Recreation (Private)	P	P	P	
Community Recreation (Public)	P	P	P	
Congregate Living	NP	P	NP	
Convalescent Services	NP	NP	NP	
Convention Center	NP	NP	NP	
Counseling Services	NP	P	NP	
Cultural Services	P	P	NP	
Day Care Services (Commercial)	NP	P*	NP	* Must be located on a collector or a minor arterial. Not allowed to access on a local street
Day Care Services (General)	P	P	NP	
Day Care Services (Limited)	P	P	NP	
Detention Facilities	NP	NP	NP	
Employee Recreation	NP	NP	NP	
Family Home	P	P	NP	
Group Home, Class I (General)	P	P	NP	
Group Home, Class I (Limited)	P	P	NP	
Group Home, Class II	P	P	NP	
Guidance Services	NP	P	NP	
Hospital Services (General)	NP	NP	NP	
Hospital Services (Limited)	NP	P	NP	
Local Utility Services	P	P	P	
Maintenance and Service Facilities	NP	NP	NP	
Major Public Facilities	C	C	NP	
Major Utility Facilities	C	C	NP	
Military Installations	NP	NP	NP	

P = Permitted Use C = Conditional Use Permit NP= Not Permitted

CIVIC USES	MRA	NMA	OS	
Park and Recreation Services (General)	P	P	P	
Park and Recreation Services (Special)	NP	P	P	
Postal Facilities	P	P	NP	
Private Primary Educational Facilities	P	P	P	
Private Secondary Educational Facilities	P	P	NP	
Public Primary Educational Facilities	P	P	P	
Public Secondary Educational Facilities	P	P	P	
Railroad Facilities	NP	NP	NP	
Religious Assembly	P	P	P	
Residential Treatment	NP	NP	NP	
Safety Services	P	P	P	* Must be located on a collector or a minor artenal Not allowed to front on a local street
Telecommunication tower -- subject to SS 25-2-839 (13-2-235 and 13-2-273)	P	P	P	* A telecommunications tower must be located on top of a building or be an architectural component
Transitional Housing	NP	C	NP	
Transportation Terminal	NP	C	NP	
All other Civic Uses	NP	NP	NP	

INDUSTRIAL USES	MRA	NMA	OS	
Basic Industry	NP	NP	NP	
Custom Manufacturing	NP	NP	NP	
General Warehousing and Distribution	NP	NP	NP	
Light Manufacturing	NP	NP	NP	
Limited Warehousing and Distribution	NP	NP	NP	
Recycling Center	NP	NP	NP	
Resource Extraction	NP	NP	NP	

AGRICULTURAL USES	MRA	NMA	OS	
Urban Farm	NP	NP	P	
All Other Agricultural Uses	NP*	NP*	NP*	* Agriculture plant and tree nursery and ranching uses are permitted on any portion of the property prior to Final Platting

GOODNIGHT RANCH PUD
ALLOWABLE INTENSITY TABLE "EXHIBIT "D"

	Land Area (acres)	% of Total	MAXIMUM ALLOWABLE INTENSITIES
Mixed Residential Area (MRA) (land area excludes neighborhood parks and open space, but includes street/alley right-of-way)	328 0	47 %	▪ Up to 1,583 residential dwelling units ▪ Up to 35,000 GSF of commercial/retail/office (maximum 1 1 F.A.R.) ▪ Up to 5,000 GSF of civic uses ▪ 2 sites· 1,000 student elementary school
Neighborhood Mixed-Use Area (NMA) (land area excludes neighborhood parks and open space but includes street/alley right-of-way	358 2	51 %	▪ Up to 1,950 residential dwelling units ▪ Up to 225,000 GSF commercial/retail/office (maximum 2 1 F A R) ▪ Up to 10,000 GSF of civic uses ▪ Fire Station site, up to 45,000 SF of impervious cover allowance plus req'd boundary street impervious cover assignment shall be allocated
Open Space/Community Facilities (OS)	—	—	A Fees in lieu of Parkland Dedication -The developer will pay full fees in lieu of parkland dedication, calculated as set forth in City code. B Neighborhood Parks 1 Inclusion of a five-acre private park, or series of parks totaling a minimum of five acres, within the project. This private neighborhood park(s) shall include a minimum of three recreational uses for residential use: 1) Picnic/BBQ stations (seven stations), 2) children's playscape and 3) informal multi-use playing field 2 The park(s) locations shall be determined by the developer as the project develops at locations that the developer deems appropriate for resident use C Additional Private Open Space Open to Residents 1 Minimum of 65 acres for private open space will be made available for use by the residents The uses within this open space may consist of uses permitted in the Open Space Area of the PUD (see Exhibit C for complete listing of permitted and prohibited uses). 2 Maximum GSF allowed within open space areas up to 12,000 GSF of open space-related structures (maximum 0 25.1 F.A.R.) 3 Detention and water quality facilities will be owned and maintained by the Homeowners Association The items above satisfy all Parkland Dedication requirements of the entire PUD.
Slaughter Lane R O W	13.9	2 %	
Total Maximum Residential Allowed			▪ 3,533 residential dwelling units, of which a maximum of 2,150 du may be multifamily

EXHIBIT B-6

			residential (mansion home, rowhouse, live/work shophouse, condominium, triplex and apartments (subject to Traffic Impact Analysis) at a maximum density of 36 du/ac.
Total Maximum Commercial/Civic Allowed			▪ 275,000 GSF plus 2 school sites and 1 fire station site (subject to Traffic Impact Analysis)
Total Land Area	700 1	100 %	

Notes

1) All maximum allowable intensities are subject to the Traffic Impact Analysis
2) So long as uses are permitted in an area, residential maximum allowable densities may be transferred from one Area to another provided that the overall project maximum for residential intensity is not exceeded
3) Open space is inclusive of neighborhood parks located in each of the Mixed Residential Areas and the Neighborhood Mixed-Use Areas.
4) A mandatory Property Owners Association will be established for all property owners prior to recordation of the first Final Plat
5) Open Space (OS) land area is included as a portion of the MRA / NMA Areas

GOODNIGHT RANCH PUD

SITE DEVELOPMENT REGULATIONS, EXHIBIT "E"

	Mixed Residential Area (MRA)					
	YARD HOUSE	ROWHOUSE LIVE/WORK SHOPHOUSE	MANSION HOUSE	MULTI-FAMILY HOME	COMMERCIAL [2]	CIVIC
Minimum Lot Size	2,500 SF, 3,500 SF on corner lot	1,375 SF, 1,500 SF on corner lot	7,000 SF	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width[4]	30 FT, 35 FT on corner lot	16 FT, 25 FT on corner lot	70 FT	80 FT	25 FT.	25 FT.
Maximum Height [3]	35 FT	35 Ft and 3 stories	35 FT and 3 stories	35 FT and 3 stories	35 FT	35 FT
Minimum Front Yard Setback	5 FT	5 FT	10 FT	10 FT	5 FT	5 FT
Minimum Front Garage Setback	20 FT	20 FT	20 FT	20 FT	N/A	N/A
Minimum Street Side Yard Setback	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT
Minimum Interior Side Yard Setback	3 FT-6 IN [1] 0 FT Garage [6]	0 FT	5 FT 0 FT Garage [6]	10 FT	5 FT	5 FT.
Minimum Rear Yard Setback	5 FT	5 FT.	5 FT	15 FT, 5 FT Garages	10 FT	10 FT.
Maximum Building Coverage	55%	80%	65%	65%	55%	60%
Maximum Impervious Cover	65%	95%	75%	75%	65%	70%
Maximum F A R	N/A	N/A	N/A	N/A	1:1 F.A.R	1 1 F A R.

Notes

1) *A minimum side yard of 3 -6 is permitted (measured from face of building to property line), provided that the adjoining side yard setback is a minimum of 3 -6 to create a face-of-building to face-of-building space of at least 7 feet*
2) *Mixed-use multifamily buildings with ground floor commercial use shall follow commercial site development regulations*
3) *The development shall comply with the modified Compatibility Standards for Goodnight Ranch PUD as set forth in Exhibit B*
4) *Lots less than 40' wide will be rear-loaded and lots that are front-loaded must be wider than 40'*
5) *For parks see site development regulations under Open Space*
6) *The minimum distance between garages on adjoining lots is 10 feet except that the garage side yard setback may be reduced to zero feet provided that applicable fire rating and building codes are met The wall of a garage built adjacent to a zero lot line or within three feet of a common side lot line must be solid and opaque and may not contain an opening*

Exhibit B-7

GOODNIGHT RANCH PUD

SITE DEVELOPMENT REGULATIONS, EXHIBIT "E"

	NEIGHBORHOOD MIXED USE AREA (NMA)					
	YARD HOUSE	ROWHOUSE LIVE/WORK SHOPHOUSE	MANSION HOUSE	MULTI-FAMILY HOME	COMMERCIAL [2]	CIVIC
Minimum Lot Size	2,500 SF 3,500 SF on corner lot	1,375 SF 1,500 SF on corner lot	7,000 SF	12,500 SF	2,500 SF	2,500 SF
Minimum Lot Width[5]	30 FT. 35 FT	16 FT 21 FT on corner lot	70 FT	80 FT	25 FT	25 FT
Maximum Height [2]	35 FT	40 FT and 3 stories	40 FT and 3 stories	40 FT and 3 stories	65 FT	40 FT
Minimum Front Yard Setback	5 FT	5 FT	10 FT	5 FT	5 FT	5 FT
Minimum Front Garage Setback	20 FT	20 FT	20 FT	20 FT	N/A	N/A
Minimum Street Side Yard Setback	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT
Minimum Interior Side Yard Setback	3 FT 1 IN [4] 0 FT Garage [6]	0 FT	5 FT 0 FT Garage [6]	10 FT	5 FT	5 FT
Minimum Rear Yard Setback	5 FT	5 FT	5 FT	10 FT 5 FT Garage	10 FT	10 FT
Maximum Building Coverage	55%	80 %	65 %	65%	70 %	70 %
Maximum Impervious Cover	65%	95%	75%	75%	80%	80%
Maximum F A R	N/A	N/A	N/A	N/A	2 1 F A R	2 1 F A R

Notes

1) *Parking facilities in the NMA may be retained in common for reciprocal use by NMA commercial and office/civic tenants, and may be included as part of the building lot " Example a lot containing retail uses on ground floor with residential and/or office use above designed to accommodate common parking facilities Such shared parking facilities are limited to the NMA*
2) *The development shall comply with the modified Compatibility Standards for Goodnight Ranch PUD as set forth in Exhibit B*
3) *Mixed use multifamily buildings with ground floor commercial use shall follow commercial site development regulations*
4) *A minimum side yard of 3 -6 is permitted (measured from face of building to property line) provided that the adjoining side yard and set back is a minimum of 3'-6" to create a face-of-building to face-of-building space of at least 7 feet*
5) *Lots less than 40 wide will be rear-loaded and lots that are front-loaded must be wider than 40*
6) *The minimum distance between garages on adjoining lots is 10 feet except that the garage side yard setback may be reduced to zero feet provided that applicable fire rating and building codes are met The wall of a garage built adjacent to a zero lot line or within three feet of a common side lot line must be solid and opaque and may not contain an opening*

GOODNIGHT RANCH PUD

SITE DEVELOPMENT REGULATIONS, EXHIBIT "E"

	OPEN SPACE		
	SAFETY SERVICES & EDUCATIONAL FACILITIES	OTHER CIVIC USES [1]	COMMERCIAL
Minimum Lot Size	1 Acre	5,000 SF	5,000 SF
Minimum Lot Width	50 FT	20 FT	20 FT
Maximum Height [2]	35 FT	35 FT	35 FT
Minimum Front Yard Setback	25 FT	10 FT	10 FT
Minimum Street Side Yard Setback	10 FT	10 FT	10 FT
Minimum Interior Side Yard Setback	10 FT	15 FT	15 FT
Minimum Rear Yard Setback	25 FT	10 FT	10 FT
Maximum Impervious Cover	75%	75%	75%
Maximum F A R	0 250 1 F A R	0 250 1 F A R	0 250 1 F A R

Notes

1) Includes all park sites except safety services and educational facilities such as fire station or elementary school

2) The development shall comply with the modified Compatibility Standards for Goodnight Ranch PUD as set forth in Exhibit B

Walsh, Wendy

From: Sean Compton [sean compton@tbg-inc com]
Sent: Wednesday, May 31, 2006 12:43 PM
To: Walsh, Wendy
Cc: Rusthoven, Jerry; Terry Mitchell
Subject: Goodnight PUD Case # C814-04-0187

Wendy -

The applicant requests that the zoning case be placed on the June 22, 2006 City Council agenda for second reading only Based on our discussion yesterday, we request two items be made part of the application

1. That Exhibit "C", PUD Land Use Summary Table, be revised to include as a permitted use in the Neighborhood Mixed Area (NMA) the following uses **Automobile Washing (of any type)** and **Liquor Sales**

2. That a restrictive covenant be placed on the property, required at the time of Final Plat, for installation of a street trees, based generally on the City's TND Criteria Manual, and set forth below:

- *Street trees planted along all streets – installed in the street planter strips between the curb and* sidewalk wherever provided Street trees may be omitted where existing trees remain
- Planted 30 to 40 ft on center on average – modified to accommodate utilities and sight lines. Trees in retail areas may be grouped
- *A minimum 2 ½" average caliper, Class I shade trees (additional species may be used with* approval of City Arborist). They shall be balled and burlap, boxed or crated nursery stock
- No more than 40% of street trees on the project may be of one species.
- Automatic irrigation of the street trees is required for a minimum of two years after installation
- Residential - street trees installed at time of home ownership
- Commercial – street trees installed as part of street infrastructure construction

Please contact me if you have any questions or comments to this request

Thank you,

Sean

TBG
PARTNERS

Sean Compton, ASLA
Principal

Austin Dallas Houston San Antonio

TEL 512 327 1011

GOODNIGHT RANCH PUD

RESIDENTIAL USES - DEFINITIONS AND VISUAL GUIDELINES, EXHIBIT "F"

Definitions of residential use categories referred to in Site Development Regulations Table, exhibit "E", PUD Zoning Land Use Area Summary Table, Exhibit "C", and Exhibit "E":

Yard House: detached single-family dwelling unit with an optional second living unit above the garage.
LDC *Single-family residential*

Rowhouse: attached two to three-story townhouse on its own lot to be sold or leased by the individual owner
LDC *Townhouse Residential*, since the land under the unit is owned or leased.

Live/work Shophouse: a rowhouse with workspace or commercial space permitted on the ground floor and upper level living space, as allowed in *Home Occupations, LDC 25-2-900*, as amended
LDC *Townhouse Residential*

Mansion Home: use is the use of a site for 4-6 attached dwelling units located in one structure with 1-3 bedrooms per dwelling unit; the structures are located on one lot and is designed to appear like an estate home, condominium ownership of individual dwelling units with condo regime for common area and land maintenance
LDC· if one (or more) owner(s) per building leases units, then *Multi-family*, if condo regime, then *Condominium Residential*

Multifamily Home: apartments or condos, per City definitions existing Code
LDC *Multifamily* or *Condominium Residential*

Multi-use Buildings: A building containing residential units above ground floor level in which the square footage of the residential units on the ground floor area is not more than 50 percent of the gross floor area of the ground floor, and the non-residential square footage in the above-ground floor area is not more than 50 percent of the gross floor area of the above floor area

Note: Architectural visual guidelines for residential uses follow this page.

Exhibit B-8