



U.S. Department of Housing and Urban
Development
451 Seventh Street, SW
Washington, DC 20410
www.hud.gov
espanol.hud.gov

**Environmental Review for Activity/Project that is
Categorically Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: 2019-RHDA-OHDA-Infill-#1

HEROS Number: 900000010083939

State / Local Identifier:

Project Location: 1113 E. 9th; 810 Lydia; 809 San Marcos, Austin, TX 78702

Additional Location Information:
N/A

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

GNDC has requested funds for a 9 unit infill project; a mixture of rehab and new construction, rental housing and homeownership. This Environmental Review is being conducted for 3 of the properties, known as GNDC Infill Project #1. The remaining structures were reviewed as GNDC Infill Projects #2 and GNDC Infill Project #3 and were conducted separately. The structures known as GNDC Infill Project #1 are described by address below: The Jobe House, at 1113 East 9th Street, will be remodeled into a duplex by adding one efficiency. Both units will then be restricted as affordable rental units, the efficiency for an extremely low-to-moderate income household at 30% MFI or below, and the Jobe House for a household with income at or below 80% of the MFI. Only private funds will be expended on the main house that is 80% MFI. At 810 Lydia Street, GNDC will build a 2-bedroom ADU rental property restricted for households at 50% MFI or below. The existing 3-bedroom home at 810 Lydia will become a restricted rental unit for a household with an income at or below 80% of the Austin MFI. At 809 San Marcos Street, a one-bedroom unit will be demolished and replaced by a new 3- bedroom unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust.

Level of Environment Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at §58.5:

Funding Information

Grant Number	HUD Program	Program Name
M-18-MC48-0500	Community Planning and Development (CPD)	HOME Program

Estimated Total HUD Funded Amount: \$636,960.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$2,977,600.00

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Complete
Historic Preservation	Mitigation Activities include: 1. Photographic documentation, to be completed by the developer prior to commencement of the undertaking and delivered to RE; 2. Monitoring and Reporting, to be completed by the City (RE) and delivered to the SHPO.	N/A	

Determination:

<input type="checkbox"/>	This categorically excluded activity/project converts to EXEMPT per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license; Funds may be committed and drawn down after certification of this part for this (now) EXEMPT project; OR
<input checked="" type="checkbox"/>	This categorically excluded activity/project cannot convert to Exempt status because one or more statutes or authorities listed at Section 58.5 requires formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain "Authority to Use Grant Funds" (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
<input type="checkbox"/>	This project is not categorically excluded OR, if originally categorically excluded, is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature: Dawn Perkins Date: 12/19/19

Name / Title/ Organization: Dawn Perkins / / AUSTIN

Responsible Entity Agency Official Signature: [Signature] Date: 12/19/19

Name/ Title: James May, Community Development Manager

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environment Review Record (ERR) for the activity / project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



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**Environmental Review for Activity/Project that is
Categorically Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: 2019-RHDA-OHDA-Infill-#1

HEROS Number: 900000010083939

Responsible Entity (RE): AUSTIN, PO Box 1088 Austin TX, 78767

State / Local Identifier:

RE Preparer: Dawn Perkins

Certifying Officer Rosie Truelove
r:

Grant Recipient (if different than Responsible Entity):

Point of Contact:

Consultant (if applicable):

Point of Contact:

Project Location: 1113 E. 9th; 810 Lydia; 809 San Marcos, Austin, TX 78702

Additional Location Information:
N/A

Direct Comments to: Neighborhood Housing and Community Development
Department, ATTN: OHDA Environmental Compliance, P.O.
Box 1088, Austin, TX 78767

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

GNDC has requested funds for a 9 unit infill project; a mixture of rehab and new construction, rental housing and homeownership. This Environmental Review is being conducted for 3 of the properties, known as GNDC Infill Project #1. The remaining structures were reviewed as GNDC Infill Projects #2 and GNDC Infill Project #3 and were conducted separately. The structures known as GNDC Infill Project #1 are described by address below: The Jobe House, at 1113 East 9th Street, will be remodeled into a duplex by adding one efficiency. Both units will then be restricted as affordable rental units, the efficiency for an extremely low-to-moderate income household at 30% MFI or below, and the Jobe House for a household with income at or below 80% of the MFI. Only private funds will be expended on the main house that is 80% MFI. At 810 Lydia Street, GNDC will build a 2-bedroom ADU rental property restricted for households at 50% MFI or below. The existing 3-bedroom home at 810 Lydia will become a restricted rental unit for a household with an income at or below 80% of the Austin MFI. At 809 San Marcos Street, a one-bedroom unit will be demolished and replaced by a new 3- bedroom unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust.

Maps, photographs, and other documentation of project location and description:

Level of Environmental Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at 58.5:

Determination:

	This categorically excluded activity/project converts to EXEMPT per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license; Funds may be committed and drawn down after certification of this part for this (now) EXEMPT project; OR
✓	This categorically excluded activity/project cannot convert to Exempt status because one or more statutes or authorities listed at Section 58.5 requires formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain "Authority to Use Grant Funds" (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
	This project is not categorically excluded OR, if originally categorically excluded, is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Approval Documents:

[CEST signed 12-19-19.pdf](#)

[Public Notice - GNDC Infill Lots - reposted 1-16-20.pdf](#)

7015.15 certified by Certifying Officer 2/7/2020
on:

7015.16 certified by Authorizing Officer
on:

Funding Information

Grant / Project Identification Number	HUD Program	Program Name
M-18-MC48-0500	Community Planning and Development (CPD)	HOME Program

Estimated Total HUD Funded, Assisted or Insured Amount: \$636,960.00

Estimated Total Project Cost: \$2,977,600.00

Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.6		
Airport Hazards Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. See Attachment #1.
Coastal Barrier Resources Act Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not located in a CBRS Unit. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. See Attachment #2.
Flood Insurance Flood Disaster Protection Act of	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The structure or insurable property is not located in a FEMA-designated

1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]		Special Flood Hazard Area. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements. See Attachment #3.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.5		
Air Quality Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project's county or air quality management district is in attainment status for all criteria pollutants. The project is in compliance with the Clean Air Act. See Attachment #4.
Coastal Zone Management Act Coastal Zone Management Act, sections 307(c) & (d)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not located in or does not affect a Coastal Zone as defined in the state Coastal Management Plan. The project is in compliance with the Coastal Zone Management Act. See Attachment #5.
Contamination and Toxic Substances 24 CFR 50.3(i) & 58.5(i)(2)]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Site contamination was evaluated as follows: None of the above. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. See Attachment #6.
Endangered Species Act Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. This project is in compliance with the Endangered Species Act. See Attachment #7.
Explosive and Flammable Hazards Above-Ground Tanks)[24 CFR Part 51 Subpart C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	There are no current or planned stationary aboveground storage containers of concern within 1 mile of the project site. The project is in compliance with explosive and flammable hazard requirements. See Attachment #8.
Farmlands Protection Farmland Protection Policy Act of	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not include any activities that could potentially convert

1981, particularly sections 1504(b) and 1541; 7 CFR Part 658		agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act. See Attachment #9.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not occur in a floodplain. The project is in compliance with Executive Order 11988. See Attachment #10.
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Based on Section 106 consultation the project will have an Adverse Effect on historic properties. With mitigation, as identified in the MOA or SMMA, the project will be in compliance with Section 106. Satisfactory implementation of the mitigation should be monitored. See Attachment #11.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	A Noise Assessment was conducted on all three properties. The noise level was acceptable: 1113 East 9th Street = 58.2529 (Rail DNL); 810 Lydia Street = 58.0669 (Rail DNL); 809 San Marcos Street = Road and Rail 61.2325 db. See noise analysis. The project is in compliance with HUD's Noise regulation. See Attachment #12.
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project is not located on a sole source aquifer area. The project is in compliance with Sole Source Aquifer requirements. See Attachment #13.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990. See Attachment #14.
Wild and Scenic Rivers Act Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not within proximity of a NWSRS river. The project is in compliance with the Wild and Scenic Rivers Act. See Attachment #15.
HUD HOUSING ENVIRONMENTAL STANDARDS		
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Adverse environmental impacts are not disproportionately high for low-income and/or minority communities. The

		project is in compliance with Executive Order 12898. See Attachments #1-15.
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Mitigation Measures and Conditions [40 CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Complete
Historic Preservation	Mitigation Activities include: 1. Photographic documentation, to be completed by the developer prior to commencement of the undertaking and delivered to RE; 2. Monitoring and Reporting, to be completed by the City (RE) and delivered to the SHPO.	N/A	

Mitigation Plan

See Attached MOA.

[MOA - All Signatures\(1\).pdf](#)

Supporting documentation on completed measures

APPENDIX A: Related Federal Laws and Authorities

Airport Hazards

General policy	Legislation	Regulation
It is HUD's policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

✓ No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

Screen Summary

Compliance Determination

The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. See Attachment #1.

Supporting documentation

[1. Attachment 1 - Airport.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

1. Is the project located in a CBRS Unit?

☒ No

Document and upload map and documentation below.

Yes

Screen Summary

Compliance Determination

This project is not located in a CBRS Unit. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. See Attachment #2.

Supporting documentation

[2. Attachment 2 - Coastal Zone.pdf](#)

Are formal compliance steps or mitigation required?

Yes

☒ No

Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

✓ Yes

2. Upload a FEMA/FIRM map showing the site here:

[FIRMETTE 1113 E. 9th St.pdf](#)

[FIRMETTE 810 Lydia.pdf](#)

[FIRMETTE 809 San Marcos.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

✓ No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary **Compliance Determination**

The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements. See Attachment #3.

Supporting documentation

[3. Attachment 3 - Flood Zone.pdf](#)

[Flood Pro - 1113 E. 9th St.pdf](#)

[Flood Pro - 810 Lydia.pdf](#)

[Flood Pro - 809 San Marcos.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

☒ Yes

☐ No

Air Quality Attainment Status of Project's County or Air Quality Management District

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

☒ No, project's county or air quality management district is in attainment status for all criteria pollutants.

Yes, project's management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Screen Summary

Compliance Determination

The project's county or air quality management district is in attainment status for all criteria pollutants. The project is in compliance with the Clean Air Act. See Attachment #4.

Supporting documentation

[4. Attachment 4 - Air Quality.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

Yes

✓ No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

This project is not located in or does not affect a Coastal Zone as defined in the state Coastal Management Plan. The project is in compliance with the Coastal Zone Management Act. See Attachment #5.

Supporting documentation

[5. Attachment 5 - Coastal Zone.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Contamination and Toxic Substances

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

1. How was site contamination evaluated? Select all that apply. Document and upload documentation and reports and evaluation explanation of site contamination below.

American Society for Testing and Materials (ASTM) Phase I Environmental Site Assessment (ESA)

ASTM Phase II ESA

Remediation or clean-up plan

ASTM Vapor Encroachment Screening

☒ None of the Above

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

☒ No

Explain:

Review of the Environmental Protection Agency's (EPA) NEPAAssist viewer has provided the following conclusions: 1. There are thirty-five (35) Hazardous Waste sites found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site. 2. There are four (4) Toxic Release facilities found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site. Onsite inspection was also completed on December 16, 2019 and no hazards were detected.

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

Site contamination was evaluated as follows: None of the above. On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. See Attachment #6.

Supporting documentation

[6. Attachment 6 - Contaminants.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service ("FWS" and "NMFS" or "the Services").	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i>); particularly section 7 (16 USC 1536).	50 CFR Part 402

1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

- ✓ Yes, the activities involved in the project have the potential to affect species and/or habitats.

2. Are federally listed species or designated critical habitats present in the action area?

- ✓ No, the project will have No Effect due to the absence of federally listed species and designated critical habitat

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area.

Screen Summary

Compliance Determination

This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. This project is in compliance with the Endangered Species Act. See Attachment #7.

Supporting documentation

[7. Attachment 7 - Endangered Species.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

☒ No

☐ Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

☐ No

☒ Yes

3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers that are covered by 24 CFR 51C? Containers that are NOT covered under the regulation include:

- Containers 100 gallons or less in capacity, containing common liquid industrial fuels OR
- Containers of liquified petroleum gas (LPG) or propane with a water volume capacity of 1,000 gallons or less that meet the requirements of the 2017 or later version of National Fire Protection Association (NFPA) Code 58.

If all containers within the search area fit the above criteria, answer "No." For any other type of aboveground storage container within the search area that holds one of the flammable or explosive materials listed in Appendix I of 24 CFR part 51 subpart C, answer "Yes."

☒ No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Yes

Screen Summary

Compliance Determination

There are no current or planned stationary aboveground storage containers of concern within 1 mile of the project site. The project is in compliance with explosive and flammable hazard requirements. See Attachment #8.

Supporting documentation

[8. Attachment 8 - Explosives.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	7 CFR Part 658

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

☒ No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

Site is located on urban land and is secondary construction.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary**Compliance Determination**

This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act. See Attachment #9.

Supporting documentation

[9. Attachment 9 - Farmland.pdf](#)

Are formal compliance steps or mitigation required?

Yes

☒ No

Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]

- 55.12(c)(3)
- 55.12(c)(4)
- 55.12(c)(5)
- 55.12(c)(6)
- 55.12(c)(7)
- 55.12(c)(8)
- 55.12(c)(9)
- 55.12(c)(10)
- 55.12(c)(11)

✓ None of the above

2. Upload a FEMA/FIRM map showing the site here:

[FIRMETTE_1113 E. 9th St.pdf](#)
[FIRMETTE_810 Lydia.pdf](#)
[FIRMETTE_809 San Marcos.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

Does your project occur in a floodplain?

✓ No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

This project does not occur in a floodplain. The project is in compliance with Executive Order 11988. See Attachment #10.

Supporting documentation

[10. Attachment 10 - Flood Ins.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Historic Preservation

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 "Protection of Historic Properties" http://www.access.gpo.gov/nara/cfr/waisidx_10/36cfr800_10.html

Threshold

Is Section 106 review required for your project?

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the PA Database to find applicable PAs.)
No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

- ✓ Yes, because the project includes activities with potential to cause effects (direct or indirect).

Step 1 – Initiate Consultation

Select all consulting parties below (check all that apply):

- ✓ State Historic Preservation Offer (SHPO) Completed
- ✓ Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native Hawaiian Organizations (NHOs)

- ✓ Alabama-Coushatta Tribe of Texas

Response Period Elapsed

✓ Apache Tribe of Oklahoma	Response Period Elapsed
✓ Comanche Nation, Oklahoma	Response Period Elapsed
✓ Coushatta Tribe of Louisiana	Response Period Elapsed
✓ Tonkawa Tribe of Indians of Oklahoma	Completed
✓ Wichita and Affiliated Tribes	Response Period Elapsed

✓ Other Consulting Parties

✓ City of Austin Planning and Zoning Department	Completed
✓ Travis County Historical Commission	Completed

Describe the process of selecting consulting parties and initiating consultation here:

The RE contacted The Texas Historical Commission on 5/1/2019 (810 Lydia), 5/2/2019 (809 San Marcos) and 4/23/2019 (1113 East 9th Street). It was determined that there will be no adverse effects at 810 Lydia and 1113 East 9th Street . It was determined that there was an adverse effect on 809 San Marcos and a Memorandum of Agreement was signed by the developer, the City, and the State Preservation Office. The RE also sent a request to the Tribes listed on the TDAT list on 4/19/19 for the project at 810 Lydia only. One response was received from the Tonkawa Tribe, indicating no cultural significance.

Document and upload all correspondence, notices and notes (including comments and objections received below).

Step 2 – Identify and Evaluate Historic Properties

1. Define the Area of Potential Effect (APE), either by entering the address(es) or uploading a map depicting the APE below:

810 Street, Austin, TX 1113 East 9th Street, Austin, TX 809 San Marcos

In the chart below, list historic properties identified and evaluated in the APE. Every historic property that may be affected by the project should be included in the chart.

Upload the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination

below.

Address / Location / District	National Register Status	SHPO Concurrence	Sensitive Information
French Legation Museum	Listed	Yes	✓ Not Sensitive

Additional Notes:

2. Was a survey of historic buildings and/or archeological sites done as part of the project?

Yes

✓ No

Step 3 –Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (36 CFR 800.5)] Consider direct and indirect effects as applicable as per guidance on direct and indirect effects.

Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.

No Historic Properties Affected

No Adverse Effect

✓ Adverse Effect

**Document reason for finding; upload the criteria with summary and justification.
Criteria of Adverse Effect 36 CFR 800.5.**

According to the Texas Historic Commission (THC), because 809 San Marcos St has a potential to contribute to the East Austin Historic Survey as contributing to the

potential Robertson Hill Historic District. As such, its demolition constitutes an ADVERSE EFFECT to this historic property and the surrounding historic neighborhood.

Step 4 – Resolve Adverse Effects

Work with consulting parties to try to avoid, minimize or mitigate adverse effects. Refer to ATEC guidance and 36 CFR 800.6 and 800.7.

Were the Adverse Effects resolved?

✓ Yes

Describe the resolution of Adverse Effects, including consultation efforts and participation by the Advisory Council on Historic Preservation:

A Memorandum of Agreement was signed by The City of Austin (RE), the developer (GNDC), and the State Historic Preservation Officer (SHPO).

For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

Mitigation Activities include:

1. Photographic documentation, to be completed by the developer prior to commencement of the undertaking and delivered to RE;
2. Monitoring and Reporting, to be completed by the City (RE) and delivered to the SHPO.

Based on the response, the review is in compliance with this section. Document and upload the signed Memorandum of Agreement (MOA) or Standard Mitigation Measures Agreement (SMMA) below.

No

Screen Summary

Compliance Determination

Based on Section 106 consultation the project will have an Adverse Effect on historic properties. With mitigation, as identified in the MOA or SMMA, the project will be in compliance with Section 106. Satisfactory implementation of the mitigation should be monitored. See Attachment #11.

Supporting documentation

[11. Attachment 11 - Historical.pdf](#)
[MOA - All Signatures.pdf](#)

[e106-form-doc 809 San Marcos 8-15-2019.pdf](#)
[tx.hud-home.demolition of 809 san marcos street.np.28aug19.pdf](#)

Are formal compliance steps or mitigation required?

✓ Yes

No

Noise Abatement and Control

General requirements	Legislation	Regulation
HUD's noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: "Compatible Land Uses at Federal Airfields"	Title 24 CFR 51 Subpart B

1. What activities does your project involve? Check all that apply:

- ☒ New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

Rehabilitation of an existing residential property

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster
None of the above

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. **Complete the Preliminary Screening to identify potential noise generators in the**

- ✓ Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: 61.23

Based on the response, the review is in compliance with this section. Document and upload noise analysis, including noise level and data used to complete the analysis below.

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Unacceptable: (Above 75 decibels)

Screen Summary

Compliance Determination

A Noise Assessment was conducted on all three properties. The noise level was acceptable: 1113 East 9th Street = 58.2529 (Rail DNL); 810 Lydia Street = 58.0669 (Rail DNL); 809 San Marcos Street = Road and Rail 61.2325 db. See noise analysis. The project is in compliance with HUD's Noise regulation. See Attachment #12.

Supporting documentation

[12. Attachment 12 - Noise.1.pdf](#)

Are formal compliance steps or mitigation required?

Yes

- ✓ No

Sole Source Aquifers

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

✓ No

2. Is the project located on a sole source aquifer (SSA)?

A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

< No

✓

Based on the response, the review is in compliance with this section. Document and upload documentation used to make your determination, such as a map of your project (or jurisdiction, if appropriate) in relation to the nearest SSA and its source area, below.

Yes

3. Does your region have a memorandum of understanding (MOU) or other working agreement with Environmental Protection Agency (EPA) for HUD projects impacting a sole source aquifer?

Yes

No

Screen Summary

Compliance Determination

The project is not located on a sole source aquifer area. The project is in compliance with Sole Source Aquifer requirements. See Attachment #13.

Supporting documentation

[13. Attachment 13 - Sole Source Aquifers.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wetlands Protection

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service's National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed. Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

No

✓ Yes

2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.

"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."

✓ No, a wetland will not be impacted in terms of E.O. 11990's definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990's definition of new construction.

Screen Summary

Compliance Determination

The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990. See Attachment #14.

Supporting documentation

[14. Attachment 14 - Wetlands.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

1. Is your project within proximity of a NWSRS river?

✓ No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

Screen Summary

Compliance Determination

This project is not within proximity of a NWSRS river. The project is in compliance with the Wild and Scenic Rivers Act. See Attachment #15.

Supporting documentation

[15. Attachment 15 - Wild and Scenic River.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

✓ Yes

No

2. Were these adverse environmental impacts disproportionately high for low-income and/or minority communities?

Yes

✓ No

Explain:

The mission of GNDC is to...

Based on the response, the review is in compliance with this section. Document and upload any supporting documentation below.

Screen Summary

Compliance Determination

Adverse environmental impacts are not disproportionately high for low-income and/or minority communities. The project is in compliance with Executive Order 12898. See Attachments #1-15.

Supporting documentation

[16. Attachment 16 - Environmental Justice.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Attachment 1

Airport Hazards - Sources and Distances

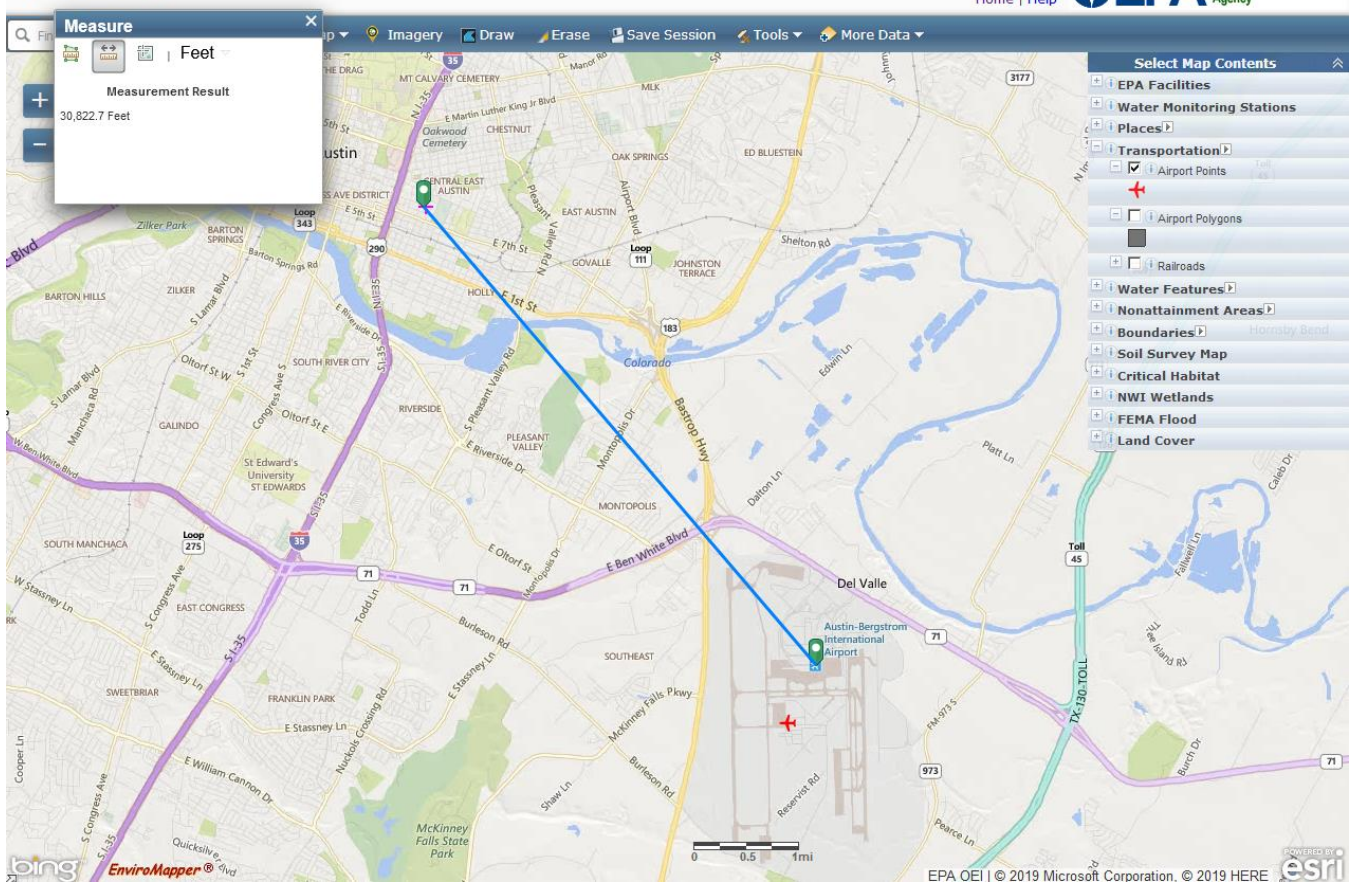
Civilian Airport - Austin Bergstrom International Airport (ABIA)

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

1113 E. 9th St – 30,822.7 Feet from ABIA

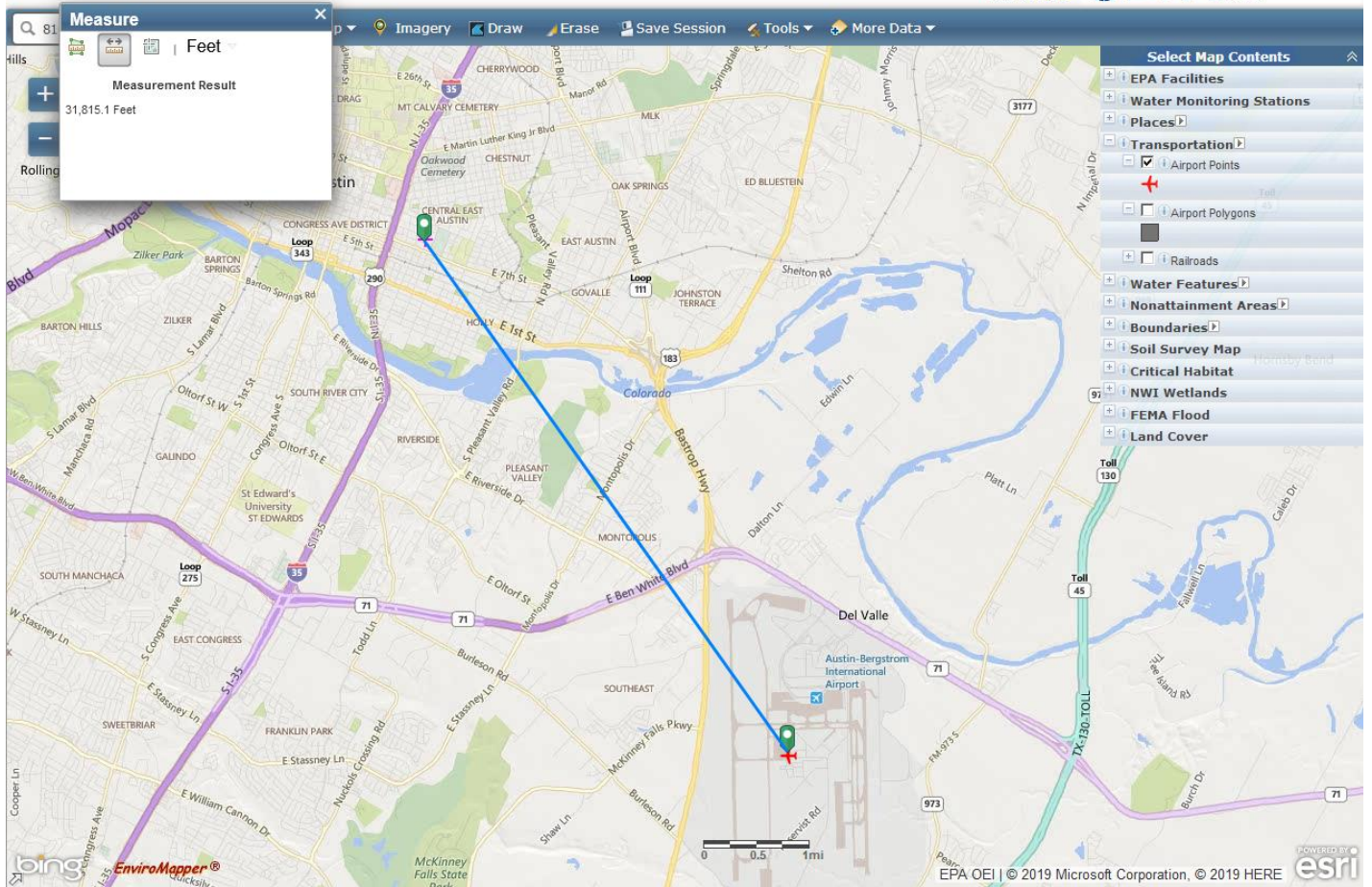
NEPAssist



810 Lydia Street - 30, 815 Feet From ABIA

NEPAssist

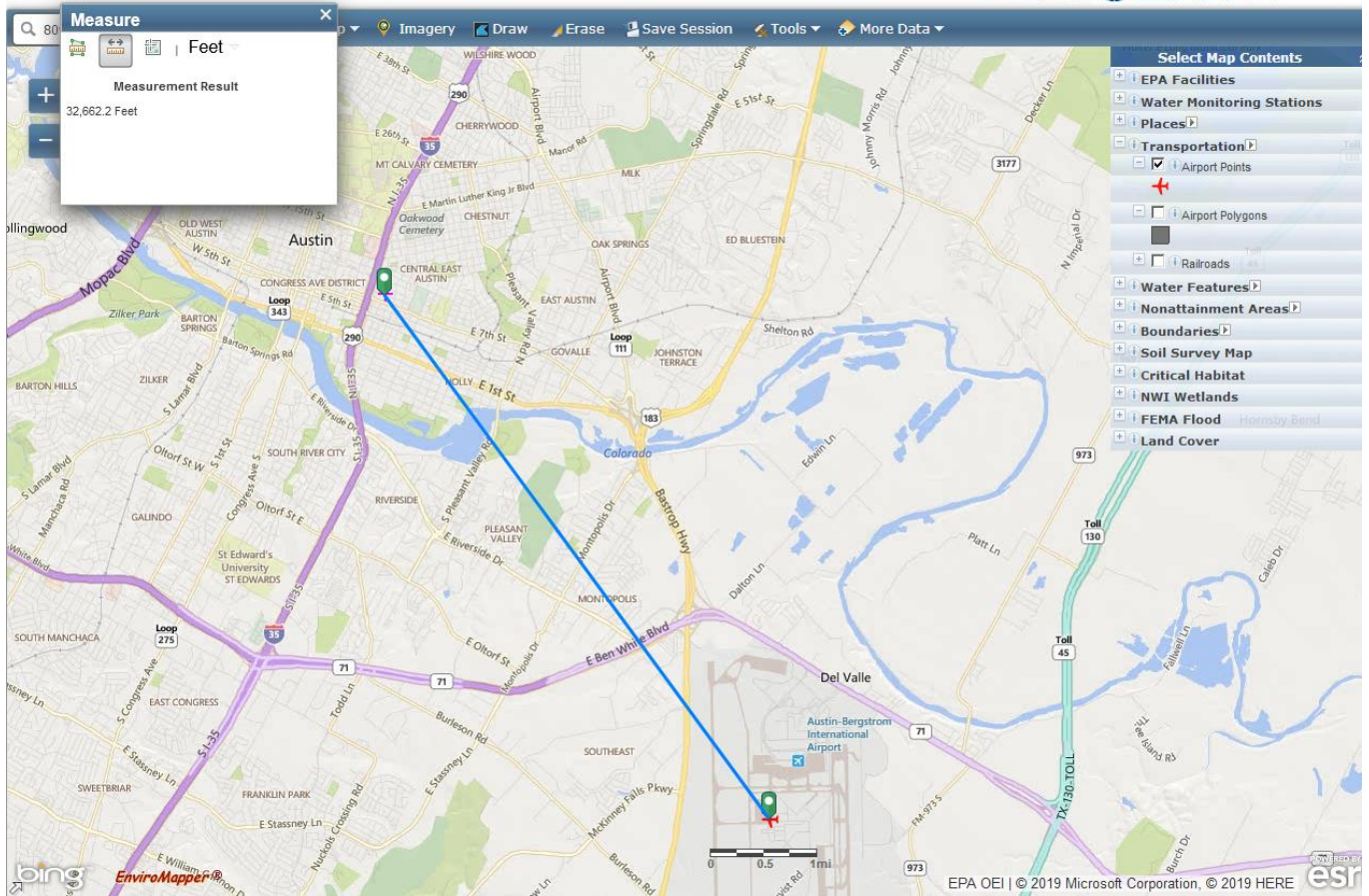
Home | Help  United States Environmental Protection Agency



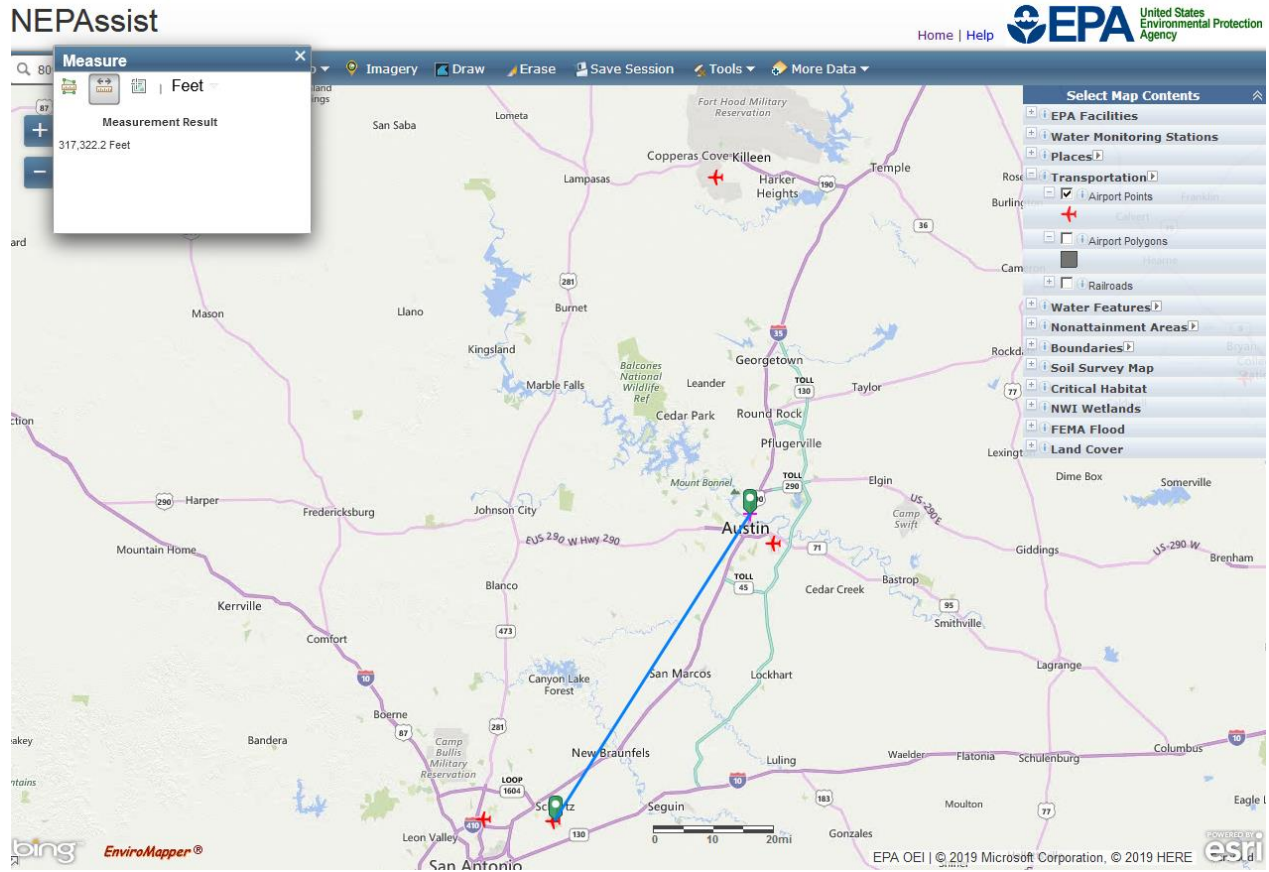
809 San Marcos – 32,662 Feet from ABIA

NEPAssist

Home | Help  United States Environmental Protection Agency



317,322 Feet from Nearest Military Airport (Randolph Air Force Base)



Attachment 2

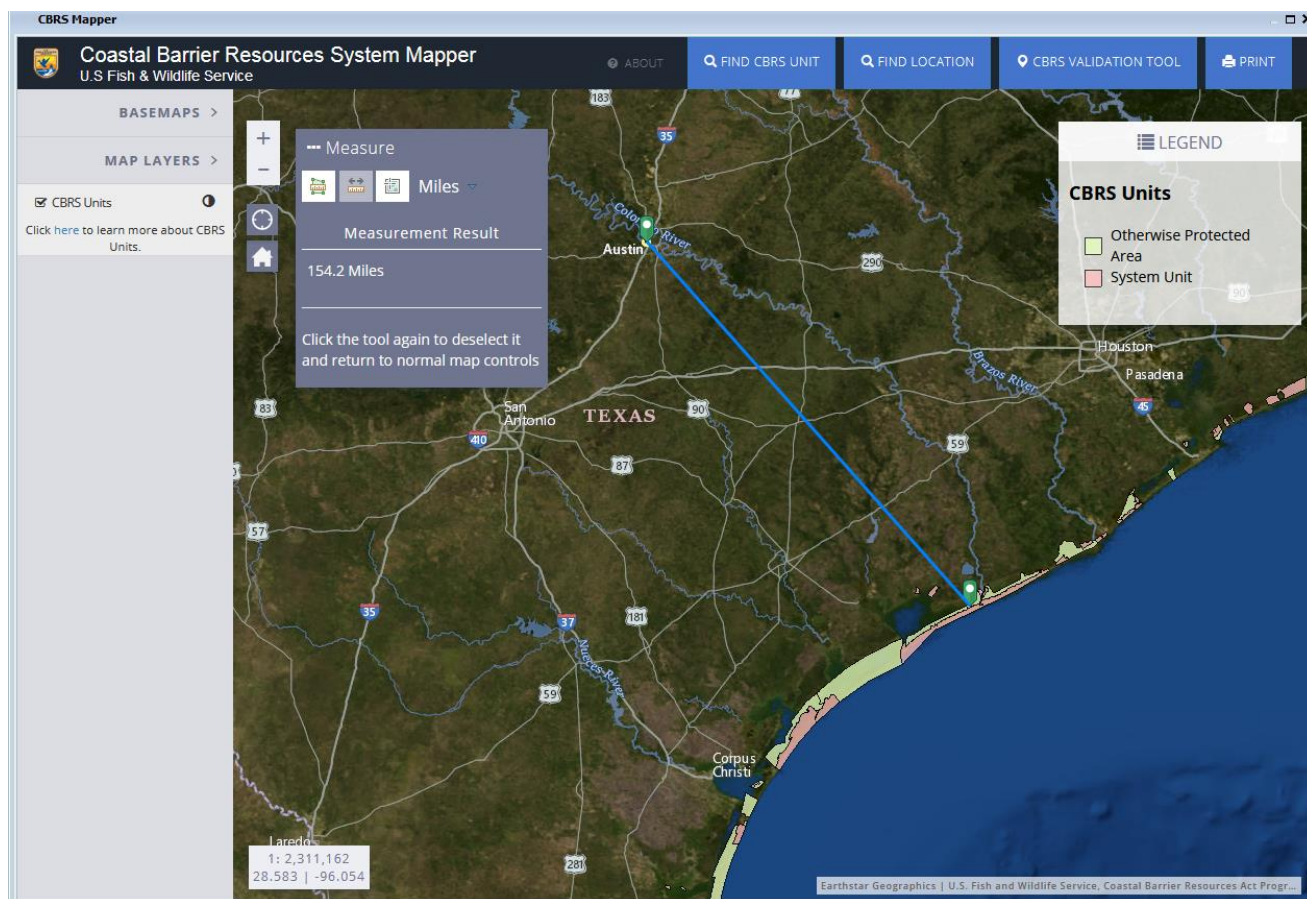
Coastal Barrier Resources System (CBRS) Map – Sources and Distances

U.S. Fish & Wildlife Services

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

Approximately 154 Miles to Closest CBRS



Attachment 3

Flood Insurance

Flood Disaster Protection Act of 1973 and National Flood
Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]

FEMA Flood Insurance Rate Map

RHDA-OHDA Infill Project #1

1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

Attachment 4

Clean Air

Clean Air Act, as amended, particularly section 176(c) & (d); 40

CFR Parts 6, 51, 93

Austin-Round Rock: Current Attainment Status - Texas

Commission on Environmental Quality

RHDA-OHDA Infill Project #1

1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Austin-Round Rock: Current Attainment Status

Compliance of Austin-Round Rock (ARR) area counties with the National Ambient Air Quality Standards (NAAQS).

Note: This table is intended to provide a listing of designations and classifications for current, active NAAQS. While NAAQS which have been revoked by the EPA do not appear in this table, some anti-backsliding obligations may continue to apply for revoked standards. This table is to be used for informational purposes only and should not be used to determine regulatory requirements in any of the counties listed.

Austin–Round Rock Area: Attainment Status by Pollutant

Pollutant	Primary NAAQS	Averaging Period	Designation	Counties	Attainment Deadline
Ozone (O ₃)*	0.070 ppm (2015 standard)	8-hour	Attainment/ Unclassifiable (Effective Jan 16, 2018)	Travis, Williamson, Bastrop, Hays, Caldwell	
	0.075 ppm (2008 standard)	8-hour	Unclassifiable/ Attainment	Travis, Williamson, Bastrop, Hays, Caldwell	
Lead (Pb)	0.15 µg/m ³ (2008 standard)	Rolling 3- Month Average	Unclassifiable/ Attainment		
	9 ppm	8-hour	Unclassifiable/ Attainment		

Carbon Monoxide (CO)	35 ppm	1-hour	Unclassifiable/ Attainment
Nitrogen Dioxide (NO ₂)	0.053 ppm	Annual	Unclassifiable/ Attainment
	100 ppb	1-hour	Unclassifiable/ Attainment
Particulate Matter (PM ₁₀)	150 µg/m ³	24-hour	Unclassifiable/ Attainment
	12.0 µg/m ³ (2012 standard)	Annual (Arithmetic Mean)	Unclassifiable/ Attainment
Particulate Matter (PM _{2.5})	15.0 µg/m ³ (1997 standard)	Annual (Arithmetic Mean)	Unclassifiable/ Attainment
	35 µg/m ³	24-hour	Unclassifiable/ Attainment
	0.03 ppm**	Annual (Arithmetic Mean)	Unclassifiable/ Attainment
Sulfur Dioxide (SO ₂)	0.14 ppm**	24-hour	Unclassifiable/ Attainment
	75 ppb	1-hour	Attainment/ Unclassifiable

*The United States Environmental Protection Agency (EPA) revoked the one-hour ozone standard and the 1997 eight-hour ozone standard in all areas, although some areas have continuing obligations under these standards. See [ozone history](#) for more information.

**The standard is scheduled to be revoked one year after the effective date of final designations for the 75 ppb standard.

For more information on attainment status, visit the EPA's [Green Book](#) webpage regarding nonattainment areas for criteria pollutants.

Austin–Round Rock Attainment Areas

2015 Eight-Hour Ozone Standard Designations: Attainment/Unclassifiable, effective January 16, 2018 ([82 FR 54232](#))

On October 1, 2015, the EPA lowered the primary and secondary eight-hour ozone NAAQS to 0.070 parts per million ([80 FR 65292](#)). Travis, Williamson, Bastrop, Hays, and Caldwell Counties were

designated attainment/unclassifiable under the 2015 eight-hour ozone NAAQS, effective January 16, 2018.

2008 Eight-Hour Ozone Standard Designations: Unclassifiable/Attainment, effective July 20, 2012 ([77 FR 30088](#))

On March 27, 2008, the EPA lowered the primary and secondary eight-hour ozone NAAQS to 0.075 parts per million (ppm) ([73 FR 16436](#)). Travis, Williamson, Bastrop, Hays, and Caldwell Counties were designated unclassifiable/attainment under the 2008 eight-hour ozone NAAQS, effective July 20, 2012.

1997 Eight-Hour Ozone Standard Designations: Attainment, April 30, 2004 ([69 FR 23858](#))

Counties: Travis, Williamson, Bastrop, Hays, and Caldwell

On December 18, 2002, local governments in the ARR area entered into a voluntary [Early Action Compact \(EAC\)](#) agreement with the TCEQ and the EPA for the 1997 eight-hour ozone standard. On March 31, 2004, a final EAC plan was submitted to the TCEQ for incorporation into the State Implementation Plan. On November 17, 2004, the commission adopted the EAC attainment demonstrations for [Austin, San Antonio, and Northeast Texas](#), and, at the request of the Austin and San Antonio areas, rule changes to 30 TAC 114 and 115.

National Ambient Air Quality Standards

The EPA has set [National Ambient Air Quality Standards](#) (NAAQS) for six principal criteria pollutants: ground-level ozone, lead, carbon monoxide, nitrogen dioxide, sulfur dioxide, and particulate matter.

No later than one year after promulgation of a new or revised NAAQS for any pollutant, the governor must submit designation recommendations to the EPA for all areas of the state. The EPA must then promulgate the designations within two years of promulgation of the revised NAAQS. Areas that do not meet (or contribute to ambient air quality in a nearby area that does not meet) the NAAQS are designated nonattainment. Areas that meet the NAAQS are designated attainment; and areas that cannot be classified based on the available information, unclassifiable.

For ozone, the Federal Clean Air Act establishes nonattainment area classifications ranked according to the severity of the area's air pollution problem. These classifications—*marginal*, *moderate*, *serious*, *severe*, and *extreme*—translate to varying requirements with which Texas and nonattainment areas must comply.

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Last Modified 2019-11-05

Attachment 5

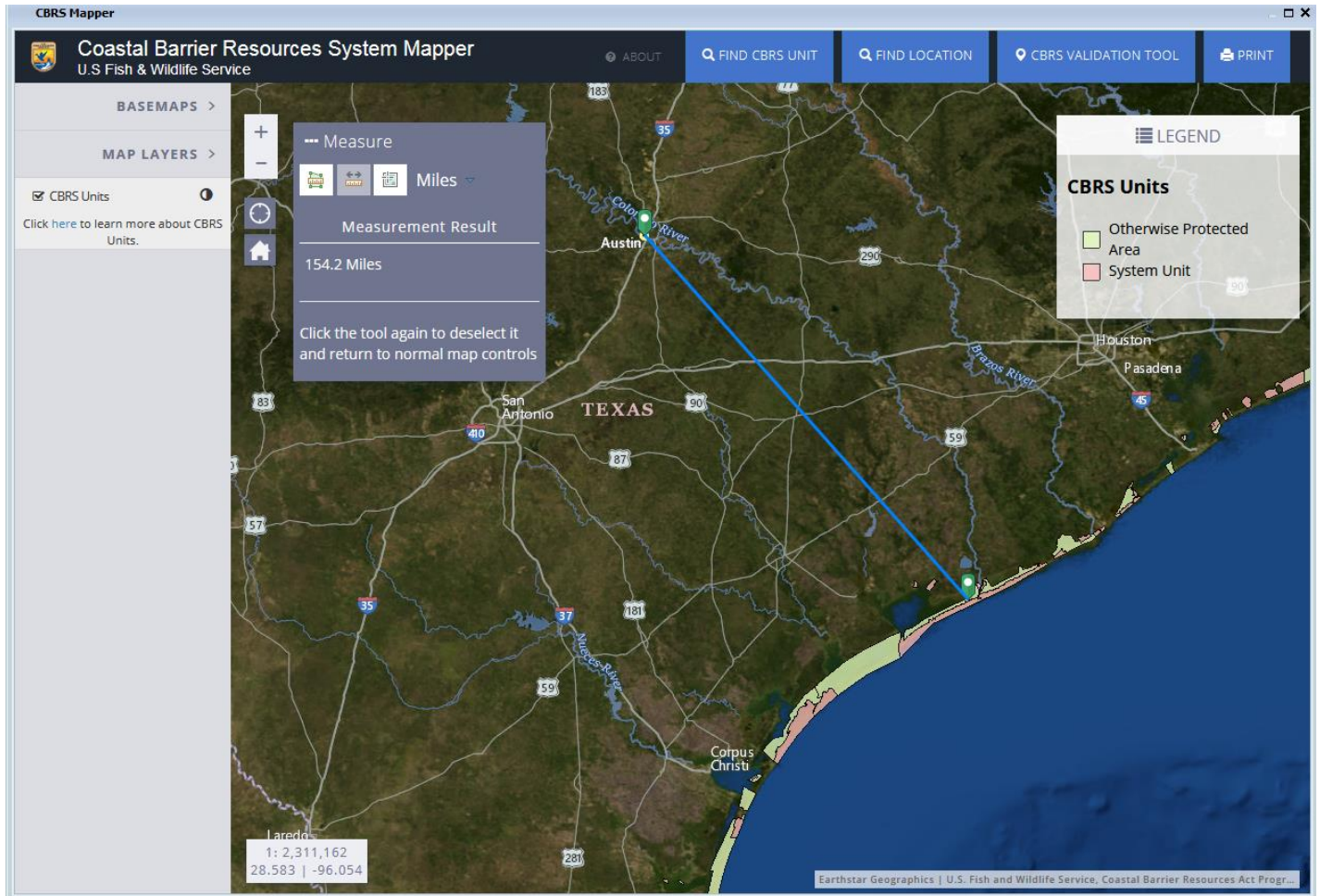
Coastal Barrier Resources System (CBRS) Map – Sources and Distances

U.S. Fish & Wildlife Services

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

Approximately 154 Miles to Closest CRBS



Attachment 6

Contamination and Toxic Substances

24 CFR Part 50.3(i) & 58.5(i)(2)

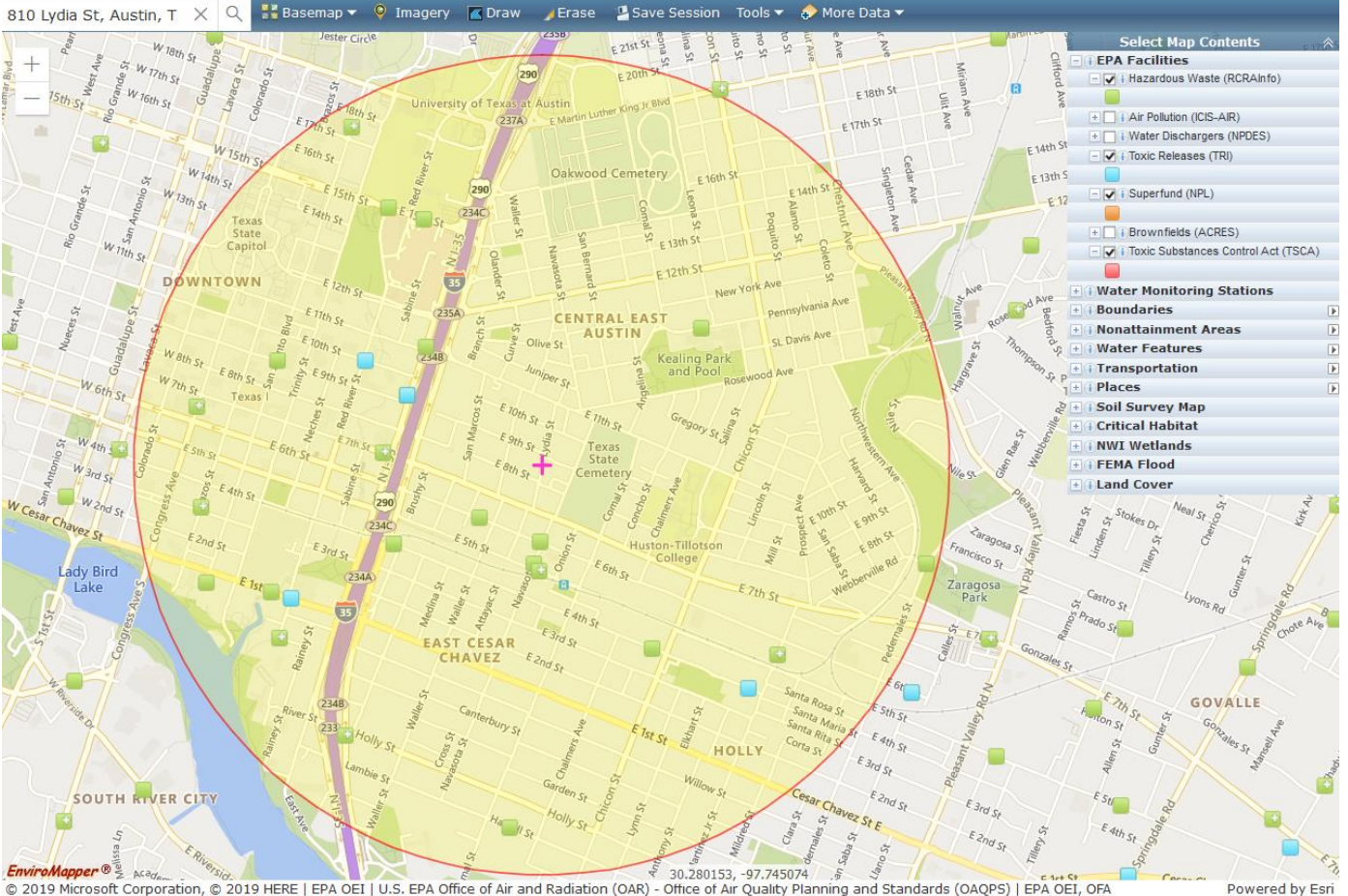
US Environmental Protection Agency, NEPAAssist Map

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

NEPAAssist

Home | Help  United States Environmental Protection Agency



Photos of 1113 E. 9th St – No Hazards Detected



Front of House (Facing South)



Side of house (Facing South)

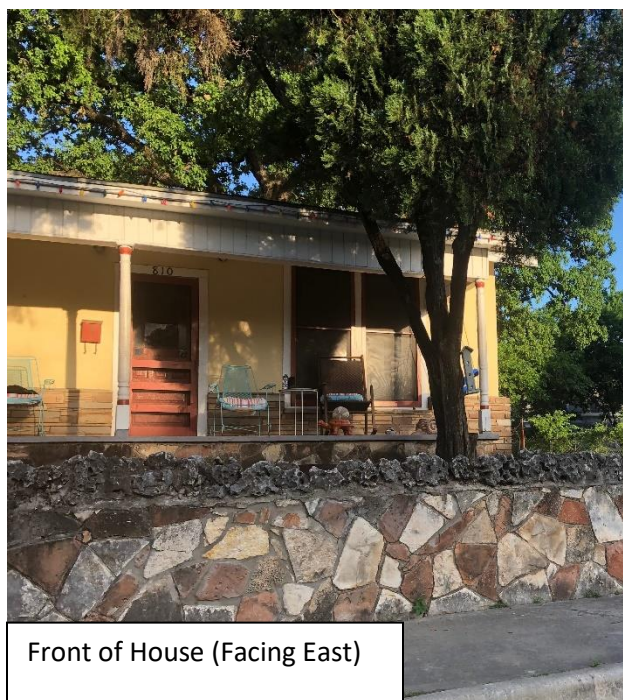


Side of House (Facing SouthEast)



Side of House (Facing East)

Photos of 810 Lydia – No Hazards Detected



Photos of 809 San Marcos – No Hazards Detected



Attachment 7

Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402

Critical Habitat for Threatened and Endangered Species Map - U.S. Fish & Wildlife Service

IPAC List, Site Surveys

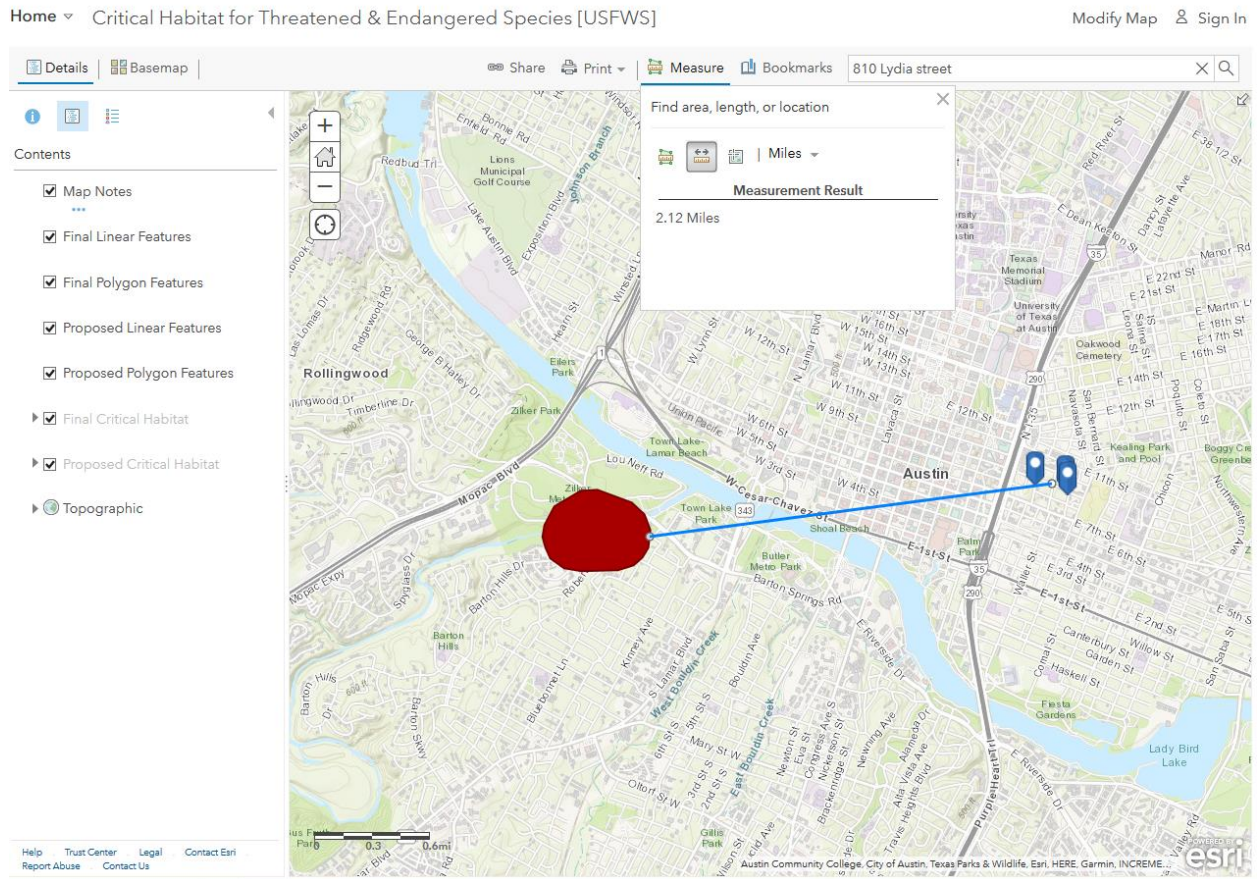
RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

Upon reviewing the attached IPAC list, we have determined that there are no habitats suitable or conducive to any of the species listed:

1. Birds
 - a. Golden-cheeked Warbler: The sites do not contain Ash trees and thus pose no adverse affect to the species.
 - b. Least Tern, Piping Plover, Red Knot: this is not a wind energy project, therefore these species are not considered.
 - c. Whooping Crane: the project sites/action area is outside this species' critical habitat.
2. Amphibians: The project sites are not located within critical habitat for the listed species. The project site does not contain habitat for the listed species, as it contains no water features or caves.
3. Clams: The project sites are not located within critical habitat for the listed species. The project site does not contain habitat for the listed species, as it contains no water features.
4. Insects: The project sites do not contain habitat for the listed species, as it contains no caves.
5. Flowering plants: Bracted Twist flower is mostly found in thinner soils overlaying limestone formations, which is not located in these sites.
6. Critical habitats: There are no critical habitats within the project area under USFWS jurisdiction.

No Critical Habitat (Approximately 2.12 Miles from Nearest Habitat - Austin Blind Salamander)



BENCHMARK
TOP OF MAG NAIL SET
ELEVATION= 538.15'
NAVD 1988 DATUM

SAN MARCOS STREET

20' ALLEY

SINGLE STORY
FRAME
RESIDENCE

N. 50' OF W. 50' OF
LOT 11 & N. 50' OF
LOT 12, BLOCK 4
5,916.6 SQ. FT.

SINGLE STORY
FRAME
RESIDENCE

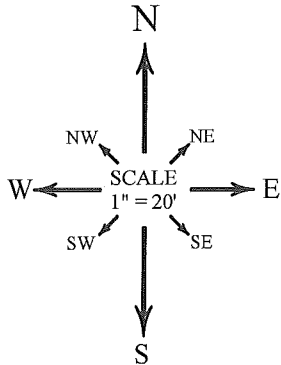
PEDRO A. SANTIS
AND ROSA E. SANTIS
0.4493 ACRES
(TAX ID# 194805)

PEDRO A. SANTIS
AND ROSA E. SANTIS
0.4493 ACRES
(TAX ID# 194805)

LEGEND

- 1/2" ROD FOUND
- "X" SCRIBE FOUND IN CONC.
- MAG NAIL FOUND
- CHAIN LINK FENCE
- () RECORD INFORMATION
- WATER METER
- AIR CONDITIONER
- UTILITY POLE
- OH OVERHEAD UTILITY LINE(S)
- DOWN GUY
- MANHOLE
- GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- OFF OUTSIDE OF SUBJECT BOUNDARY
- TREE
- (M) MULTI-STEM TREE

TREE LIST	
(106)	13" CREPEMYRTLE (M)
(107)	10.5" CEDAR ELM
(108)	11.5" CEDAR ELM
(172)	7" UNKNOWN



ALLSTAR
Land surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 48453C0465J PANEL: 0465J DATED: JANUARY 06, 2016

THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

RESTRICTIONS

-RESTRICTIONS:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

BEING THE NORTH FIFTY FEET OF THE WEST FIFTY FEET OF LOT 11, BLOCK 4 AND THE NORTH FIFTY FEET OF LOT 12, BLOCK 4, OUTLOTS 2 AND 3, DIVISION "B", GEO. L. ROBERTSON SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 1, PAGE 4, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

NOTICE

BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

BEARING BASIS:

BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL.

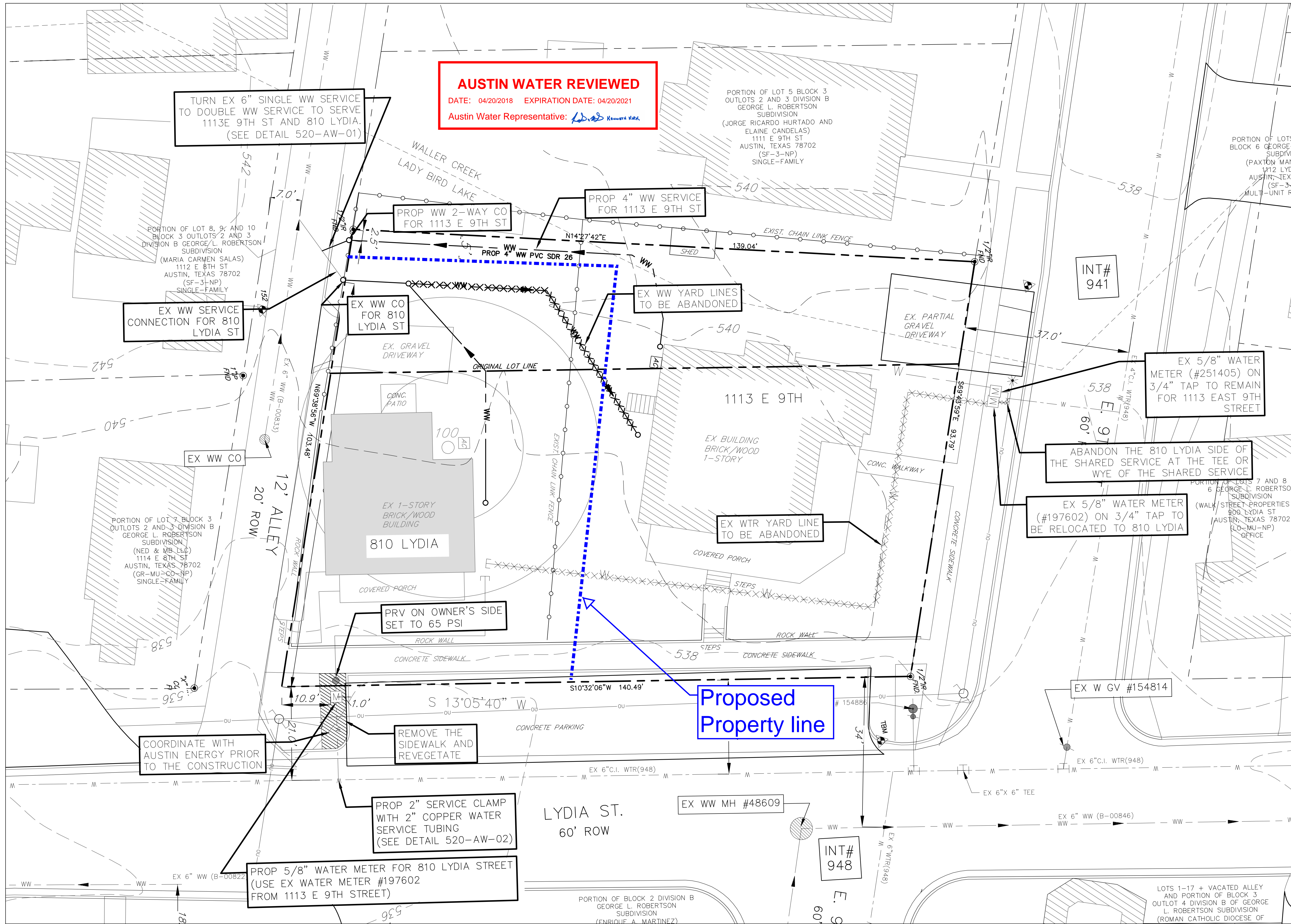


TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

ADDRESS

GUADALUPE NEIGHBORHOOD
DEVELOPMENT CORPORATION
809 SAN MARCOS STREET
AUSTIN, TRAVIS COUNTY, TEXAS

SURVEY DATE:	NOVEMBER 6, 2018	FILED BY:	MARIO RODRIGUEZ	11/01/2018
TITLE CO.:	-	CALC. BY:	CHRIS ZOTTER	11/06/2018
G.F. NO.:	-	DRAWN BY:	SEAN SUTTON	11/06/2018
JOB NO.:	A1011518	RPLS CHECK:	EDWARD RUMSEY	11/06/2018



NOTE : CONTRACTOR TO FIELD VERIFY YARD LINES.



UNIT AREA AND BATHROOM COUNT		
RESIDENTIAL UNIT	AREA	# BATHROOMS
1113 E. 9TH	1,684 SF	1

EXISTING LEGEND	
	FIRE HYDRANT W/ GATE VALVE
	WATERLINE W/ GATE VALVE
	WATERLINE W/ DOUBLE SERVICE
	WATERLINE W/ SINGLE SERVICE
	WASTEWATER W/ MANHOLE
	WASTEWATER W/ CLEANOUT
	WASTEWATER W/ DOUBLE SERVICE
	WASTEWATER W/ SINGLE SERVICE
	STORM SEWER W/ MANHOLE
	STORM SEWER W/ CURB INLET
	ELECTRIC LINE
	GAS LINE
	GROUND CONTOUR
	SURVEY CONTROL POINT
	BENCHMARK
	TEMPORARY BENCHMARK
	POWER POLE
	WATER METER
	WATER TEE
PROPOSED LEGEND	
	WATERLINE W/ DOUBLE SERVICE
	WATERLINE W/ SINGLE SERVICE
	WASTEWATER W/ CLEANOUT
	WASTEWATER W/ DOUBLE SERVICE
	WASTEWATER W/ SINGLE SERVICE
	GROUND CONTOUR

NO.	DATE	REVISIONS

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

JOB HOUSE PROPERTY
1113 EAST 9TH STREET, AUSTIN, TX 78702

TAP PLAN

CIVILITUDE
ENGINEERS & PLANNERS

1210 ROSEWOOD AVENUE
AUSTIN, TX 78702
FIRM REG. NO. F12469

PHONE 512.761.6161
FAX 512.761.6167
INFO@CIVILITUDE.COM

SCALE:	1"=10'	DGN. BY:	FSK
JOB NO.	A261-001	DWN. BY:	EAK & KAK





United States Department of the Interior

FISH AND WILDLIFE SERVICE

Austin Ecological Services Field Office

10711 Burnet Road, Suite 200

Austin, TX 78758-4460

Phone: (512) 490-0057 Fax: (512) 490-0974

<http://www.fws.gov/southwest/es/AustinTexas/>

<http://www.fws.gov/southwest/es/EndangeredSpecies/lists/>



In Reply Refer To:

December 16, 2019

Consultation Code: 02ETAU00-2020-SLI-0379

Event Code: 02ETAU00-2020-E-00818

Project Name: GNDC Infil Lots

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that *may* occur within the county of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

Please note that new information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Also note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of federally listed as threatened

or endangered species and to determine whether projects may affect these species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

While a Federal agency may designate a non-Federal representative to conduct informal consultation or prepare a biological assessment, the Federal Agency must notify the Service in writing of any such designation. The Federal agency shall also independently review and evaluate the scope and content of a biological assessment prepared by their designated non-Federal representative before that document is submitted to the Service.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by a federally funded, permitted or authorized activity, the agency is required to consult with the Service pursuant to 50 CFR 402. The following definitions are provided to assist you in reaching a determination:

- *No effect* - the proposed action will not affect federally listed species or critical habitat. A “no effect” determination does not require section 7 consultation and no coordination or contact with the Service is necessary. However, if the project changes or additional information on the distribution of listed or proposed species becomes available, the project should be reanalyzed for effects not previously considered.
 - *May affect, but is not likely to adversely affect* - the project may affect listed species and/or critical habitat; however, the effects are expected to be discountable, insignificant, or completely beneficial. Certain avoidance and minimization measures may need to be implemented in order to reach this level of effect. The Federal agency or the designated non-Federal representative should consult with the Service to seek written concurrence that adverse effects are not likely. Be sure to include all of the information and documentation used to reach your decision with your request for concurrence. The Service must have this documentation before issuing a concurrence.
 - *Is likely to adversely affect* - adverse effects to listed species may occur as a direct or indirect result of the proposed action. For this determination, the effect of the action is neither discountable nor insignificant. If the overall effect of the proposed action is beneficial to the listed species but the action is also likely to cause some adverse effects to individuals of that species, then the proposed action “is likely to adversely affect” the listed species. The analysis should consider all interrelated and interdependent actions. An “is likely to adversely affect” determination requires the Federal action agency to initiate formal section 7 consultation with our office.
-

Regardless of the determination, the Service recommends that the Federal agency maintain a complete record of the evaluation, including steps leading to the determination of effect, the qualified personnel conducting the evaluation, habitat conditions, site photographs, and any other related information. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at: <http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>.

Migratory Birds

For projects that may affect migratory birds, the Migratory Bird Treaty Act (MBTA) implements various treaties and conventions for the protection of these species. Under the MBTA, taking, killing, or possessing migratory birds is unlawful. Migratory birds may nest in trees, brushy areas, or other areas of suitable habitat. The Service recommends activities requiring vegetation removal or disturbance avoid the peak nesting period of March through August to avoid destruction of individuals, nests, or eggs. If project activities must be conducted during this time, we recommend surveying for nests prior to conducting work. If a nest is found, and if possible, the Service recommends a buffer of vegetation remain around the nest until the young have fledged or the nest is abandoned.

For additional information concerning the MBTA and recommendations to reduce impacts to migratory birds please contact the U.S. Fish and Wildlife Service Migratory Birds Office, 500 Gold Ave. SW, Albuquerque, NM 87102. A list of migratory birds may be viewed at <https://www.fws.gov/birds/management/managed-species/migratory-bird-treaty-act-protected-species.php>. Guidance for minimizing impacts to migratory birds for projects including communications towers can be found at: <https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/communication-towers.php>. Additionally, wind energy projects should follow the wind energy guidelines

<https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/wind-energy.php>) for minimizing impacts to migratory birds and bats.

Finally, please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.), and projects affecting these species may require development of an eagle conservation plan <https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/eagles.php>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Austin Ecological Services Field Office

10711 Burnet Road, Suite 200

Austin, TX 78758-4460

(512) 490-0057

Project Summary

Consultation Code: 02ETAU00-2020-SLI-0379

Event Code: 02ETAU00-2020-E-00818

Project Name: GNDC Infil Lots

Project Type: DEVELOPMENT

Project Description: 809 San Marcos
1113 E 9th Street
810 Lydia

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/30.266758586039725N97.72974505440396W>



Counties: Travis, TX

Endangered Species Act Species

There is a total of 18 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 3 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.
-

Birds

NAME	STATUS
<p>Golden-cheeked Warbler (=wood) <i>Dendroica chrysoparia</i></p> <p>No critical habitat has been designated for this species.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/33</p>	Endangered
<p>Least Tern <i>Sterna antillarum</i></p> <p>Population: interior pop.</p> <p>No critical habitat has been designated for this species.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/8505</p>	Endangered
<p>Piping Plover <i>Charadrius melodus</i></p> <p>Population: [Atlantic Coast and Northern Great Plains populations] - Wherever found, except those areas where listed as endangered.</p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/6039</p>	Threatened
<p>Red Knot <i>Calidris canutus rufa</i></p> <p>No critical habitat has been designated for this species.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/1864</p>	Threatened
<p>Whooping Crane <i>Grus americana</i></p> <p>Population: Wherever found, except where listed as an experimental population</p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/758</p>	Endangered

Amphibians

NAME	STATUS
<p>Austin Blind Salamander <i>Eurycea waterlooensis</i></p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/5737</p>	Endangered
<p>Barton Springs Salamander <i>Eurycea sosorum</i></p> <p>No critical habitat has been designated for this species.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/1113</p>	Endangered
<p>Jollyville Plateau Salamander <i>Eurycea tonkawae</i></p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/3116</p>	Threatened

Clams

NAME	STATUS
Texas Fatmucket <i>Lampsilis bracteata</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9041	Candidate
Texas Fawnsfoot <i>Truncilla macrodon</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8965	Candidate
Texas Pimpleback <i>Quadrula petrina</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8966	Candidate

Insects

NAME	STATUS
Kretschmarr Cave Mold Beetle <i>Texamaurops reddelli</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/3140	Endangered
Tooth Cave Ground Beetle <i>Rhadine persephone</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5625	Endangered

Arachnids

NAME	STATUS
Bee Creek Cave Harvestman <i>Texella reddelli</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2464	Endangered
Bone Cave Harvestman <i>Texella reyesi</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5306	Endangered
Tooth Cave Pseudoscorpion <i>Tartarocreagris texana</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6667	Endangered
Tooth Cave Spider <i>Neoleptoneta myopica</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2360	Endangered

Flowering Plants

NAME	STATUS
Bracted Twistflower <i>Streptanthus bracteatus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2856	Candidate

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

Attachment 8

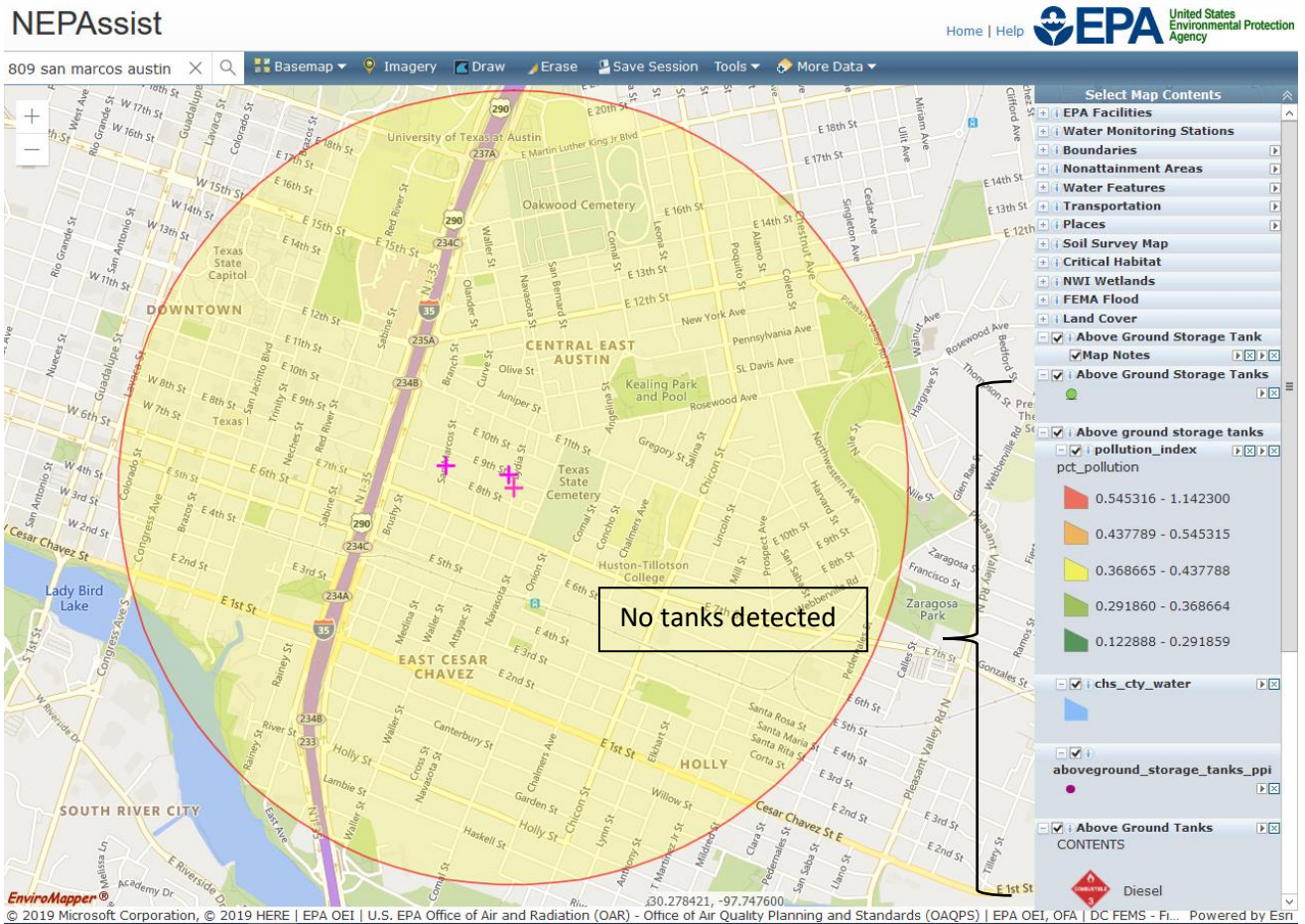
Explosive and Flammable Hazards

24 CFR Part 51 Subpart C

See Attachment 6 Documentation

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702



Attachment 9

Farmland Classification

U.S. Department of Agriculture

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

<https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>

Site is located on Urban Land

Contact Us | Subscribe | Archived Soil Surveys | Soil Survey Status | Glossary | Preferences | Link | Logout | Help

Area of Interest (AOI) | Soil Map | **Soil Data Explorer** | Download Soils Data | Shopping Cart (Free)

View Soil Information By Use: All Uses | Printable Version | Add to Shopping Cart

Intro to Soils | Suitabilities and Limitations for Use | Soil Properties and Qualities | **Ecological Site Assessment** | Soil Reports

Search

Ecological Sites

Open All | Close All

All Ecological Sites

View All Ecological Sites Info

View Options

Dominant Ecological Site Map ☒

Ecological Sites by Map Unit Component Table ☒

Basic Options

Ecological Site Type: Rangeland


View All Ecological Sites Info

R086AY007TX — Southern Clay Loam

R087AY001TX — Gravelly

Map — Dominant Ecological Site — Rangeland

Scale: (not to scale)



Warning: Soil Ratings Map may not be valid at this scale.

You have zoomed in beyond the scale at which the soil map for this area is intended to be used. Mapping of soils is done at a particular scale. The soil surveys that comprise your AOI were mapped at 1:24,000. The design of map units and the level of detail shown in the resulting soil map are dependent on that map scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Table — Ecological Sites by Map Unit Component — Rangeland

Travis County, Texas

Travis County, Texas

Travis County, Texas					
Map unit symbol	Map unit name	Component name (percent)	Ecological site	Acres in AOI	Percent of AOI
TuD	Travis soils and urban land, 1 to 8 percent slopes	Travis (45%)	R087AY001TX — Gravelly	35.6	90.0%
		Urban land (35%)			
		Unnamed (20%)			
Ur	Urban land, 0 to 6 percent slopes	Urban land (100%)		2.6	6.6%
UtD	Urban land, Austin, and Whitewright soils, 1 to 8 percent slopes	Urban land (40%)		1.3	3.4%
		Austin (30%)	R086AY007TX — Southern Clay Loam		
		Whitewright (25%)	R086AY007TX — Southern Clay Loam		
		Unnamed (5%)			
Totals for Area of Interest				39.5	100.0%

Attachment 10

Flood Plain Management

FEMA Firmette Flood Map

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



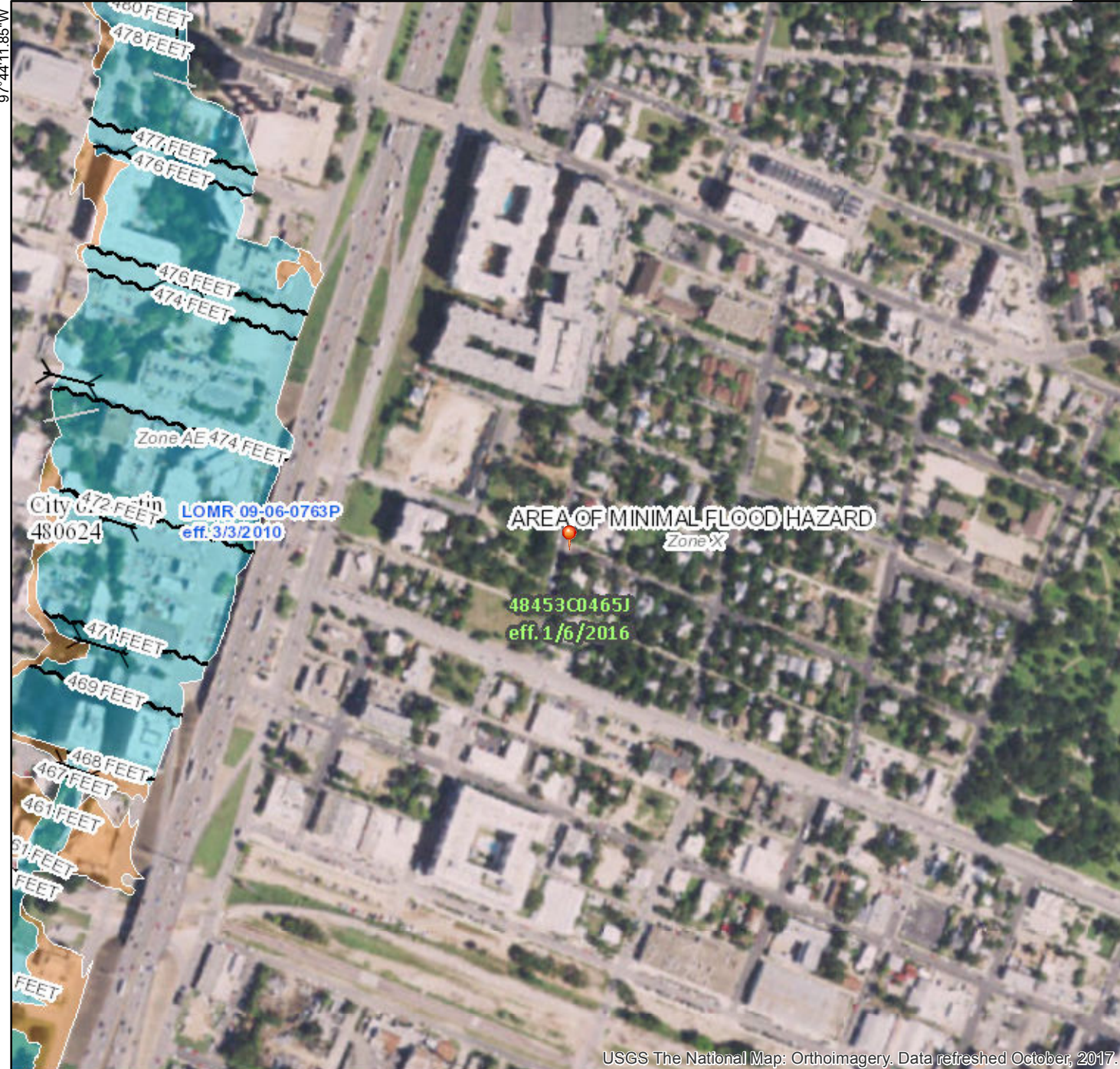
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/8/2019 at 5:29:16 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

30°16'16.59"N



AREA OF MINIMAL FLOOD HAZARD
Zone X

484530465J
eff. 1/6/2016

City 472 FEET
480624
LOMR 09-06-0763P
eff. 3/3/2010

USGS The National Map: Orthoimagery. Data refreshed October, 2017.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

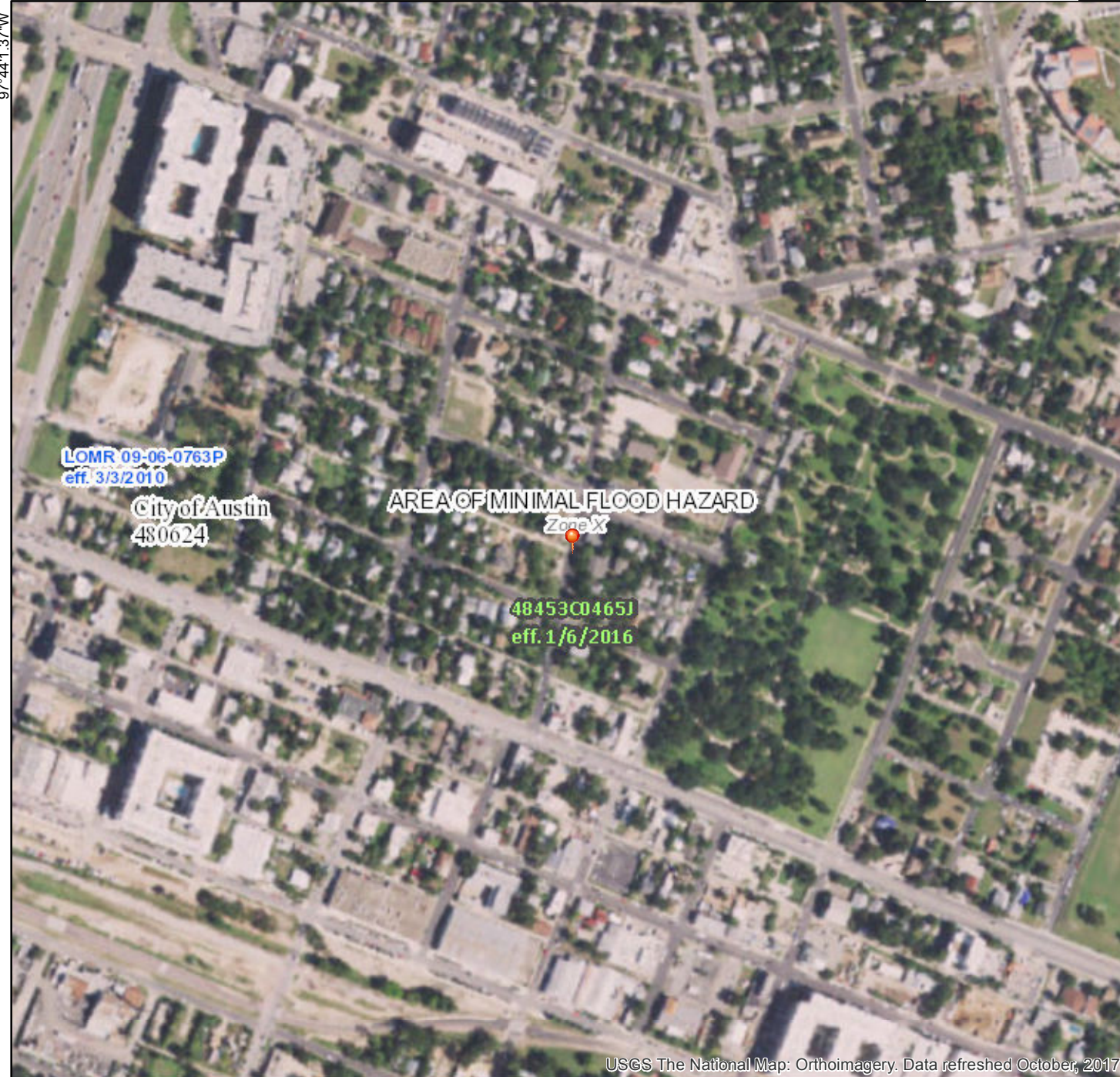
30°15'45.51"N

97°43'34.39"W

National Flood Hazard Layer FIRMette



30°16'14.83"N



USGS The National Map: Orthoimagery. Data refreshed October, 2017.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

30°15'43.76"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

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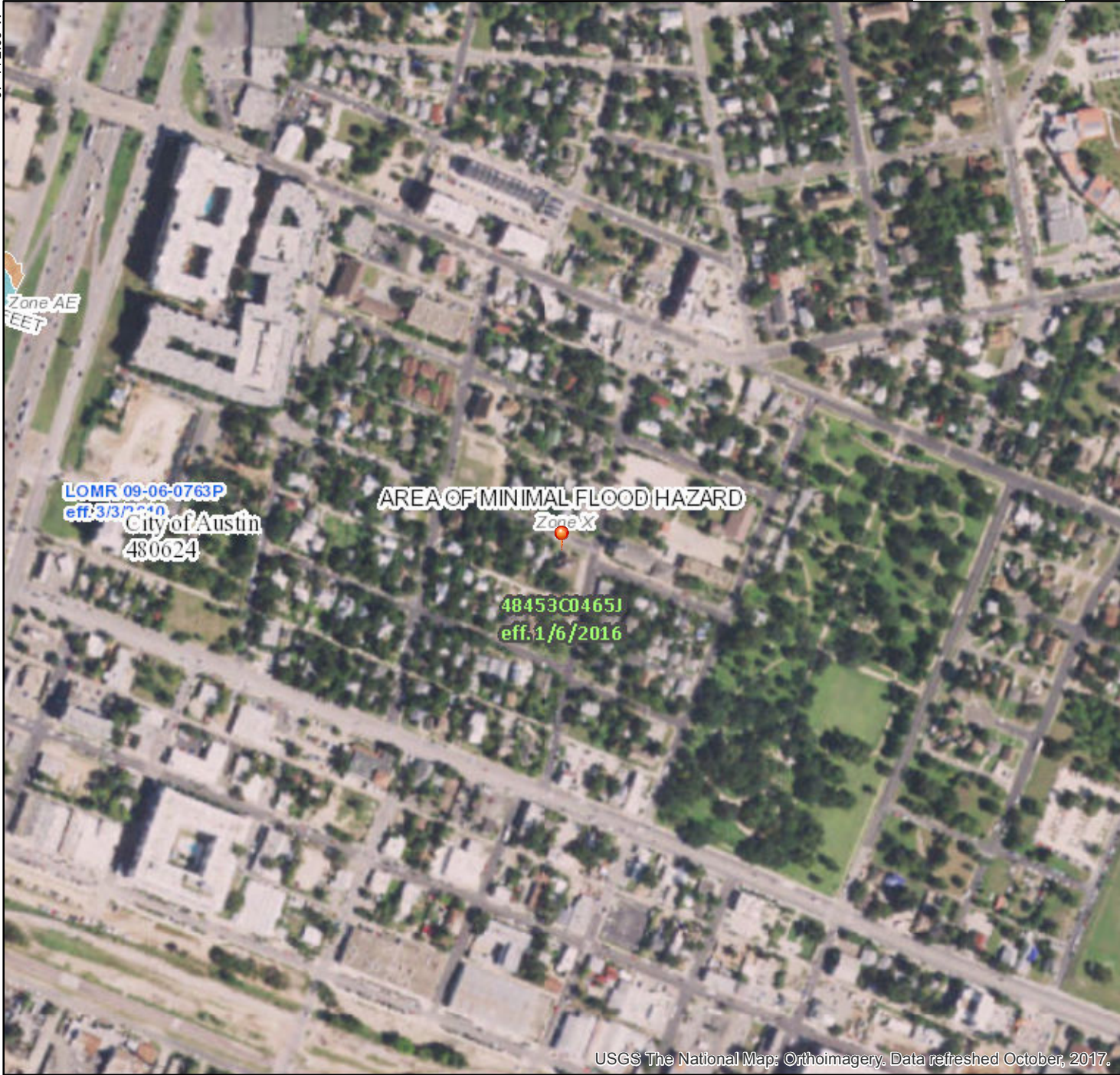
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



National Flood Hazard Layer FIRMette



30°16'16.62"N



USGS The National Map: Orthoimagery. Data refreshed October, 2017. 0 250 500 1,000 1,500 2,000 Feet 1:6,000

30°15'45.55"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
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		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/8/2019 at 4:44:29 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



FLOODPLAIN INFORMATION REQUEST FORM

Tax Parcel ID: 0206051017		Date Processed: 04/08/2019	
Property Address: 809 SAN MARCOS ST			
FEMA Flood Insurance Information:		City of Austin Regulatory Information:	
Flood Zone*: X		25-Year Flood Elevation**: N/A	
Community Number: 480624		100-Year Flood Elevation**: N/A	
Panel Number: 48453C0465J		All elevations are in feet above mean sea level; Datum for all elevations is NAVD88.	
Effective Date: 1/6/2016			
FEMA 100-Year Elevation*: N/A			
FEMA 500-Year Elevation*: N/A			

Additional Questions? Please contact the Floodplain Office

Phone Hotline: 512-974-2843

Fax: 512-974-3584

E-mail: floodpro@austintexas.gov

Mailing Address: Attention: Floodplain Office, Watershed Protection Department-12th Floor, PO BOX 1088
Austin, TX 78767-1088

- * The flood zone determination is based solely on a graphical interpretation of the FEMA Flood Insurance Rate Map (FIRM). Parcels with flood zones **A**, **AE**, **AO**, or **AH** are located or partially located within the FEMA Special Flood Hazard Area designated 1% annual chance flood hazard (100-year floodplain). Parcels with flood zone **0.2% annual chance flood hazard** (500-year floodplain) are located or partially located within the shaded zone X portion of the FIRM. Parcels with flood zone **X Protected by Levee** are located within in an area protected by a levee from the 1% annual chance flood hazard. Parcels with flood zone **X** are located outside the 0.2% annual chance flood hazard. The 1% annual chance flood hazard is the base flood and is used to determine the base flood elevation (BFE) for flood insurance purposes. BFEs must be determined using the flood profiles contained in the effective Flood Insurance Study (FIS). The FEMA 1% annual chance floodplains *may differ* from the City of Austin regulatory floodplains.
- * * The City of Austin uses the fully developed 25-year and 100-year floodplains to regulate development within the full purpose and extra territorial jurisdiction (ETJ) as established in the Land Development Code. The City of Austin regulatory floodplains *may differ* from the FEMA 1% annual chance floodplains.

The City provides the information on this form using the best available engineering and topographic data. Floodplain elevations to be used for development applications must be determined by a Texas Registered Professional Engineer. The official determination of a parcel's floodplain status may necessitate a comparison of the floodplain elevations to an on-the-ground topographic survey by a registered design professional.

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THIS FORM IS NOT A PERMIT FOR DEVELOPMENT. For information about development permitting, call the City of Austin Development Assistance Center at 512-974-6370. THIS FORM IS NOT A SUBSTITUTE FOR FEMA FORM 81-93, STANDARD FLOOD HAZARD DETERMINATION. Private flood hazard determination companies may provide Form 81-93. For more information on the National Flood Insurance Program and how to find a flood insurance agent, please visit <http://www.floodsmart.gov/floodsmart/>



FLOODPLAIN INFORMATION REQUEST FORM

Tax Parcel ID: 0205070310		Date Processed: 04/08/2019	
Property Address: 810 LYDIA ST			
FEMA Flood Insurance Information:		City of Austin Regulatory Information:	
Flood Zone*: X		25-Year Flood Elevation**: N/A	
Community Number: 480624		100-Year Flood Elevation**: N/A	
Panel Number: 48453C0465J		All elevations are in feet above mean sea level; Datum for all elevations is NAVD88.	
Effective Date: 1/6/2016			
FEMA 100-Year Elevation*: N/A			
FEMA 500-Year Elevation*: N/A			

Additional Questions? Please contact the Floodplain Office

Phone Hotline: 512-974-2843

Fax: 512-974-3584

E-mail: floodpro@austintexas.gov

Mailing Address: Attention: Floodplain Office, Watershed Protection Department-12th Floor, PO BOX 1088
Austin, TX 78767-1088

- * The flood zone determination is based solely on a graphical interpretation of the FEMA Flood Insurance Rate Map (FIRM). Parcels with flood zones **A**, **AE**, **AO**, or **AH** are located or partially located within the FEMA Special Flood Hazard Area designated 1% annual chance flood hazard (100-year floodplain). Parcels with flood zone **0.2% annual chance flood hazard** (500-year floodplain) are located or partially located within the shaded zone X portion of the FIRM. Parcels with flood zone **X Protected by Levee** are located within in an area protected by a levee from the 1% annual chance flood hazard. Parcels with flood zone **X** are located outside the 0.2% annual chance flood hazard. The 1% annual chance flood hazard is the base flood and is used to determine the base flood elevation (BFE) for flood insurance purposes. BFEs must be determined using the flood profiles contained in the effective Flood Insurance Study (FIS). The FEMA 1% annual chance floodplains *may differ* from the City of Austin regulatory floodplains.
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FLOODPLAIN INFORMATION REQUEST FORM

Tax Parcel ID: 0205070310	Date Processed: 04/08/2019
Property Address: 1113 E 9TH ST	
FEMA Flood Insurance Information:	City of Austin Regulatory Information:
Flood Zone*: X	25-Year Flood Elevation**: N/A
Community Number: 480624	100-Year Flood Elevation**: N/A
Panel Number: 48453C0465J	All elevations are in feet above mean sea level; Datum for all elevations is NAVD88.
Effective Date: 1/6/2016	
FEMA 100-Year Elevation*: N/A	
FEMA 500-Year Elevation*: N/A	

Additional Questions? Please contact the Floodplain Office

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ATLAS 14 QUICK REFERENCE SHEET

What is Atlas 14?

The National Weather Service, in partnership with many other federal, state, and local agencies, is in the process of reassessing historic rainfall intensities for Texas with a study called Atlas 14. Rainfall intensities tell us the likelihood of rainfall events of different sizes. Rainfall intensities are used by FEMA and local communities to determine flood risk and to make floodplain maps. Rainfall intensities for the State of Texas have not been assessed since 1994. Atlas 14 is an update of this data meant to incorporate almost a quarter century of rainfall data collected statewide since the last study, up to and including Hurricane Harvey. The graphic to the right indicates in green the areas of Texas where rainfall intensities are increasing.

How Does Atlas 14 Affect Austin?

The Atlas 14 draft study shows the Austin area to be one of the most significantly impacted areas in the State of Texas. In general, this means that, in Austin, what had been considered a 500-year rainfall is in fact a 100-year rainfall. This indicates that many homes and businesses in Austin may be expected to flood more frequently than had been previously thought. However, only 9% of the land area in Austin is projected to be in the new 100-year floodplain.

How Is the City of Austin Responding?

The **Watershed Protection Department** is acting quickly to respond to this more accurate assessment of flood risk. It is critical that we continue to ensure that future development is built to be sufficiently resilient to protect lives and properties of our residents. To that end, we have initiated a code amendment process to adopt this new rainfall information as well as other changes meant to enable properties to redevelop in a safer fashion.

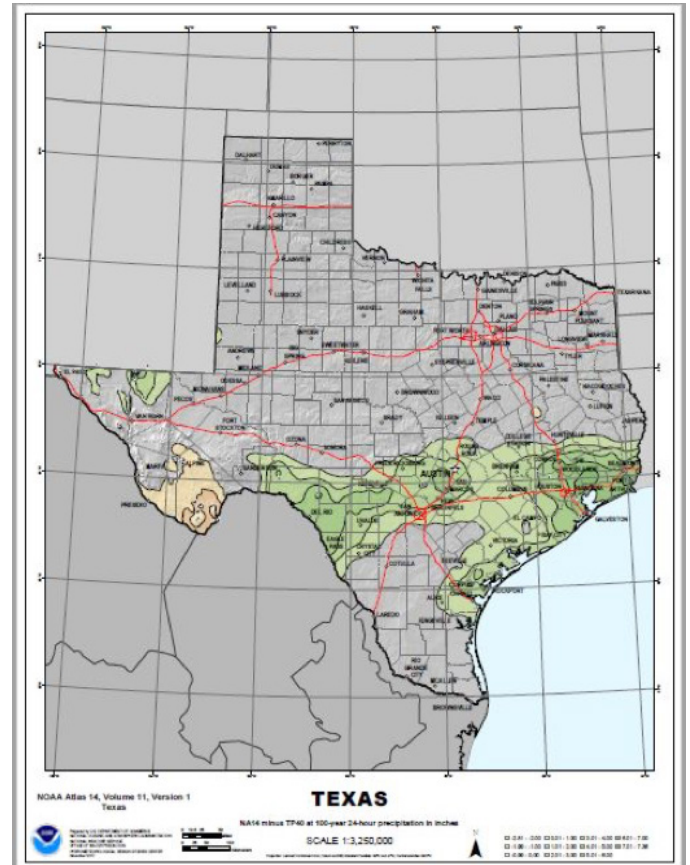
How Do I Get More Information?

Website: www.AustinTexas.gov/Atlas14

Email: Atlas14@AustinTexas.gov



MAP CHANGES TO RAINFALL INTENSITY



IMPACTS TO HOMEOWNERS

How does this affect my property?

Visit our website www.austintexas.gov/atlas14 to access maps of floodplain changes in Austin.

Do I need to buy flood insurance?

While FEMA flood insurance rate maps will not be immediately affected, property owners shown in the 500-year floodplain on the current FEMA maps should consider purchasing flood insurance as soon as possible to best protect their property.

How does this impact development regulations?

Properties located in the City's regulatory floodplain are subject to additional development restrictions. Please visit www.austintexas.gov/floodplainrules to learn more.

Attachment 11

Section 106 of the National Historic Preservation Act
36 CFR 800 "Protection of Historic Properties"

SHPO Request from City of Austin
SHPO Response – Adverse Effect (809 San Marcos Only)

List of Tribes to Consult
Letters to Tribes
Tribal Responses to Request

Memorandum of Agreement Among the City of Austin, the Guadalupe Neighborhood Development Corporation, and the Texas State Historic Preservation Officer

RHDA-OHDA Infill Project #1
(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702



City of Austin

P.O. Box 1088, Austin, TX 78767-1088
www.cityofaustin.org/housing

April 19, 2019

Mark Wolfe
State Historic Preservation Officer
Texas Historical Commission
P.O. Box 12276
Austin, Texas 78711-2276

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

Dear Mr. Wolfe:

The City of Austin's Austin Housing Finance Corporation (AHFC) received a proposal for the activity above. AHFC proposes to assist Guadalupe Neighborhood Development Corporation ("GNDC"), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to build a 2-bedroom ADU rental property restricted for households at 50% MFI or below. The existing 3-bedroom home at 810 Lydia will become a restricted rental unit for a household with an income at or below 80% of the Austin MFI.

The required attachments are included. Should you need additional information, please call me at (512) 974-3121

Sincerely,

Dawn Perkins, MA
Business Process Specialist
Neighborhood Housing and Community Development Department
P.O. Box 1088
Austin, Texas 78767
512-974-6001

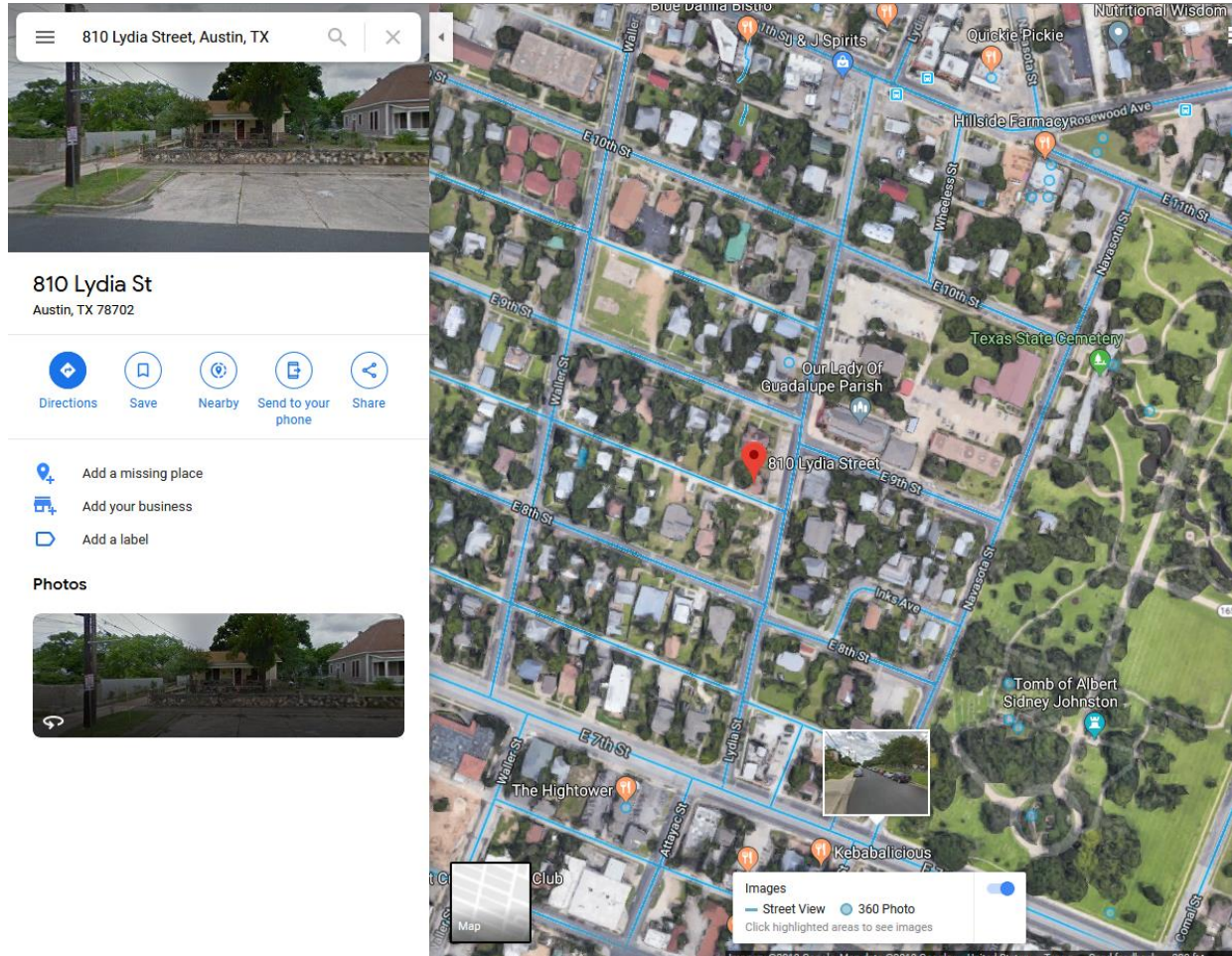
810 Lydia Street, Austin, TX 78702

1. Project Work Description

At 810 Lydia Street, Guadalupe Neighborhood Development Corporation proposes building a 2-bedroom ADU rental property restricted for households at 50% MFI or below. The existing 3-bedroom home at 810 Lydia will become a restricted rental unit for a household with an income at or below 80% of the Austin MFI.

810 Lydia Street, Austin, TX 78702

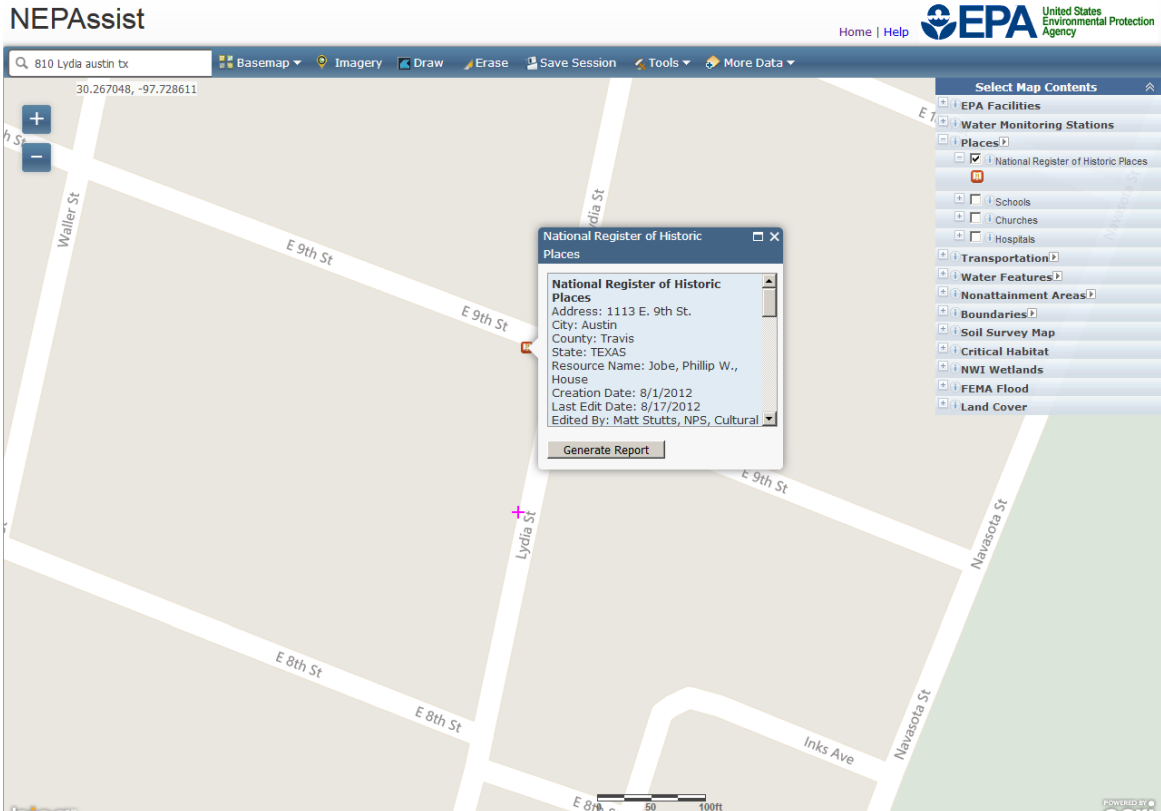
2. Map



810 Lydia St, Austin, TX 78702

3. National Register of Historic Places - NEPAassist

The Jobe House is located 152.7 Feet away from 810 Lydia St, but 810 Lydia St is not listed in any registry as historic.



National Register of Historic Places

Address: 1113 E. 9th St.

City: Austin

County: Travis

State: TEXAS

Resource Name: Jobe, Phillip W., House

Creation Date: 8/1/2012

Last Edit Date: 8/17/2012

Edited By: Matt Stutts, NPS, Cultural Resources GIS

Originating Institution: National Register of Historic Places -- National Park Service

Use Constraint: Extant status and datum information for resource not recorded by source; coordinate pairs used to generate points not checked for accuracy by source

810 Lydia St, Austin, TX 78702

4. Photographs



#1 Front of House, Facing East



#2 Side of House, Facing East



#3 Back of House, Facing North

Photograph Legend



810 Lydia St, Austin, TX 78702

5. Area of Potential Effect

The area for potential effect is located on Lydia Street, between E 8th and 9th Street, and includes the entire lot of 810 Lydia Street.

NEPAssist

Home | Help

United States Environmental Protection Agency

810 Lydia austin tx

Basemap Imagery Draw Erase Save Session Tools More Data

Select Map Contents

- EPA Facilities
- Water Monitoring Stations
- Places
 - National Register of Historic Places
- Schools
- Churches
- Hospitals
- Transportation
 - Airport Points
 - Airport Polygons
- Railroads
- Water Features
- Nonattainment Areas
- Boundaries
- Soil Survey Map
- Critical Habitat
- NWI Wetlands
- FEMA Flood
- Land Cover

Project Details

Name: Area of Potential Effect

Description: Area 0.00 sq. miles

Buffer: 0 mi Add to Map

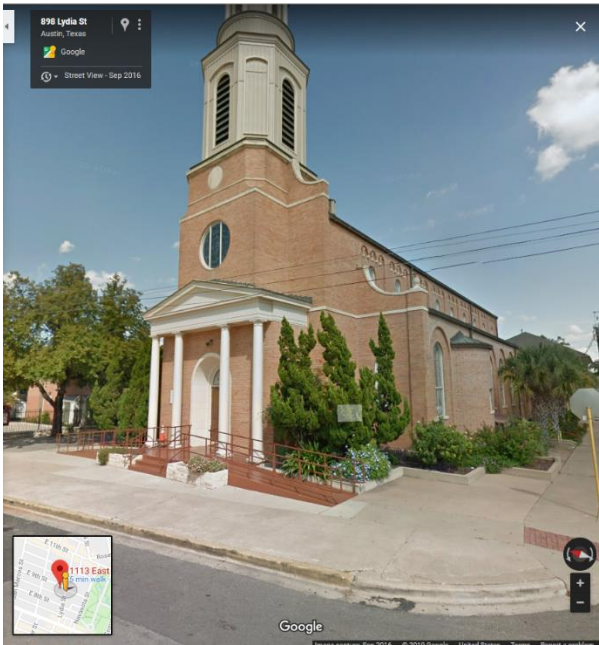
NEPAssist Report Delete

EnviroMapper

POWERED BY esri

EPA OEI | EPA OEI, OFA | TX Orthoimagery Program, DigitalGlobe, Microsoft

Surrounding Homes and Structures – These WILL NOT be Affected by Project



810 Lydia St, Austin, TX 78702

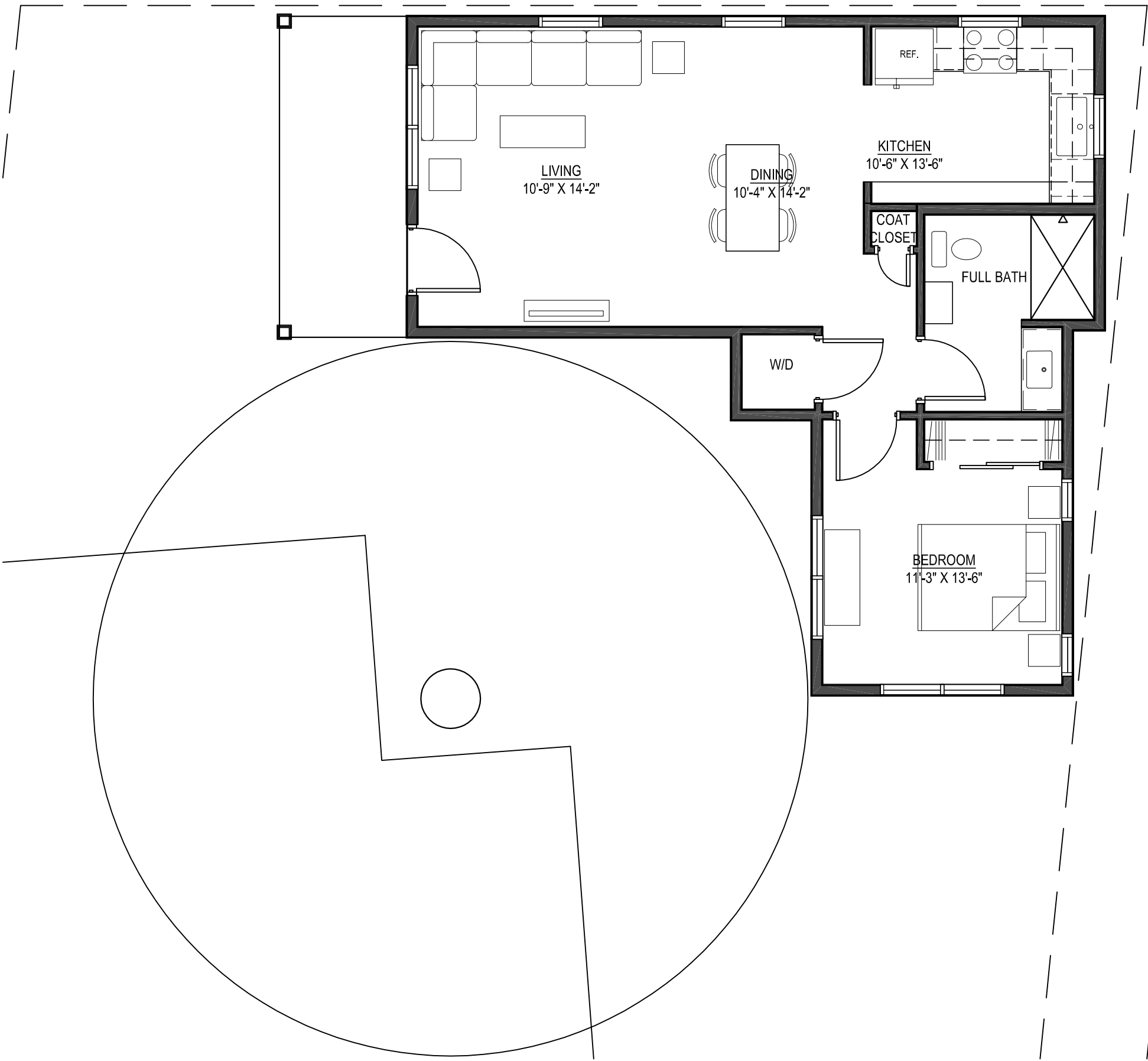
6 & 7. Determination of Eligibility and Effect

According to TCAD, the structure at 810 Lydia Street was built in 1954. At one point, there was a barn on the property with a milk cow, though it no longer exists. A house known as the Jobe House, located at 1113 East 9th Street and built in the 1890s, is located next to 810 Lydia. No other historic properties in the Area of Potential Effect. A professional was not involved in completing the form and attachments, but we anticipate that there will be no Adverse Effect on historic properties.

Consulting Parties/Public Notification

The tribes have been invited to consult on this project. On April 19, 2019, after utilizing the Tribal Directory Assessment Tool, letters were sent to eleven tribal representatives. Please see attached spread list of contacts and an example of the letter sent to the tribes.

Tribal Name	Date Emailed	First Name	Last Name	Title
Coushatta Tribe of Louisiana	4/19/2019	Linda	Langley	THPO
Coushatta Tribe of Louisiana	4/19/2019	David	Sickey	Chairman
Comanche Nation, Oklahoma	4/19/2019	Martina	Callahan	THPO
Comanche Nation, Oklahoma	4/19/2019	William	Nelson	Chairman
Apache Tribe of Oklahoma	4/19/2019	Lyman	Guy	Chairman
Alabama-Coushatta Tribe of Texas	4/19/2019	Bryant	Celestine	THPO
Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma	4/19/2019	Terri	Parton	President
Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma	4/19/2019	Gary	McAdams	THPO
Alabama-Coushatta Tribe of Texas	4/19/2019	Nita	Battise	Chairperson
Tonkawa Tribe of Indians of Oklahoma	4/19/2019	Lauren	Norman-Brown	THPO
Tonkawa Tribe of Indians of Oklahoma	4/19/2019	Russell	Martin	President





City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 19, 2019

Bryant Celestine, THPO
Alabama-Coushatta Tribe of Texas
571 State Park Road 56
Anadarko, OK 73005

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

The City of Austin’s Austin Housing Finance Corporation (AHFC) received a proposal for the activity below. AHFC proposes to assist Guadalupe Neighborhood Development Corporation (“GNDC”), a non-profit housing development organization with a construction project. GNDC is requesting funds to build a 2-bedroom ADU rental property restricted for households at 50% MFI or below.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

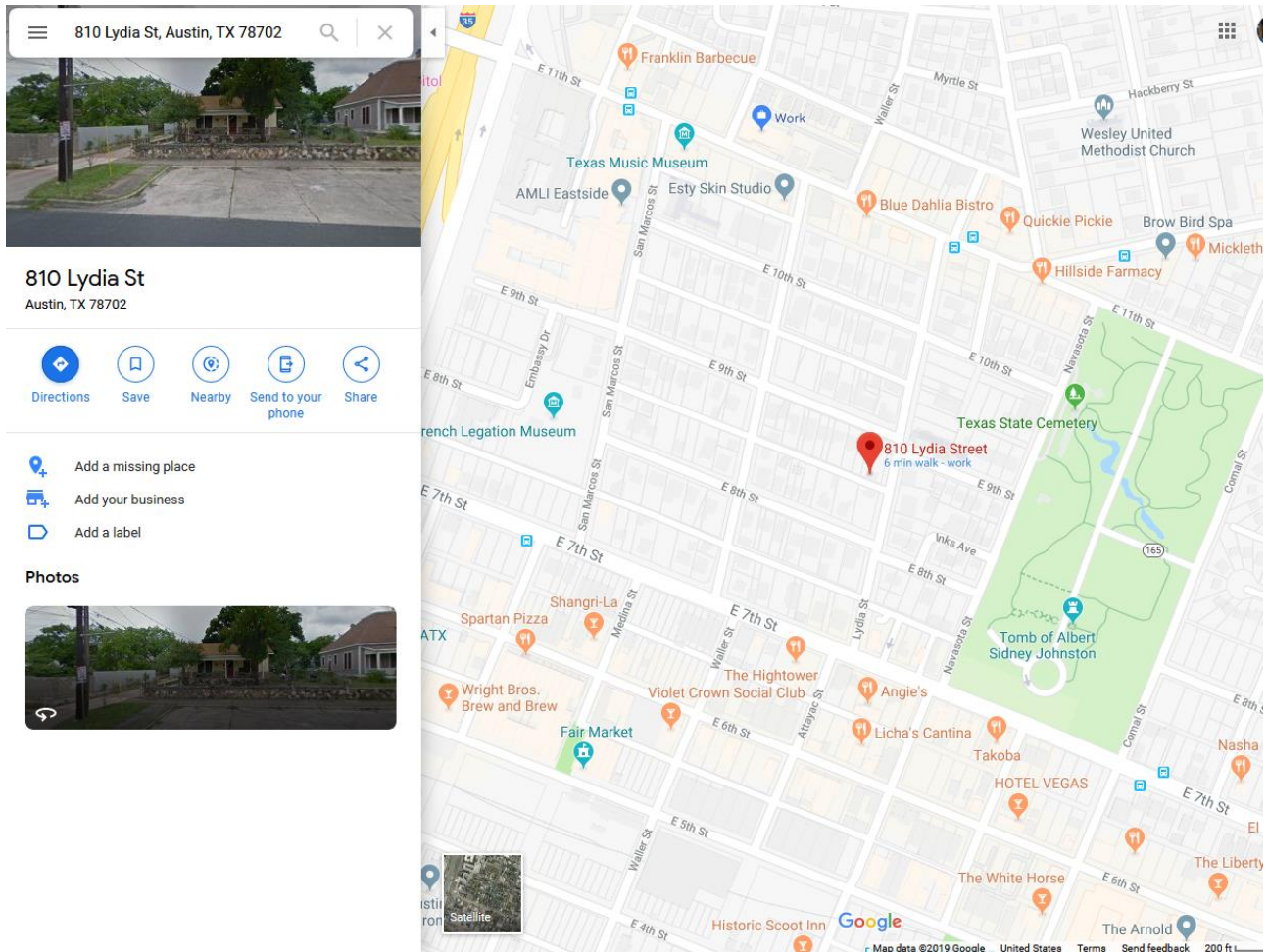
Phone: (512) 974-6001

E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map

Google Map – 810 Lydia, Austin TX 78702



Re: Project Review under Section 106 of the National Historic Preservation Act and/or the Antiquities Code of Texas

201907841

New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, TX 78702

Dear Dawn Perkins:

Thank you for your submittal regarding the above-referenced project. This response represents the comments of the State Historic Preservation Officer, the Executive Director of the Texas Historical Commission (THC), pursuant to review under Section 106 of the National Historic Preservation Act.

The review staff led by Tiffany Osburn, Charles Peveto and Elizabeth Brummett has completed its review and has made the following determinations based on the information submitted for review:

Above-Ground Resources

- Property/properties are eligible for listing or already listed in the National Register of Historic Places.
- No adverse effects on historic properties.

Archeology Comments

- No historic properties present or affected. However, if buried cultural materials are encountered during construction or disturbance activities, work should cease in the immediate area; work can continue where no cultural materials are present. Please contact the THC's Archeology Division at 512-463-6096 to consult on further actions that may be necessary to protect the cultural remains.

We have the following comments: The house at 810 Lydia Street is contributing to the Robertson/Stuart & Mair Historic District, which is currently under consideration for local historic district designation. Per our evaluation, this district is also eligible for listing in the National Register of Historic Places. The proposed accessory dwelling unit on this parcel meets the Secretary of the Interior's Standards for Rehabilitation and thus will have no adverse effect on historic properties. It is modest in scale, set back from the primary facade of the house, and differentiated yet compatible in terms of its design and materials.

We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. Thank you for your cooperation in this review process, and for your efforts to preserve the irreplaceable heritage of Texas. If you have any questions concerning our review or if we can be of further assistance, please email the following reviewers:

tiffany.osburn@thc.texas.gov, charles.peveto@thc.texas.gov, elizabeth.brummett@thc.texas.gov.

Sincerely,



For Mark Wolfe, State Historic Preservation Officer
Executive Director, Texas Historical Commission

Please do not respond to this email.

Results from Query

Tribal Name	Date Emailed	First Name	Last Name	Title	Street Address	City	State	Zip-Code	Work Phone	Fax Number	Email	THPO	URL	County Name	State Name
Coushatta Tribe of Louisiana	4/19/2019	Linda	Langley	THPO	PO Box 10	Elton	LA	70532	(337) 584-1560	(337) 584-1616	llangley@coushattatribela.org	Y	http://www.coushatta.org	Travis	Texas
Coushatta Tribe of Louisiana	4/19/2019	David	Sickey	Chairman	PO Box 818	Elton	LA	70532	(337) 584-1401	(337) 584-1507	dsickey@coushatta.org	N	http://www.coushatta.org	Travis	Texas
Comanche Nation, Oklahoma	4/19/2019	Martina	Callahan	THPO	6 SW D Avenue	Lawton	OK	73502	(580) 595-9618		martina@comanchenation.com	Y	www.comanchenation.com	Travis	Texas
Comanche Nation, Oklahoma	4/19/2019	William	Nelson	Chairman	PO Box 908	Lawton	OK	73502	(580) 492-3251		williamn@comanchenation.com	N	www.comanchenation.com	Travis	Texas
Apache Tribe of Oklahoma	4/19/2019	Lyman	Guy	Chairman	PO Box 1330	Anadarko	OK	73005	(405) 247-9493	(405) 247-2763	lguy93@hotmail.com	N	http://www.apachetribe.org/	Travis	Texas
Alabama-Coushatta Tribe of Tex	4/19/2019	Bryant	Celestine	THPO	571 State Park Road 56	Livingston	TX	77351	(936) 563-1181	(936) 563-4170	Celestine.Bryant@actribe.org	Y	http://www.alabama-coushatta.org	Travis	Texas
Wichita and Affiliated Tribes (W	4/19/2019	Terri	Parton	President	PO Box 729	Anadarko	OK	73005	(405) 247-2425	(405) 247-2430	Terri.Parton@wichitatribe.com	N	http://www.wichitatribe.com/	Travis	Texas
Wichita and Affiliated Tribes (W	4/19/2019	Gary	McAdams	THPO	PO Box 729	Anadarko	OK	73005	(405) 247-2425	(405) 247-2430	gary.mcadams@wichitatribe.com	Y	http://www.wichitatribe.com/	Travis	Texas
Alabama-Coushatta Tribe of Tex	4/19/2019	Nita	Battise	Chairperson	571 State Park Road 56	Livingston	TX	77351	(936) 563-1100	(936) 563-4170	tcnbattise@actribe.org	N	http://www.alabama-coushatta.org	Travis	Texas
Tonkawa Tribe of Indians of Okl.	4/19/2019	Lauren	Norman-Brown	THPO	1 Rush Buffalo Road	Tonkawa	OK	74653	(580) 628-2561	(580) 628-3378	jbrown@tonkawatribe.com	Y	http://www.tonkawatribe.com	Travis	Texas
Tonkawa Tribe of Indians of Okl.	4/19/2019	Russell	Martin	President	1 Rush Buffalo Road	Tonkawa	OK	74653	(580) 628-2561	(580) 628-3378	rmartin@tonkawatribe.com	N	http://www.tonkawatribe.com	Travis	Texas



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

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April 19, 2019

Bryant Celestine, THPO
Alabama-Coushatta Tribe of Texas
571 State Park Road 56
Anadarko, OK 73005

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

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The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

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More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

Phone: (512) 974-6001


E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map

Google Map – 810 Lydia, Austin TX 78702

810 Lydia St, Austin, TX 78702



810 Lydia St
Austin, TX 78702

Directions

Save

Nearby

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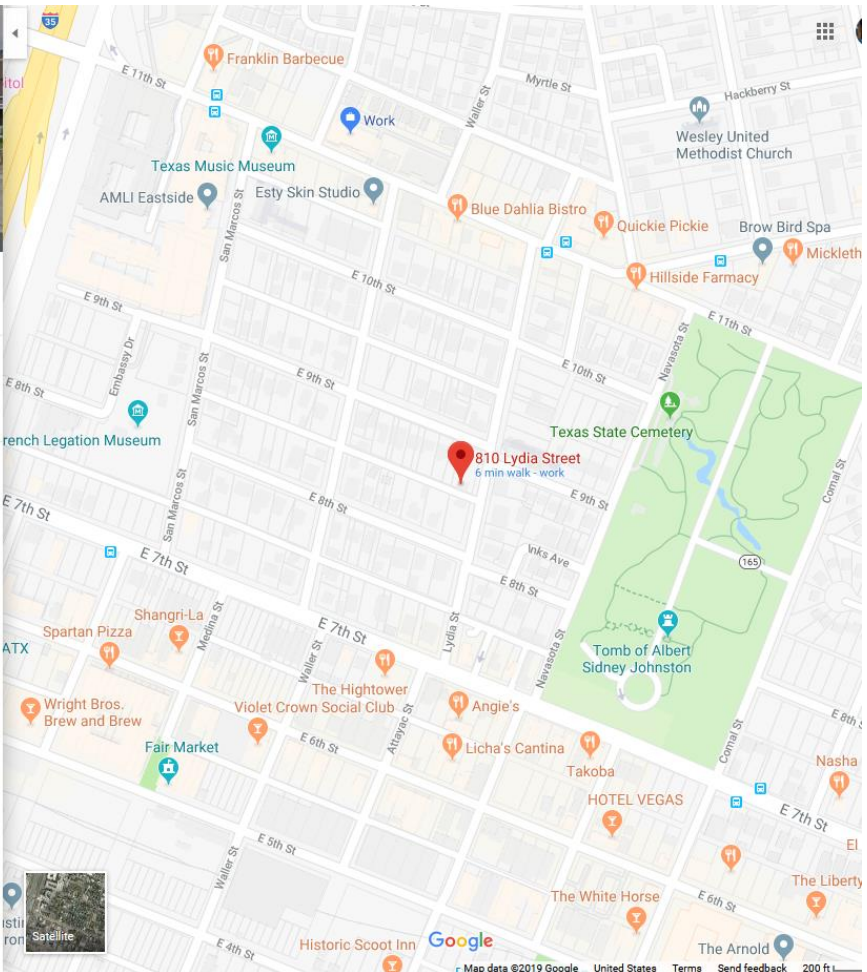

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City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 19, 2019

David Sickey, Chairman
Coushatta Tribe of Louisiana
PO Box 818
Elton, LA 70532

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

To Whom It May Concern:

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Dawn A. Perkins

Business Process Specialist

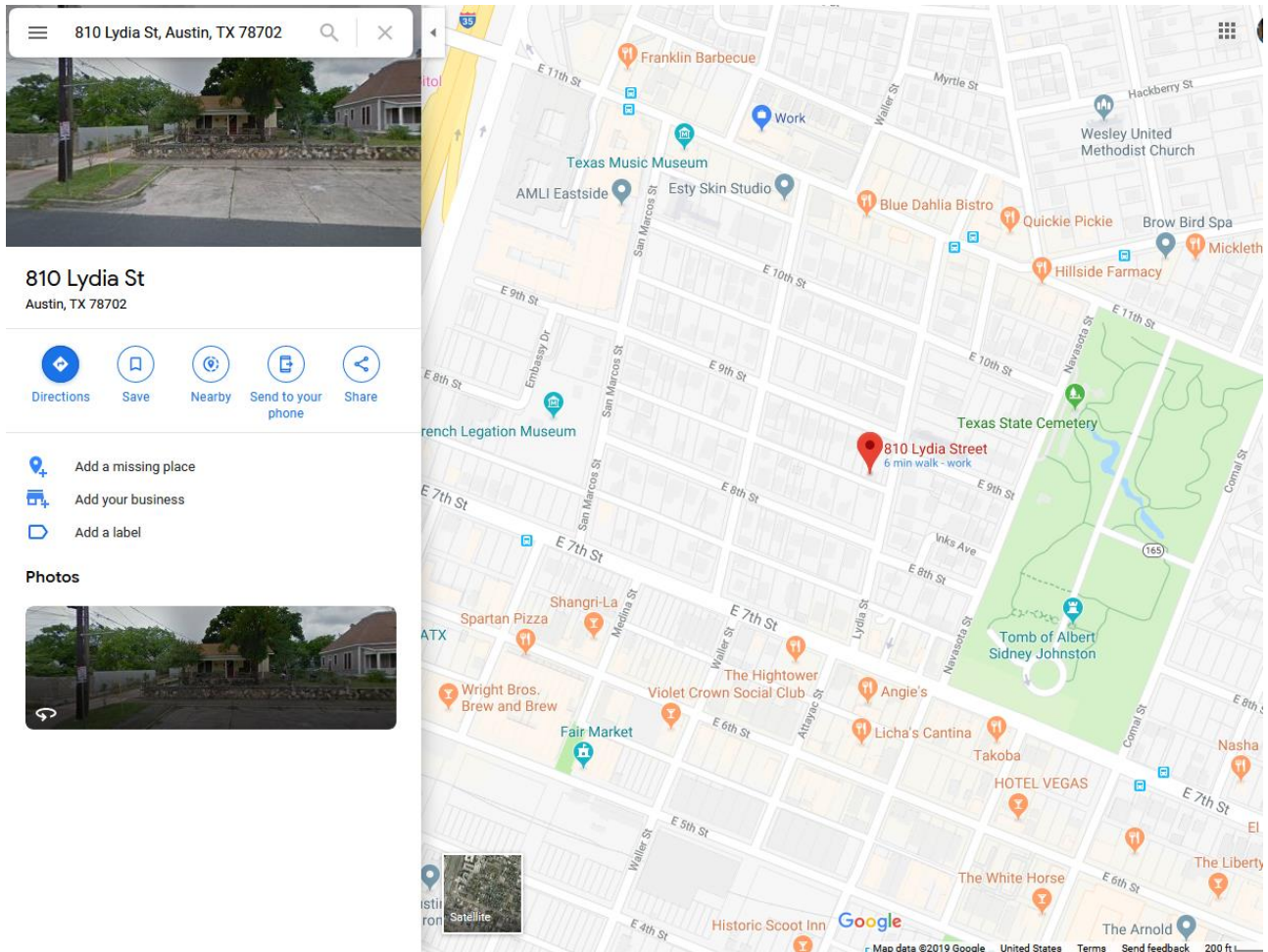
Phone: (512) 974-6001

E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

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Google Map – 810 Lydia, Austin TX 78702





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April 19, 2019

Gary McAdams, THPO

Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma

PO Box 729

Anadarko, OK 73005

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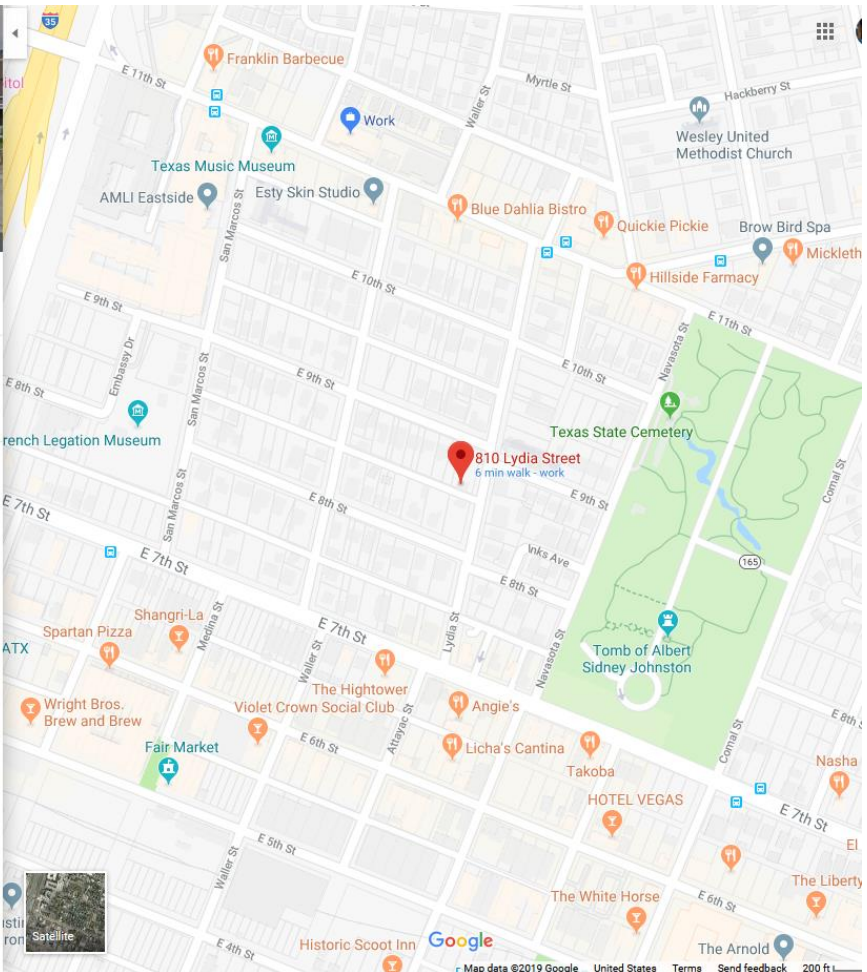

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April 19, 2019

Lauren Norman-Brown, THPO
Tonkawa Tribe of Indians of Oklahoma
1 Rush Buffalo Road
Tonkawa, OK 74653

RE: New Construction of 2-bedroom ADU rental property
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Austin, Travis County, Texas 78702

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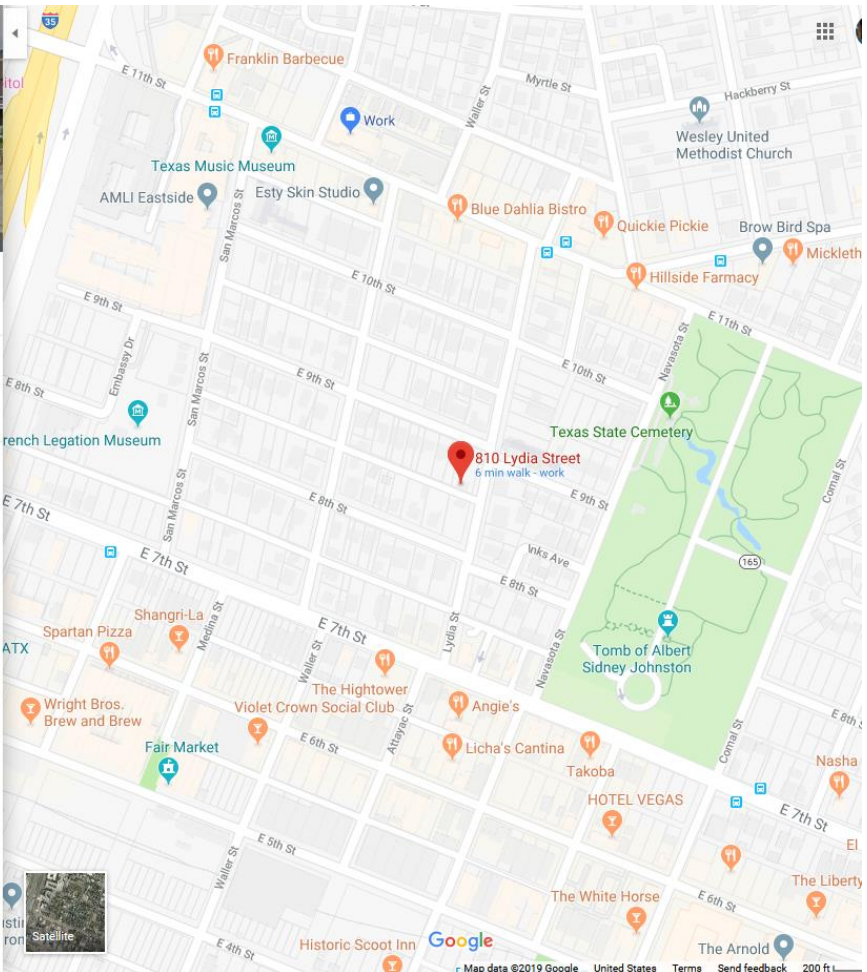

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April 19, 2019

Linda Langley, THPO
Coushatta Tribe of Louisiana
PO Box 10
Elton, LA 70532

RE: New Construction of 2-bedroom ADU rental property
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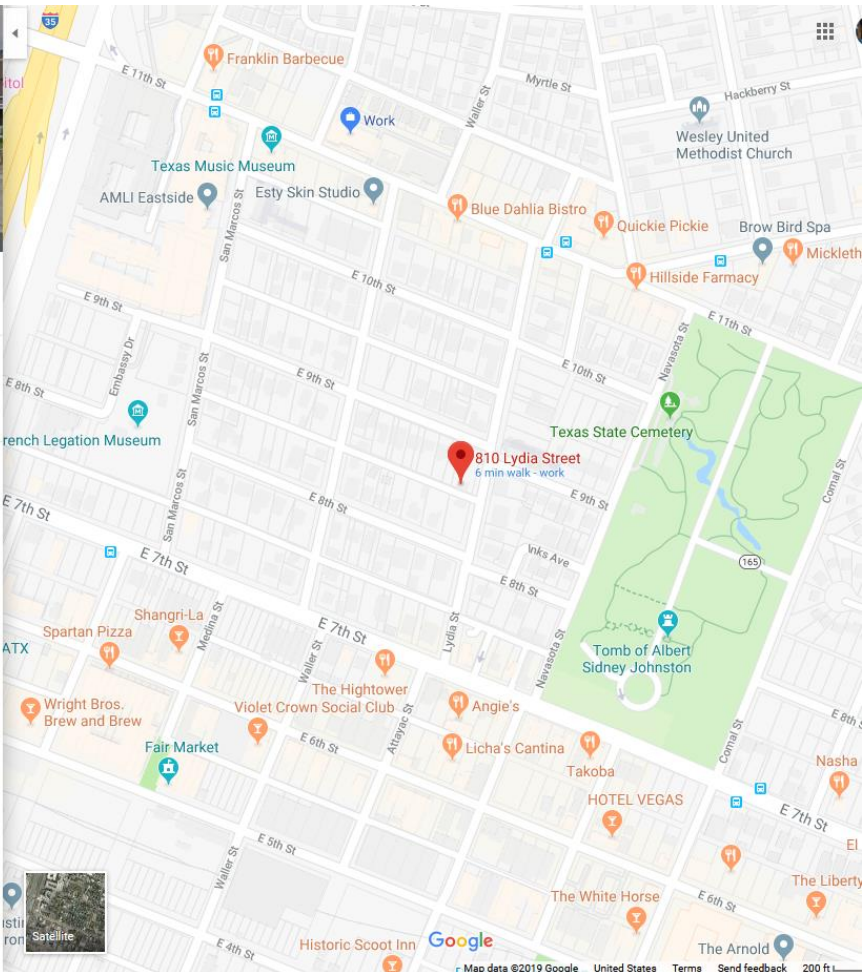

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April 19, 2019

Lyman Guy, Chairman
Apache Tribe of Oklahoma
PO Box 1330
Anadarko, OK 73005

RE: New Construction of 2-bedroom ADU rental property
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Austin, Travis County, Texas 78702

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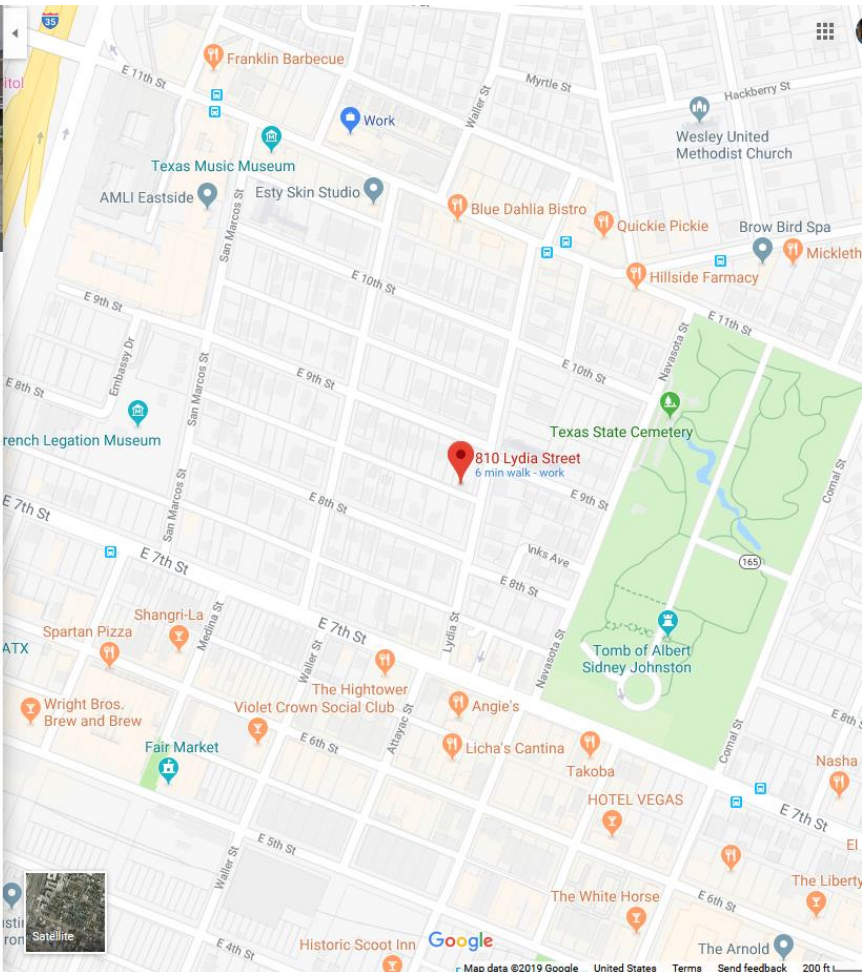

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April 19, 2019

Martina Callahan, THPO
Comanche Nation, Oklahoma
6 SW D Avenue
Lawton, OK 73502

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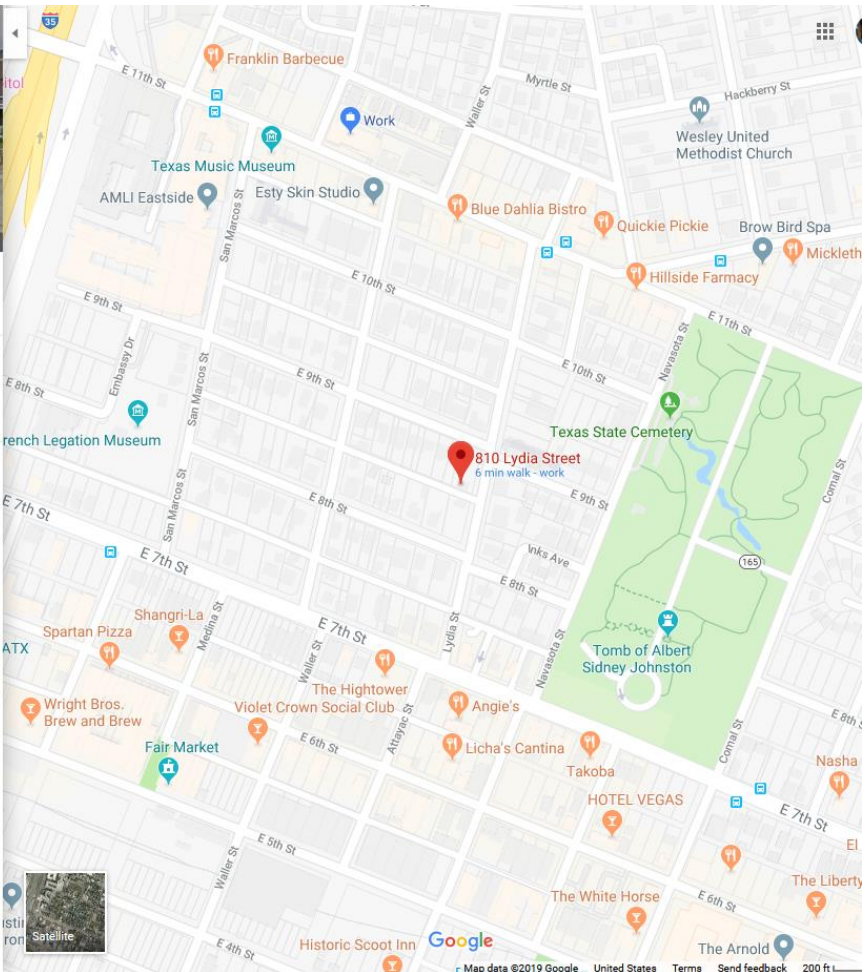

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November 30, 2018

Nita Battise, Chairperson
Alabama-Coushatta Tribe of Texas
571 State Park Road 56
Livingston, TX 77351

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

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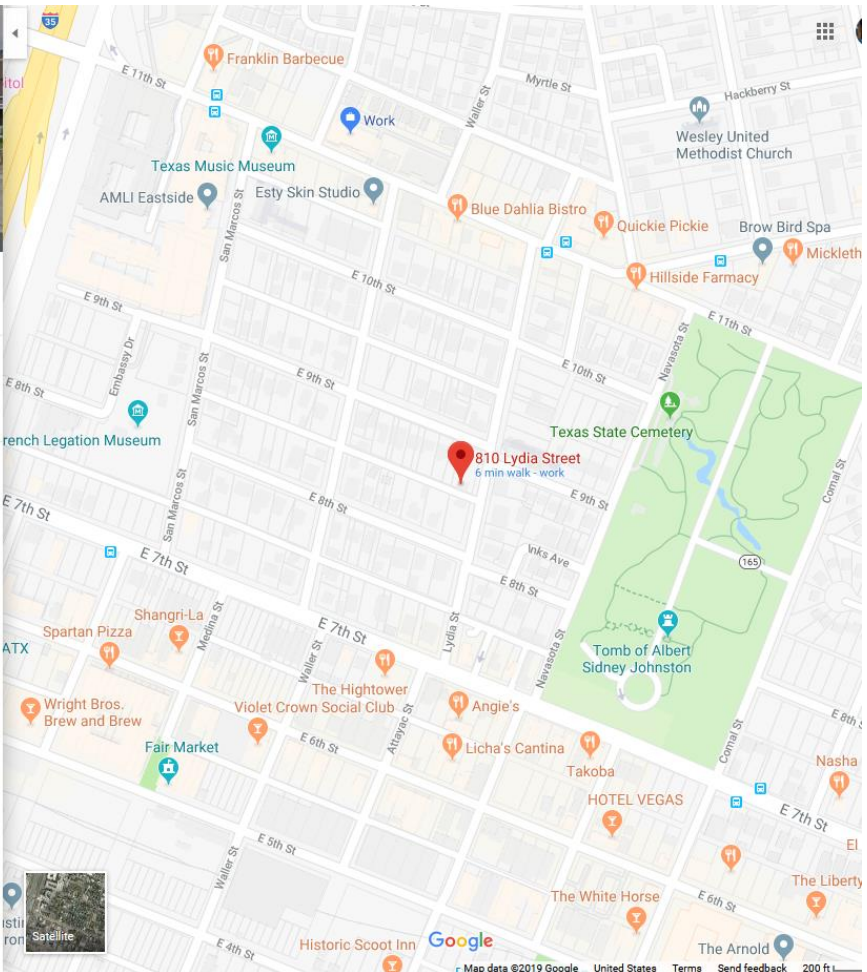

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April 19, 2019

Russell Martin, President
Tonkawa Tribe of Indians of Oklahoma
1 Rush Buffalo Road
Tonkawa, OK 74653

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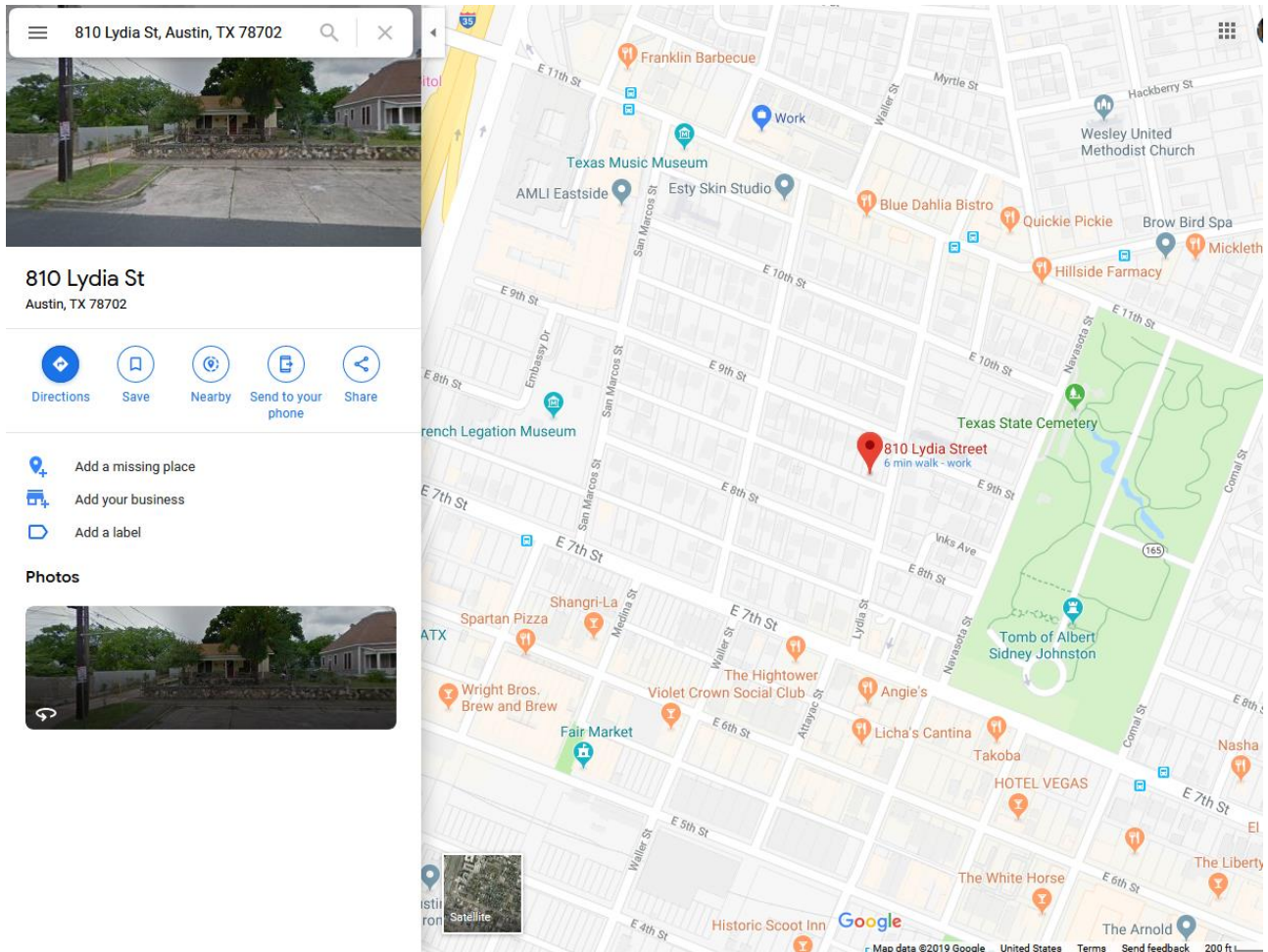
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April 19, 2019

Terri Parton, President

Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma

PO Box 729

Anadarko, OK 73005

RE: New Construction of 2-bedroom ADU rental property

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If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

Phone: (512) 974-6001


E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map

Google Map – 810 Lydia, Austin TX 78702

810 Lydia St, Austin, TX 78702



810 Lydia St
Austin, TX 78702

Directions

Save

Nearby

Send to your phone


Share

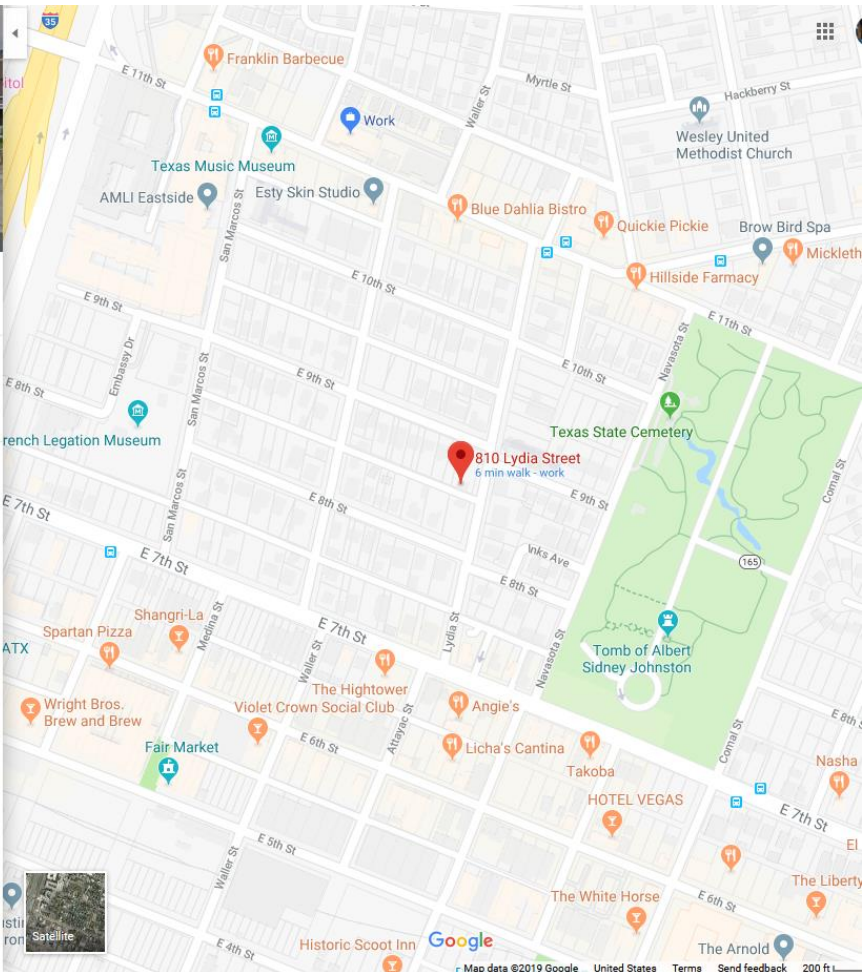

Add a missing place

Add your business

Add a label

Photos





Map data ©2019 Google United States Terms Send feedback 200 ft



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 19, 2019

William Nelson, Chairman
Comanche Nation, Oklahoma
PO Box 908
Lawton, OK 73502

RE: New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

The City of Austin’s Austin Housing Finance Corporation (AHFC) received a proposal for the activity below. AHFC proposes to assist Guadalupe Neighborhood Development Corporation (“GNDC”), a non-profit housing development organization with a construction project. GNDC is requesting funds to build a 2-bedroom ADU rental property restricted for households at 50% MFI or below.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

Phone: (512) 974-6001


E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map

Google Map – 810 Lydia, Austin TX 78702

810 Lydia St, Austin, TX 78702



810 Lydia St
Austin, TX 78702

Directions

Save

Nearby

Send to your phone


Share

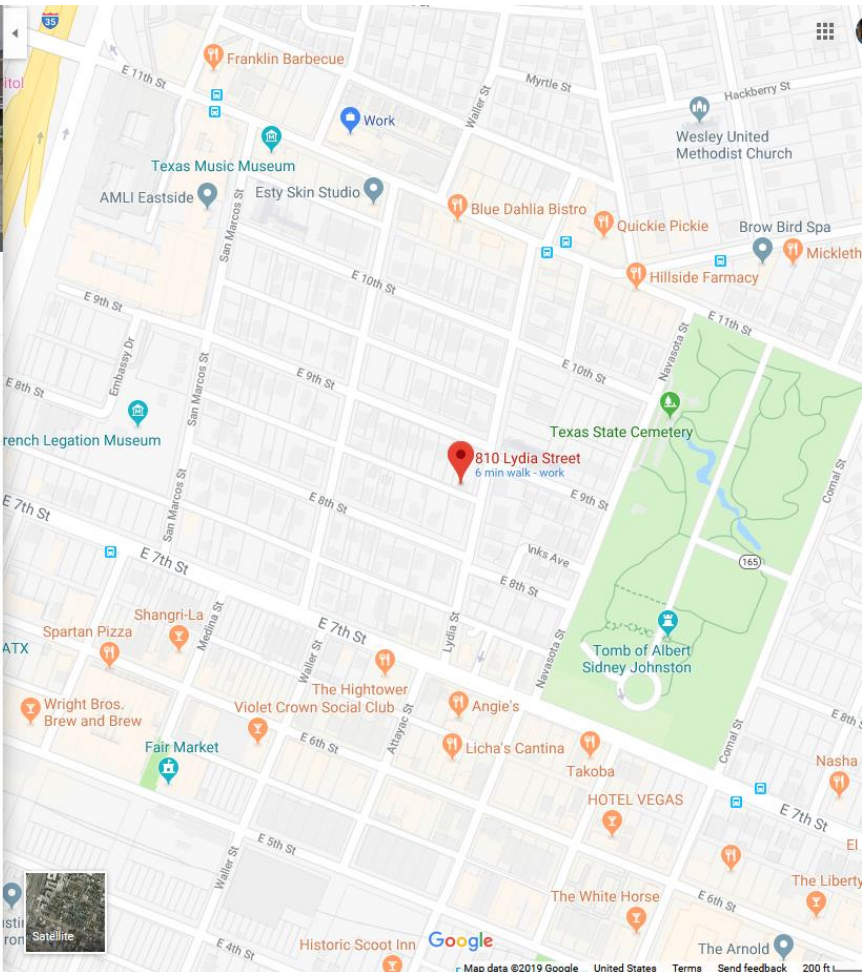

Add a missing place

Add your business

Add a label

Photos







TONKAWA TRIBE OF OKLAHOMA
NATIVE AMERICAN GRAVES PROTECTION
AND REPATRIATION ACT (NAGPRA)

1 RUSH BUFFALO ROAD - PHONE (580) 628-2561 - FAX (580) 628-2279
TONKAWA, OKLAHOMA 74653
www.tonkawatribe.com

May 14, 2019

CITY OF AUSTIN

Attn: Ms. Dawn A. Perkins, Business Process Specialist
P.O. Box 1088
Austin, TX 78767

Re: Section 106 Request for Consultation: HUD HOME New Construction-810 Lydia Street,
Austin, Travis County, Texas

Dear Ms. Perkins:

On behalf of President Russell L. Martin and the Tonkawa Tribe of Oklahoma (TTO) in regards to your *Request for Consultation of the Housing and Urban Development (HUD) new construction project located at 810 Lydia Street, Austin, Travis County, Texas 78702; the construction will consist of building a 2-bedroom Accessory Dwelling Unit (ADU) rental property restricted for households at 50% MFI or below.* TTO concurs with the National Register of Historic Places (NRHP) and the Texas Historic Sites Atlas, the project review concludes that no adverse effects would arise from these projects nor are there any historic sites in the vicinity of the Area of Potential Effect (APE); Travis County, Texas. TTO submits the following: The Tonkawa Tribe of Oklahoma has no specifically designated historical, religious and/or cultural significance in the Proposed Project Area;

However if any human remains, funerary objects, or other evidence of historical or cultural significance is inadvertently discovered then the Tonkawa Tribe would certainly be interested in proper disposition thereof.

We appreciate the notification received from your office. The Tonkawa Tribe is willing to work with you and your representatives in any manner to uphold the provisions of NAGPRA to the extent of our capabilities as well as yours. Great success on such a *wonderful project* and to those they will serve.

Respectfully,

Mariah Mahtapene
Tonkawa Tribal TCNS Coordinator

mmmahtapene@tonkawatribe.com



City of Austin

P.O. Box 1088, Austin, TX 78767-1088
www.cityofaustin.org/housing

April 16, 2019

Mark Wolfe
State Historic Preservation Officer
Texas Historical Commission
P.O. Box 12276
Austin, Texas 78711-2276

RE: Remodeled Duplex
The Jobe House, at 1113 East 9th Street
Austin, Travis County, Texas 78702

Dear Mr. Wolfe:

The City of Austin's Austin Housing Finance Corporation (AHFC) received a proposal for the activity above. AHFC proposes to assist Guadalupe Neighborhood Development Corporation ("GNDC"), a non-profit housing development organization with a rehabilitation project. The Jobe House, at 1113 East 9th Street, **will be remodeled into a duplex** by adding one efficiency. Both units will then be restricted as affordable rental units, the efficiency for an extremely low-to-moderate income household at 30% MFI or below, and the Jobe House for a household with income at or below 80% of the MFI. Only private funds will be expended on the main house that is 80% MFI.

The required attachments are included. Should you need additional information, please call me at (512) 974-3121

Sincerely,

Dawn Perkins, MA

Business Process Specialist
Neighborhood Housing and Community Development Department
P.O. Box 1088
Austin, Texas 78767
512-974-6001

The City of Austin is committed to compliance with the American with Disabilities Act and will provide reasonable modifications and equal access to communications upon request.


1113 E 9th St, Austin, TX 78702

Project Work Description

The Jobe House, at 1113 East 9th Street, will be remodeled into a duplex by adding one efficiency. Both units will then be restricted as affordable rental units, the efficiency for an extremely low-to-moderate income household at 30% MFI or below, and the Jobe House for a household with income at or below 80% of the MFI. Only private funds will be expended on the main house that is 80% MFI.

Map of 1113 E 9th St, Austin, TX 78702

1113 E 9th St, Austin, TX 78702



1113 E 9th St

Austin, TX 78702

Directions

Save

Nearby

Send to your phone

Share


778C+MF Austin, Texas

Add a missing place

Add your business

Add a label

Photos



Map of 1113 E 9th St, Austin, TX 78702

1113 East 9th Street

5 min walk - work

Franklin Barbecue

Work

Texas Music Museum

AMLI Eastside

Rhapsody

Blue Dahlia Bistro

Quickie Pickie

Hillside Pharmacy

Wesley United Methodist Church

Brow Bird Spa

Mick

French Legation Museum

Embassy Dr

San Marcos St

E 11th St

E 10th St

E 9th St

E 8th St

E 7th St

E 6th St

E 5th St

E 4th St

Waller St

Myrtle St

Hackberry St

Nevada St

Comal St

Inks Ave

Lydia St

Shangri-La

Spartan Pizza

Wright Bros. Brew and Brew

Fair Market

The Hightower

Violet Crown Social Club

Angie's

Kammok Gear Shop

Licha's Cantina

Takoba

HOTEL VEGAS

The White Horse

The Lib

Tomb of Albert Sidney Johnston

Satellite

Map data ©2019 Google

United States

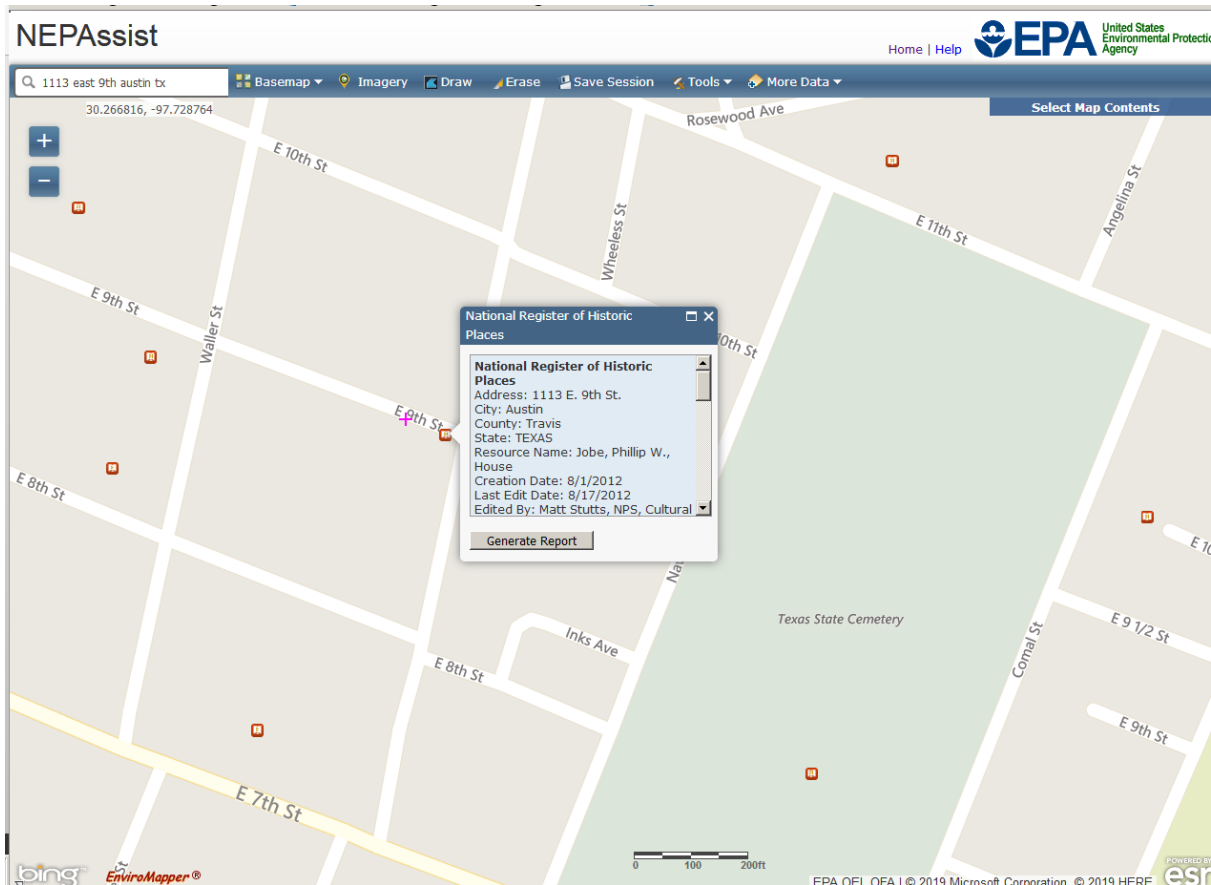
Terms

Send feedback

200 ft

1113 E 9th St, Austin, TX 78702

National Register of Historic Places - NEPAassist



National Register of Historic Places

Address: 1113 E. 9th St.

City: Austin

County: Travis

State: TEXAS

Resource Name: Jobe, Phillip W., House

Creation Date: 8/1/2012

Last Edit Date: 8/17/2012

Edited By: Matt Stutts, NPS, Cultural Resources GIS

Originating Institution: National Register of Historic Places -- National Park Service

Use Constraint: Extant status and datum information for resource not recorded by source; coordinate pairs used to generate points not checked for accuracy by source

1113 E 9th St, Austin, TX 78702

Photographs



#1 Front of House, Facing Southeast



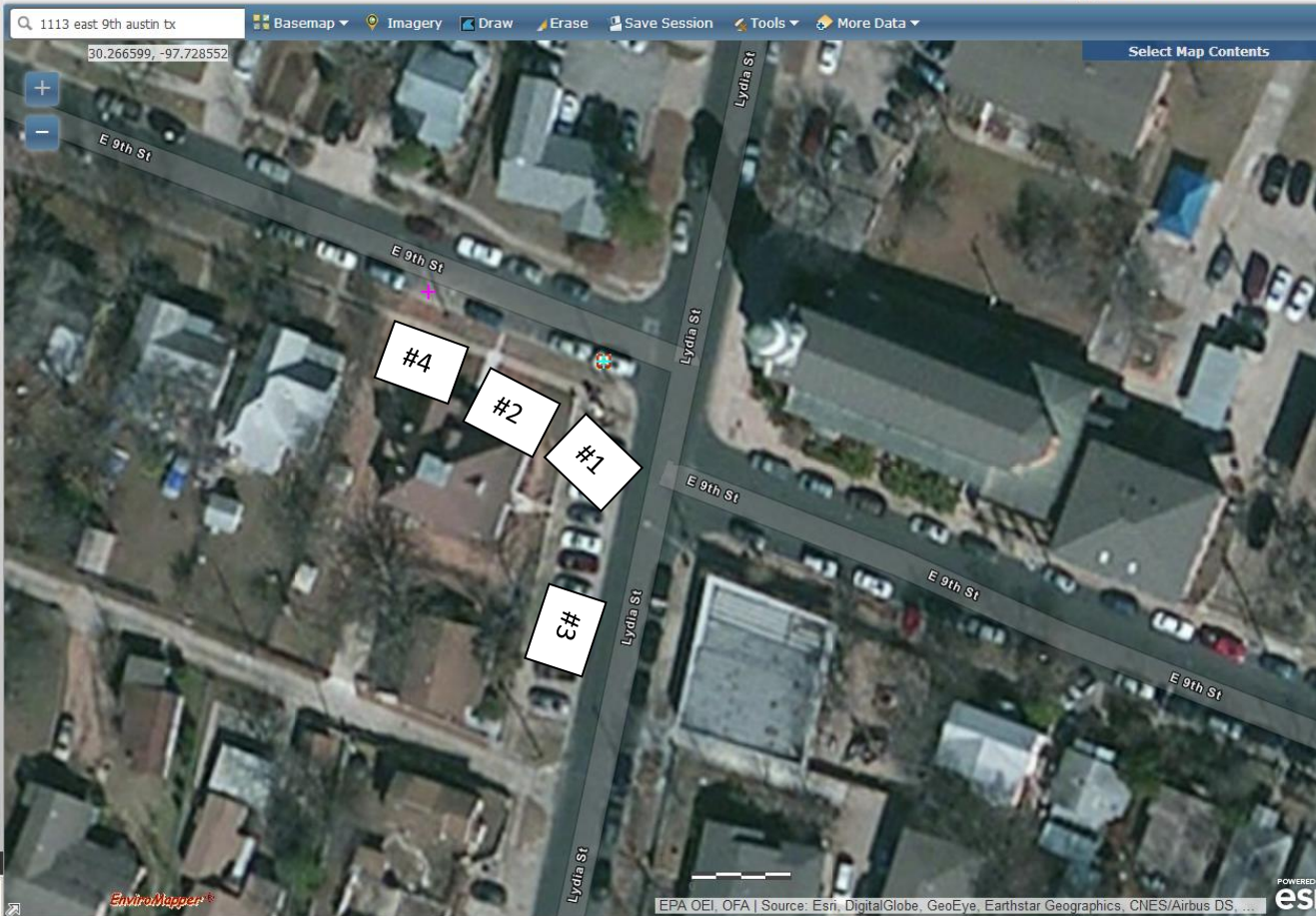
Draw #2 Front of House, Facing Southwest



#3 Side of House, Facing East



#4 Side of House, Facing South



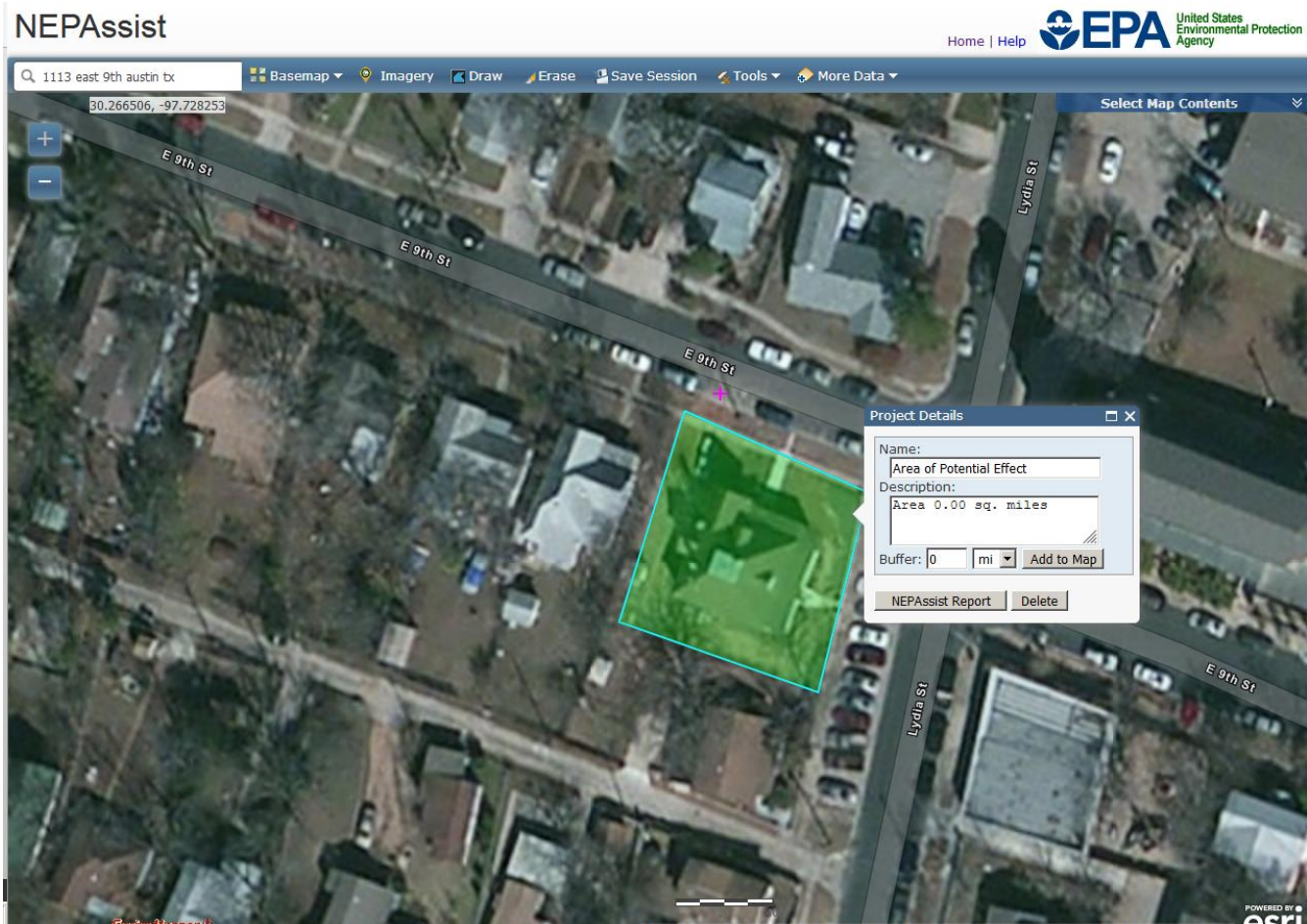
Surrounding Homes and Structures – These WILL NOT be Affected by Project



1113 E 9th St, Austin, TX 78702

Area of Potential Effect

The area for potential effect is located at the corner of East 9th Street and Lydia street and includes the entire lot of 1113 East 9th Street.



1113 E 9th St, Austin, TX 78702

Determination of Eligibility and Effect

A house known as the Jobe House, was built at 1113 East 9th Street in the 1890s. A rear portion of that house was detached and moved to 1111 East 9th Street in the early 20th century. The home can be found on the National Register of Historic Places. No other historic properties in the Area of Potential Effect. A professional was not involved in completing the form and attachments, but we anticipate that there will be no Adverse Effect on historic properties.

TAP PLAN FOR
1113 EAST 9TH ST.
AUSTIN, TEXAS 78702

SUBMITTAL DATE: FEB 13, 2018

RELATED CASES
C14-01-0148
C14-01-0148.004

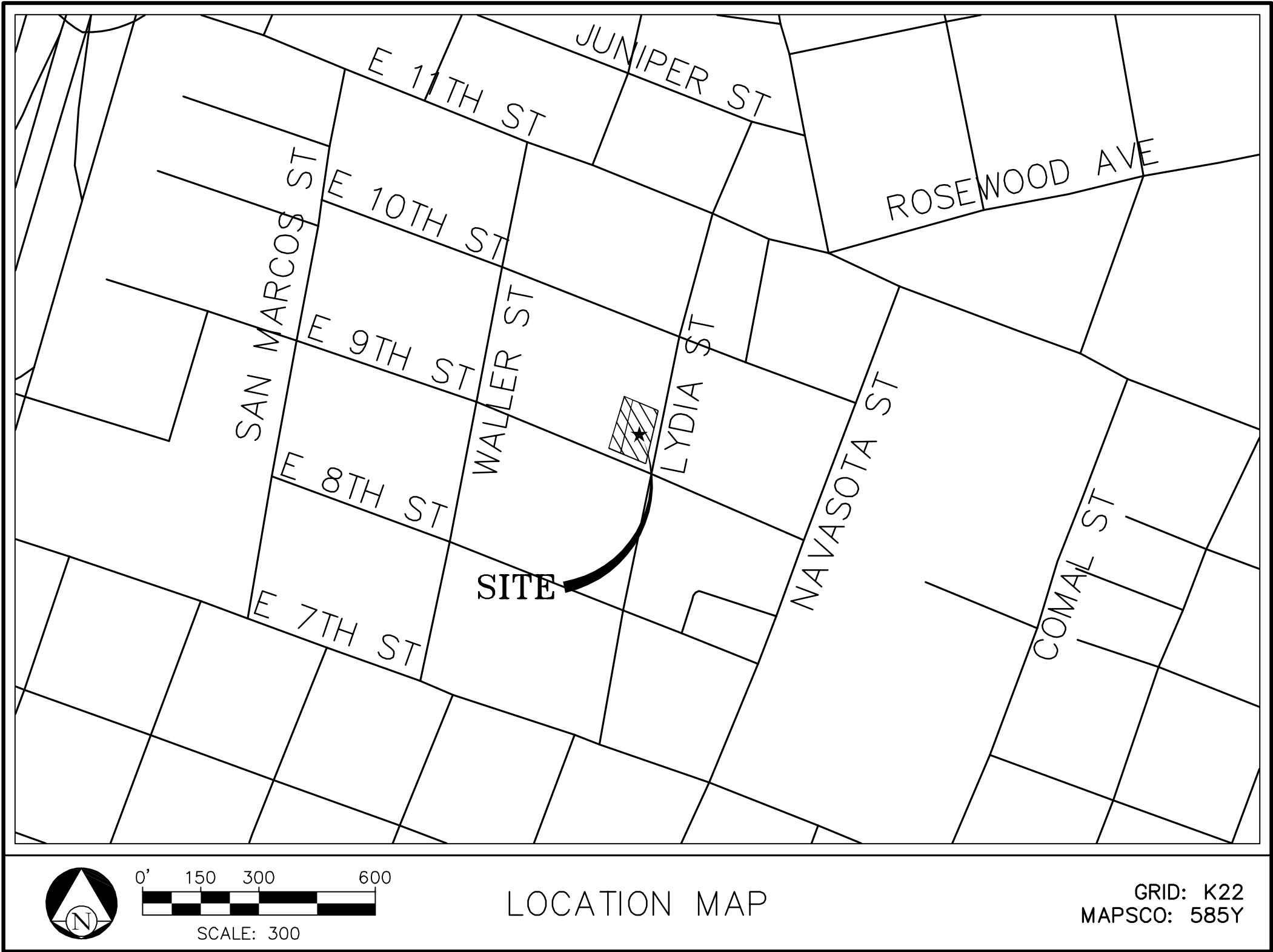
OWNER
GNDC
CONTACT: MARK ROGERS
813 EAST 8TH STREET
AUSTIN, TX 78702
(512) 479-6275

DESIGN TEAM
CIVIL ENGINEERING
CIVILITUDE LLC
1210 ROSEWOOD AVE
AUSTIN, TX 78702
(512) 761-6161

SURVEYOR
HEJL, LEE & ASSOCIATES, INC.
321 ED SCHMIDT BLVD, SUITE 100
HUTTO, TX 78634
(512) 642-3291

LEGAL DESCRIPTION
E 28.2FT OF LOT 5 BLOCK 3 OUTLOT 2 & 3 OF
DIVISION B GEORGE L. ROBERTSON SUBDIVISION AND
LOT 6 BLOCK 3 OUTLOT 2 & 3 DIVISION B GEORGE L.
ROBERTSON SUBDIVISION

PROJECT DESCRIPTION
WATER SYSTEM PRESSURE: CENTRAL NORTH PRESSURE
ZONE (690'-720')
CITY OF AUSTIN WATERSHED: LADY BIRD LAKE AND WALLER
CREEK WATERSHEDS (URBAN)
FIRE PROTECTION DEMAND: 1,000 GPM
STATIC PRESSURE: 78 PSI
TYPE OF CONSTRUCTION: TYPE V-B
EXISTING SINGLE-FAMILY (1113 E. 9TH ST.): 1684 SF



SHEET INDEX

SHEET	TITLE
1.	COVER SHEET
2.	WATER & WASTEWATER TAP PLAN
3.	CIVIL DETAILS (1)
4.	CIVIL DETAILS (2)
5.	AUSTIN WATER GENERAL INFORMATION AND CONSTRUCTION NOTES

NOTES

1. ALL POTABLE WATER SYSTEM COMPONENTS
INSTALLED AFTER JANUARY 4, 2014 SHALL BE
ESSENTIALLY "LEAD FREE" ACCORDING TO US
SAFE DRINKING WATER ACT. EXAMPLES ARE
VALVES (CORPORATION STOPS, CURB STOP AND
PRESSURE REDUCING VALVES), NIPPLE BRUSHINGS
PIPE, FITTINGS, AND BACKFLOW PREVENTERS. FIRE
HYDRANTS, TAPPING SADDLES AND 2-INCHES
AND LARGER GATE VALVES ARE THE ONLY
COMPONENTS EXEMPT FROM THIS REQUIREMENT.
COMPONENT THAT ARE NOT CLEARLY IDENTIFIED
BY THE MANUFACTURER AS MEETING THIS
REQUIREMENT EITHER BY MARKING ON THE
COMPONENT OR ON THE PACKAGING SHALL NOT
BE INSTALLED.

AUSTIN WATER REVIEWED

DATE: 04/20/2018 EXPIRATION DATE: 04/20/2021

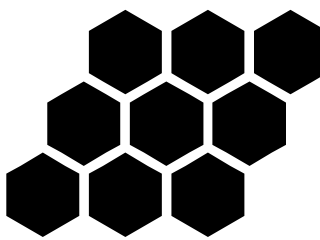
Austin Water Representative: *Kevin Kirk*

SUBMITTED BY



KATIE A. KAM, PE # 125856

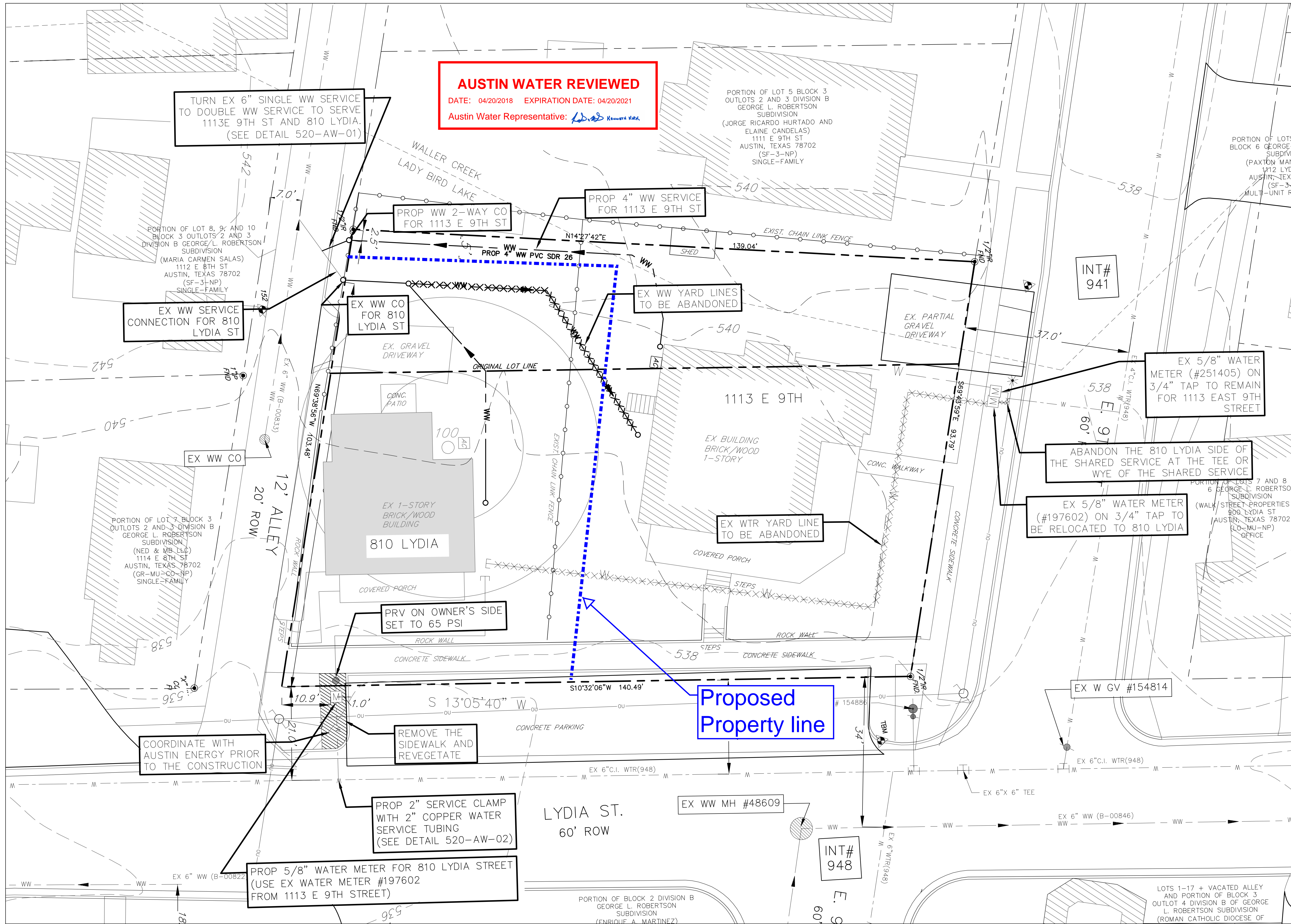
3/30/2018
DATE



CIVILITUDE
ENGINEERS & PLANNERS

FIRM REG# F-12469 1210 ROSEWOOD AVE, AUSTIN, TX 78702
PHONE 512 761 6161 FAX 512 761 6167 INFO@CIVILITUDE.COM

SHEET NO.
1
OF 5



UNIT AREA AND BATHROOM COUNT		
RESIDENTIAL UNIT	AREA	# BATHROOMS
1113 E. 9TH	1,684 SF	1

- EXISTING LEGEND**
- FIRE HYDRANT W/ GATE VALVE
 - WATERLINE W/ GATE VALVE
 - WATERLINE W/ DOUBLE SERVICE
 - WATERLINE W/ SINGLE SERVICE
 - WASTEWATER W/ MANHOLE
 - WASTEWATER W/ CLEANOUT
 - WASTEWATER W/ DOUBLE SERVICE
 - WASTEWATER W/ SINGLE SERVICE
 - STORM SEWER W/ MANHOLE
 - STORM SEWER W/ CURB INLET
 - ELECTRIC LINE
 - GAS LINE
 - GROUND CONTOUR
 - SURVEY CONTROL POINT
 - BENCHMARK
 - TEMPORARY BENCHMARK
 - POWER POLE
 - WATER METER
 - WATER TEE

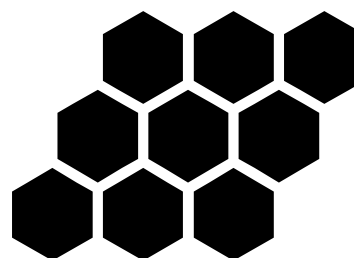
- PROPOSED LEGEND**
- WATERLINE W/ DOUBLE SERVICE
 - WATERLINE W/ SINGLE SERVICE
 - WASTEWATER W/ CLEANOUT
 - WASTEWATER W/ DOUBLE SERVICE
 - WASTEWATER W/ SINGLE SERVICE
 - GROUND CONTOUR

NO.	DATE	REVISIONS

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

JOB HOUSE PROPERTY
1113 EAST 9TH STREET, AUSTIN, TX 78702

TAP PLAN



CIVILITUDE
ENGINEERS & PLANNERS

1210 ROSEWOOD AVENUE
AUSTIN, TX 78702
FIRM REG. NO. F12469

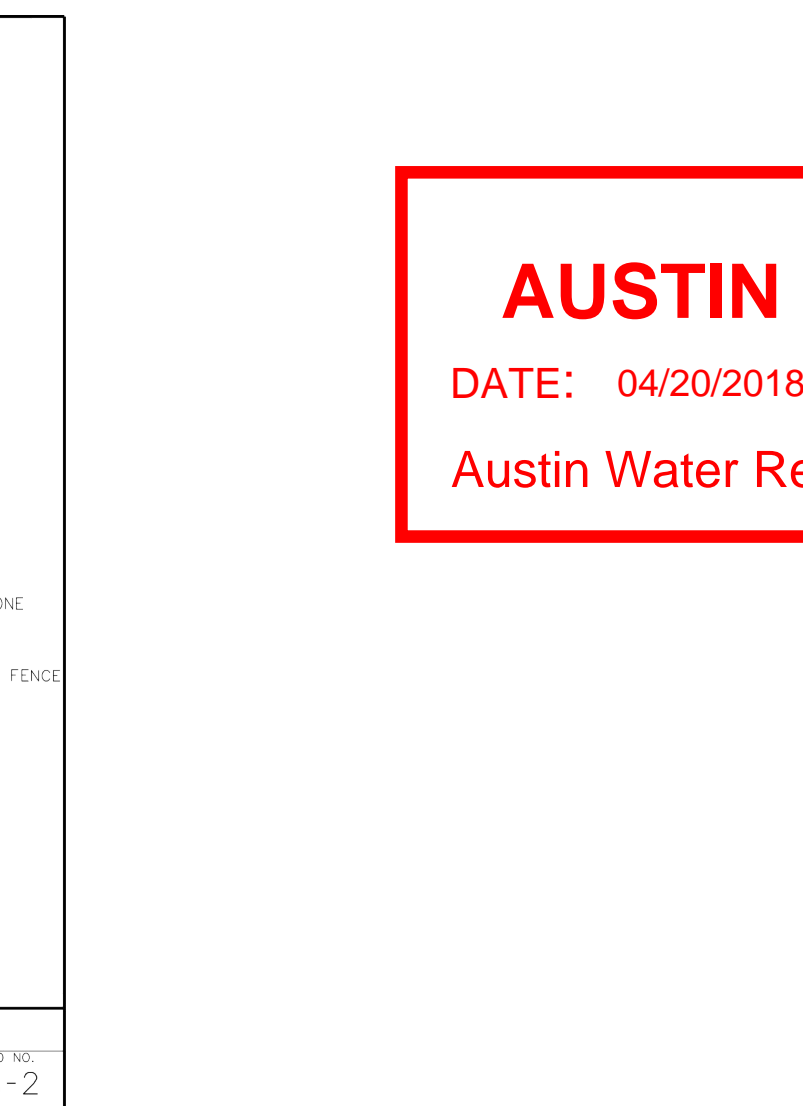
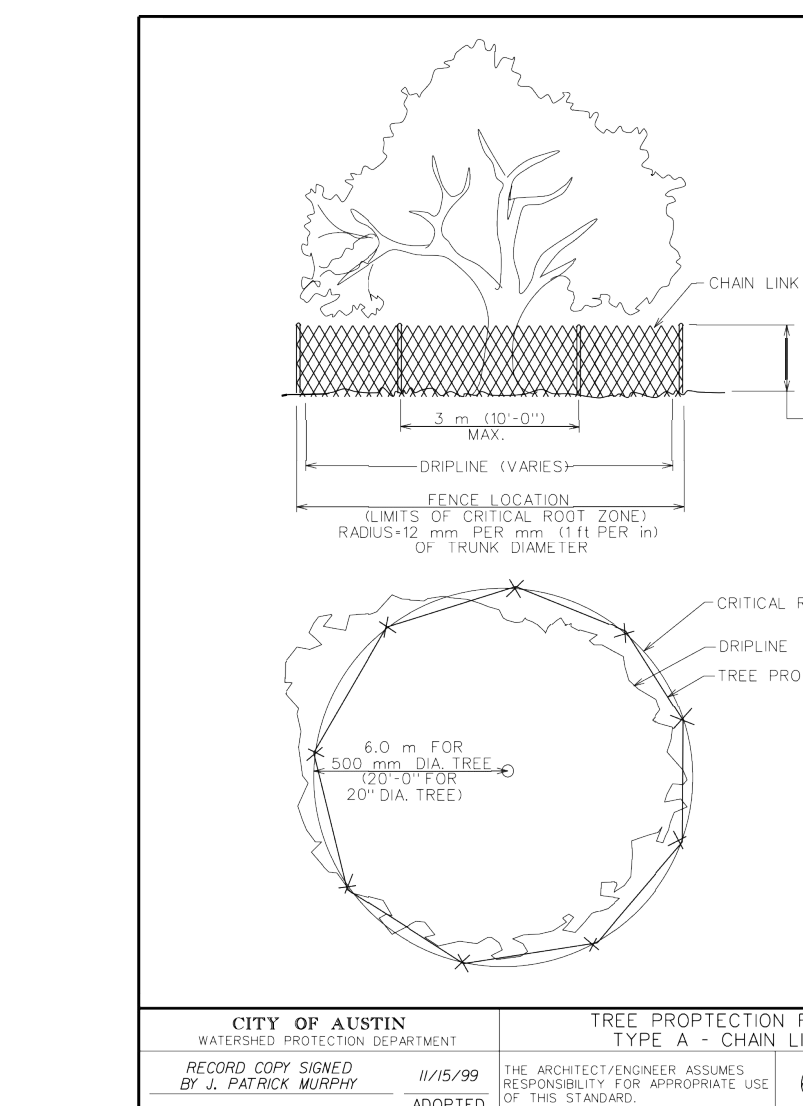
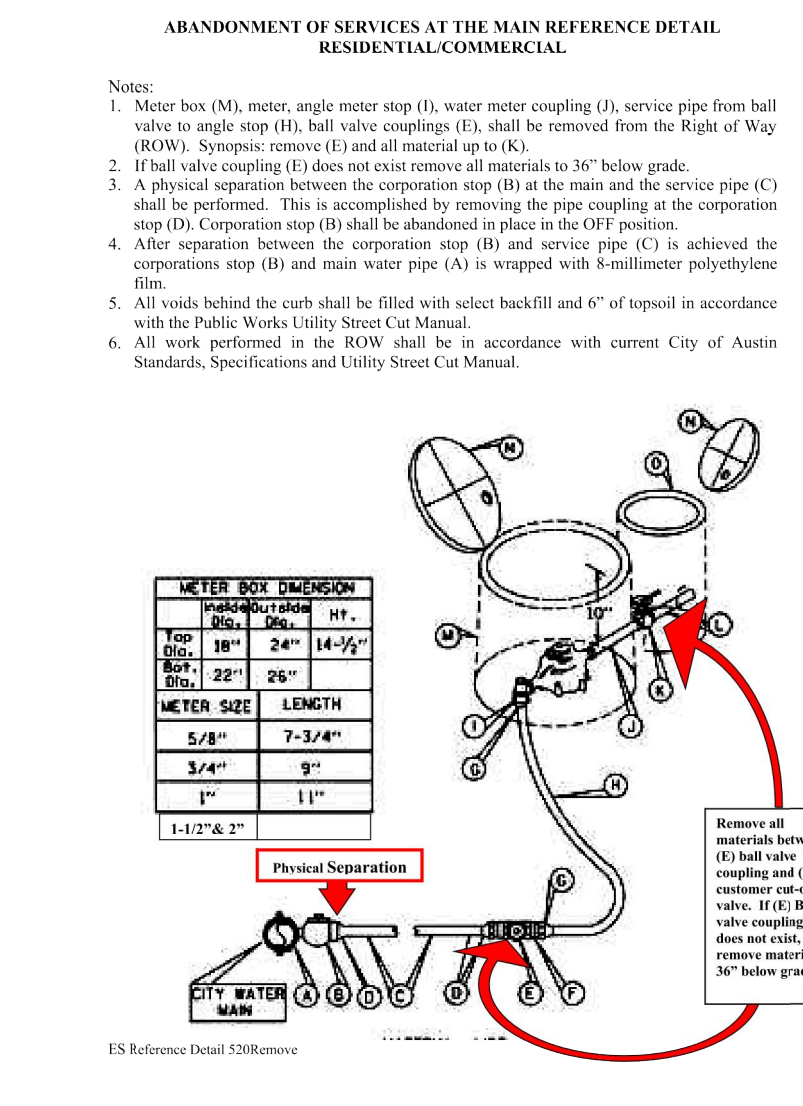
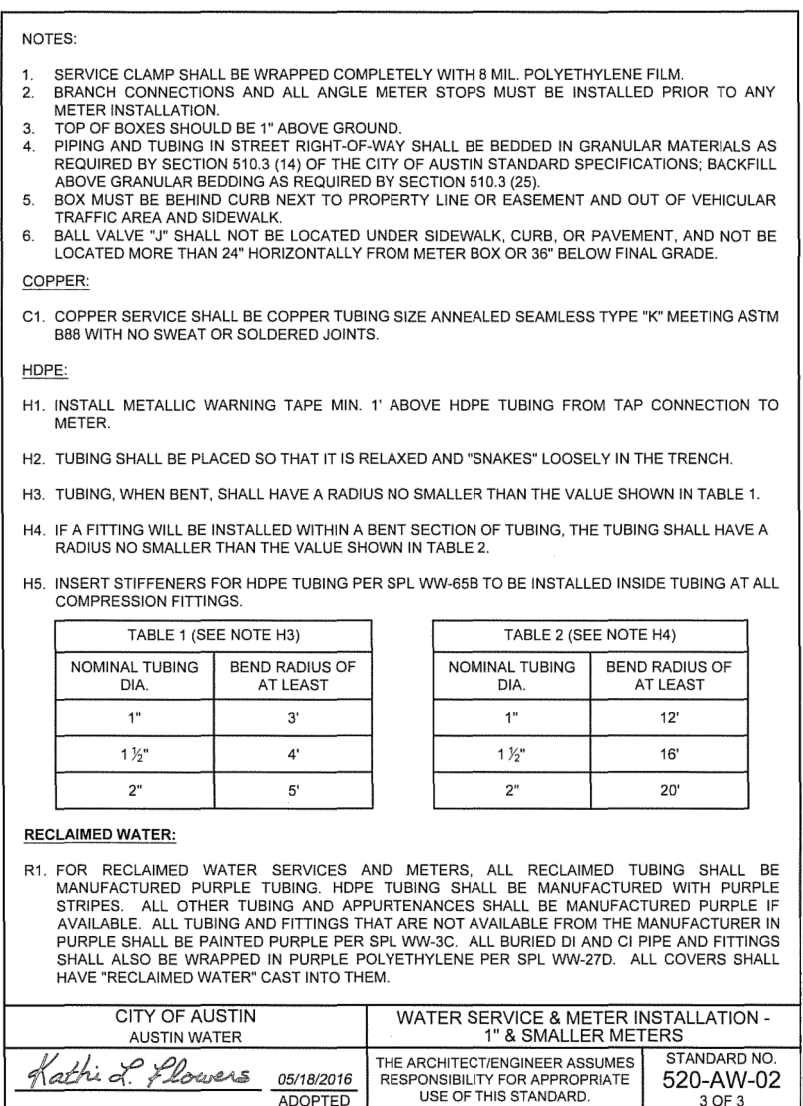
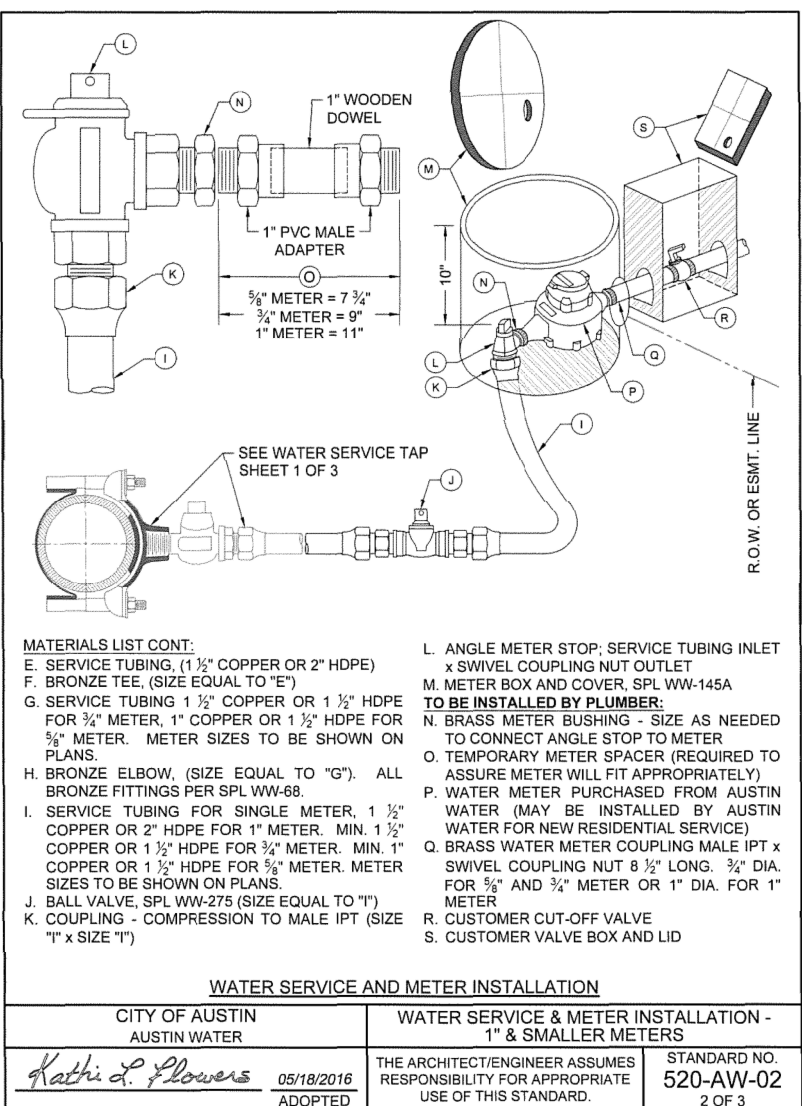
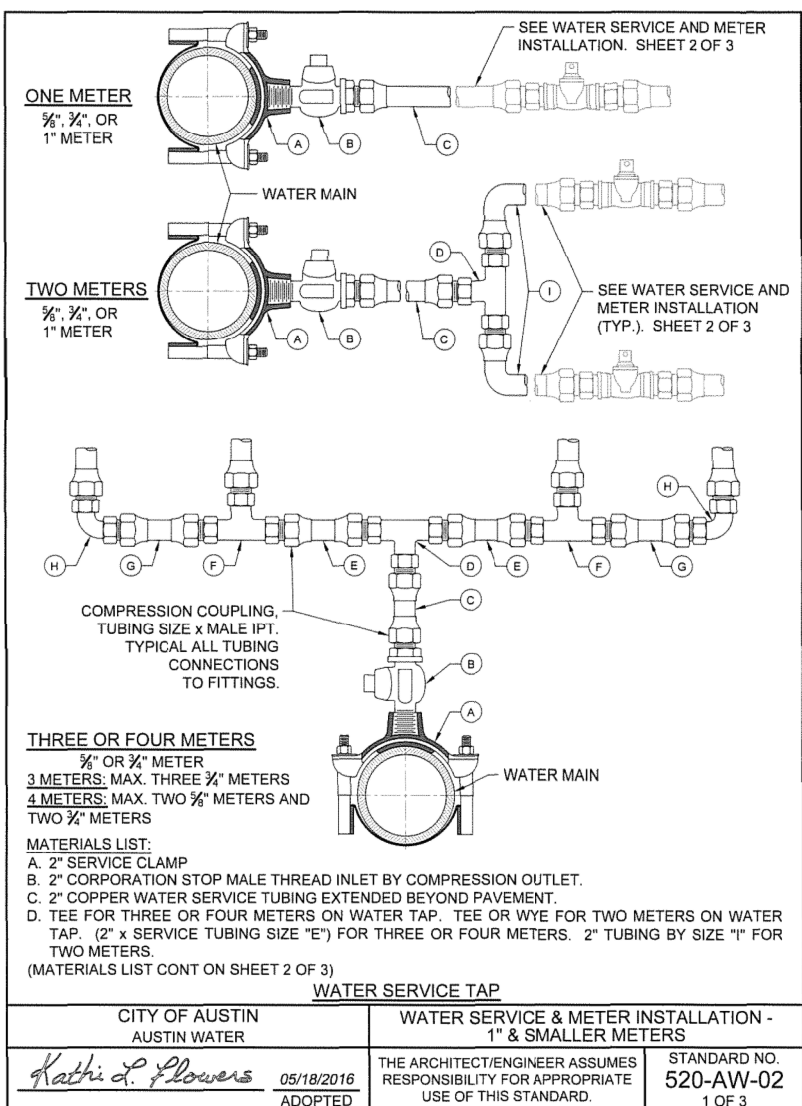
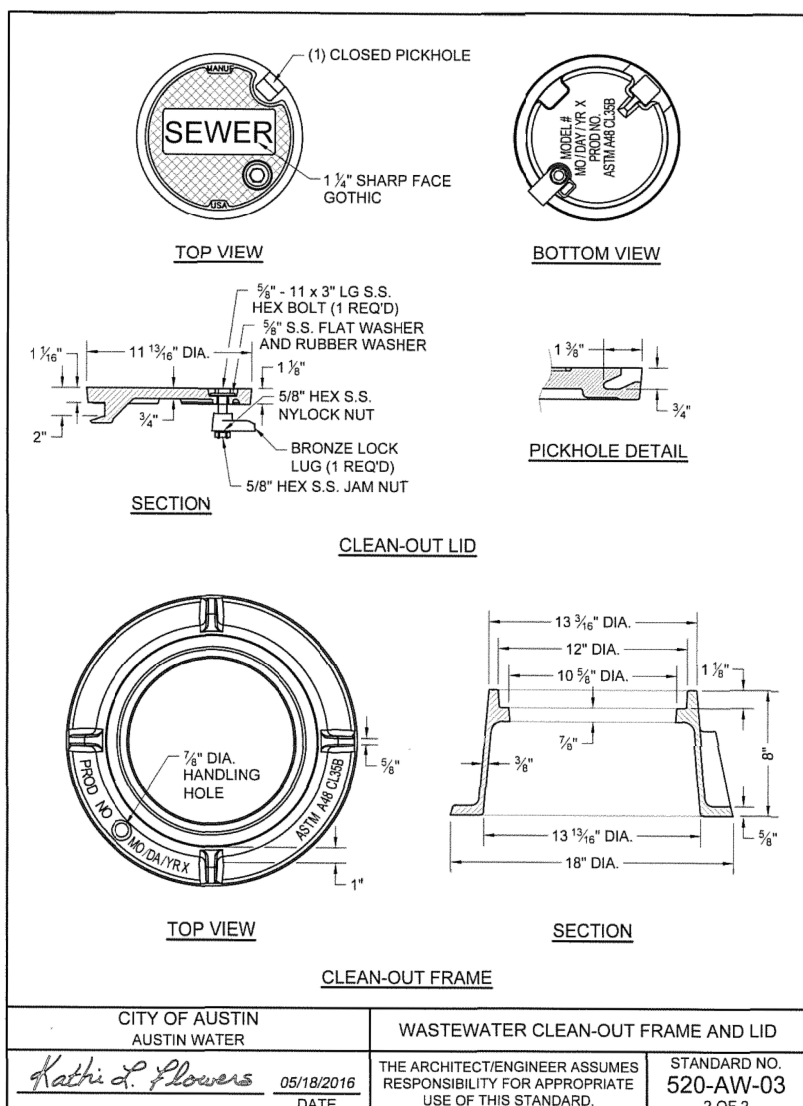
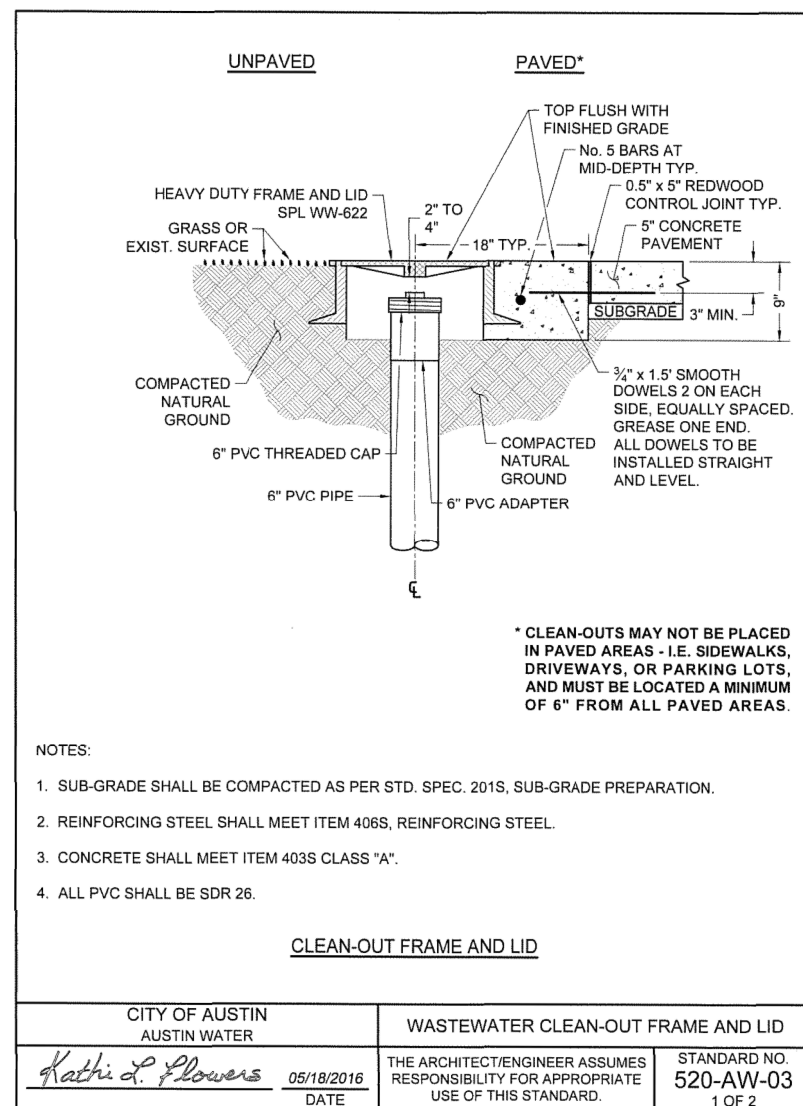
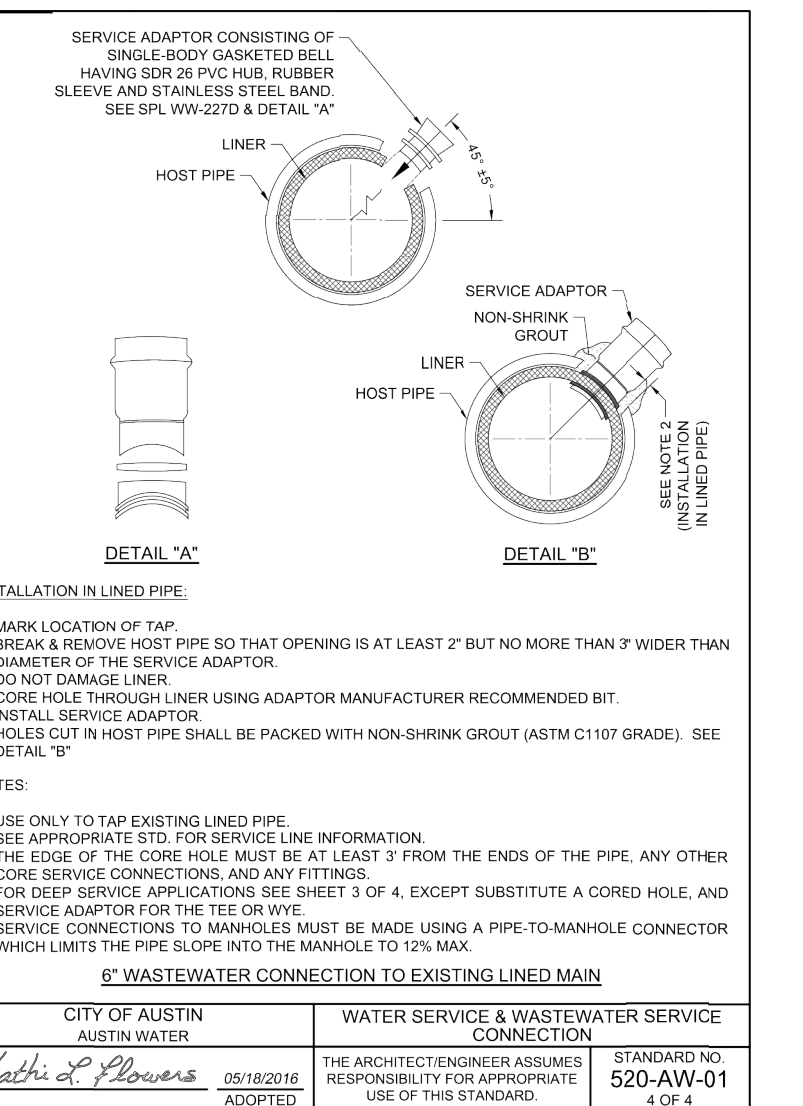
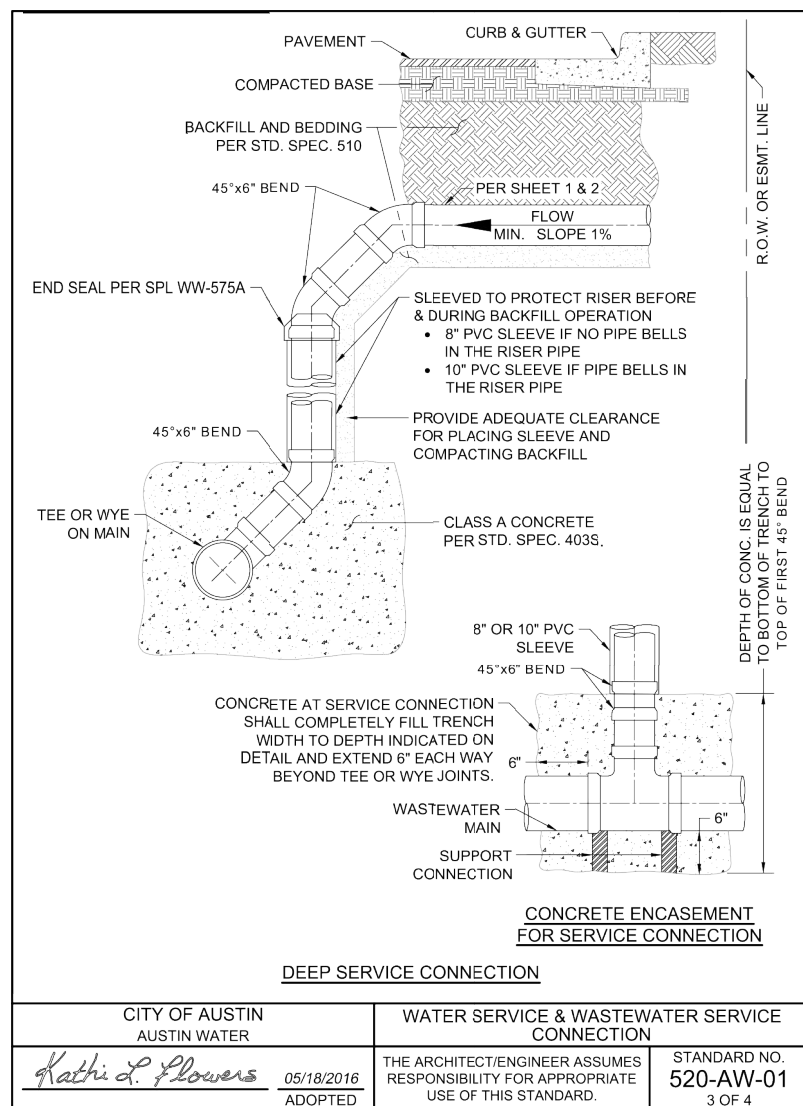
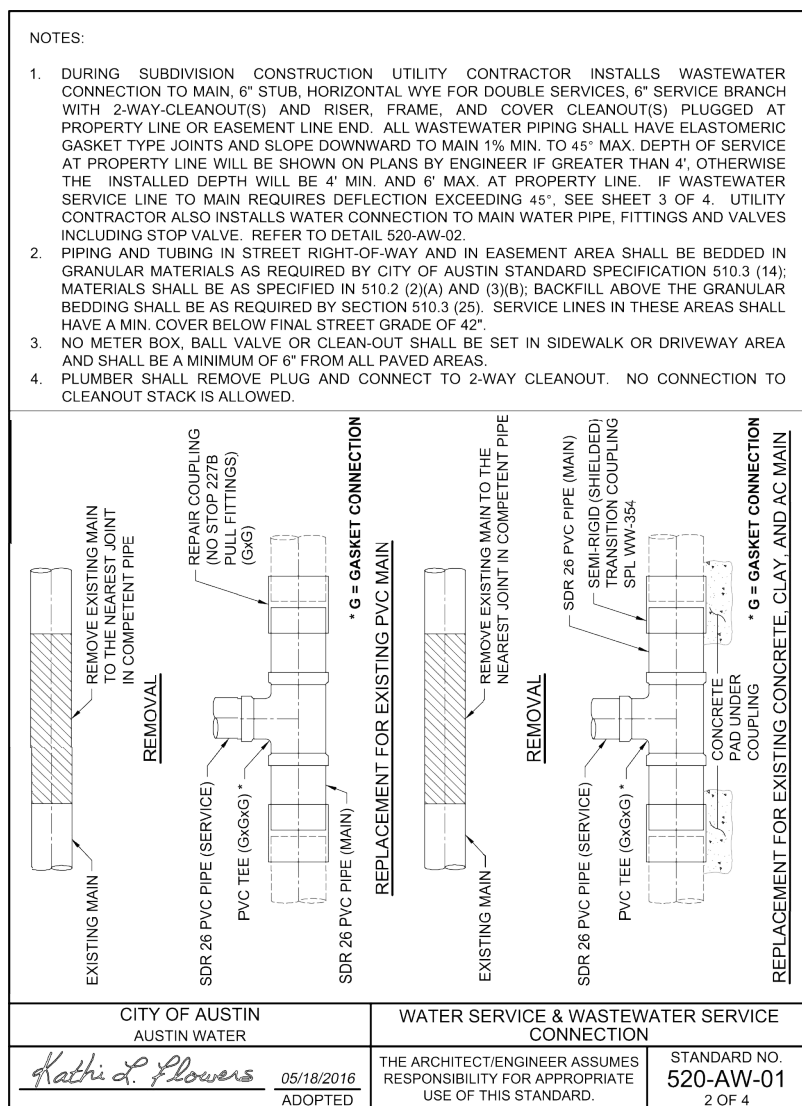
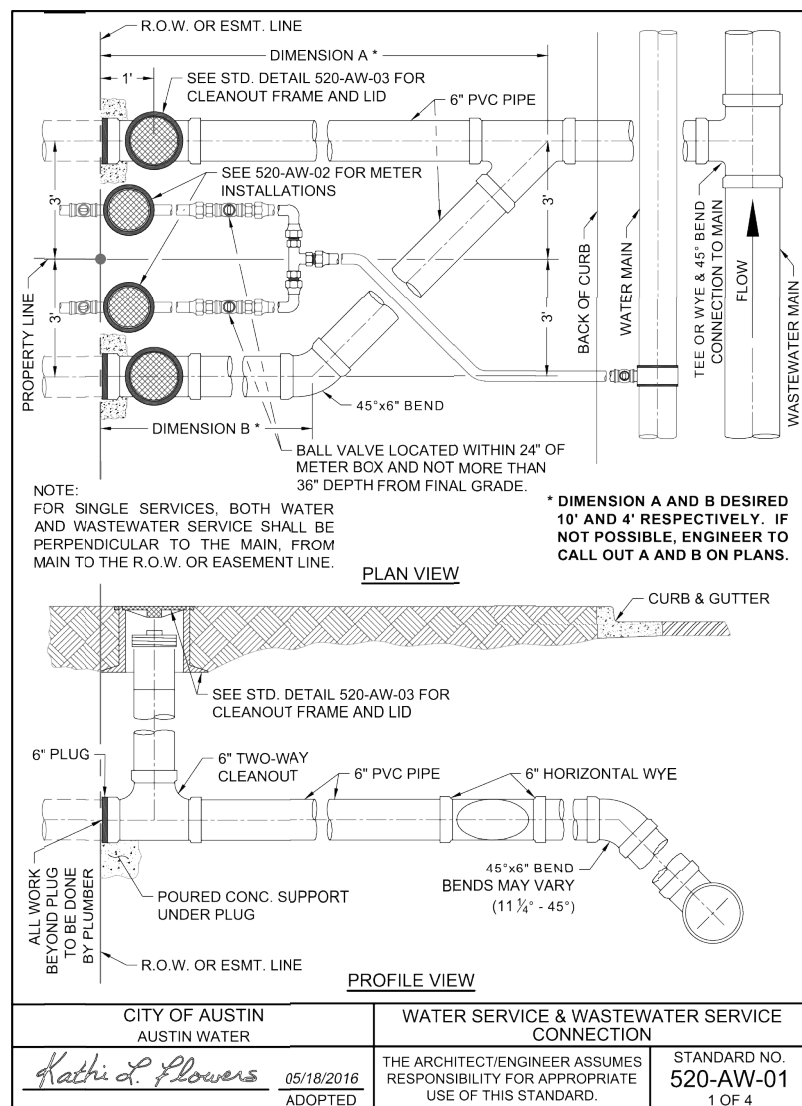
PHONE 512.761.6161
FAX 512.761.6167
INFO@CIVILITUDE.COM

SCALE: 1"=10'
JOB NO. A261-001
DGN. BY: FSK
DWN. BY: EAK & KAK



SHEET NO.
2
OF 5

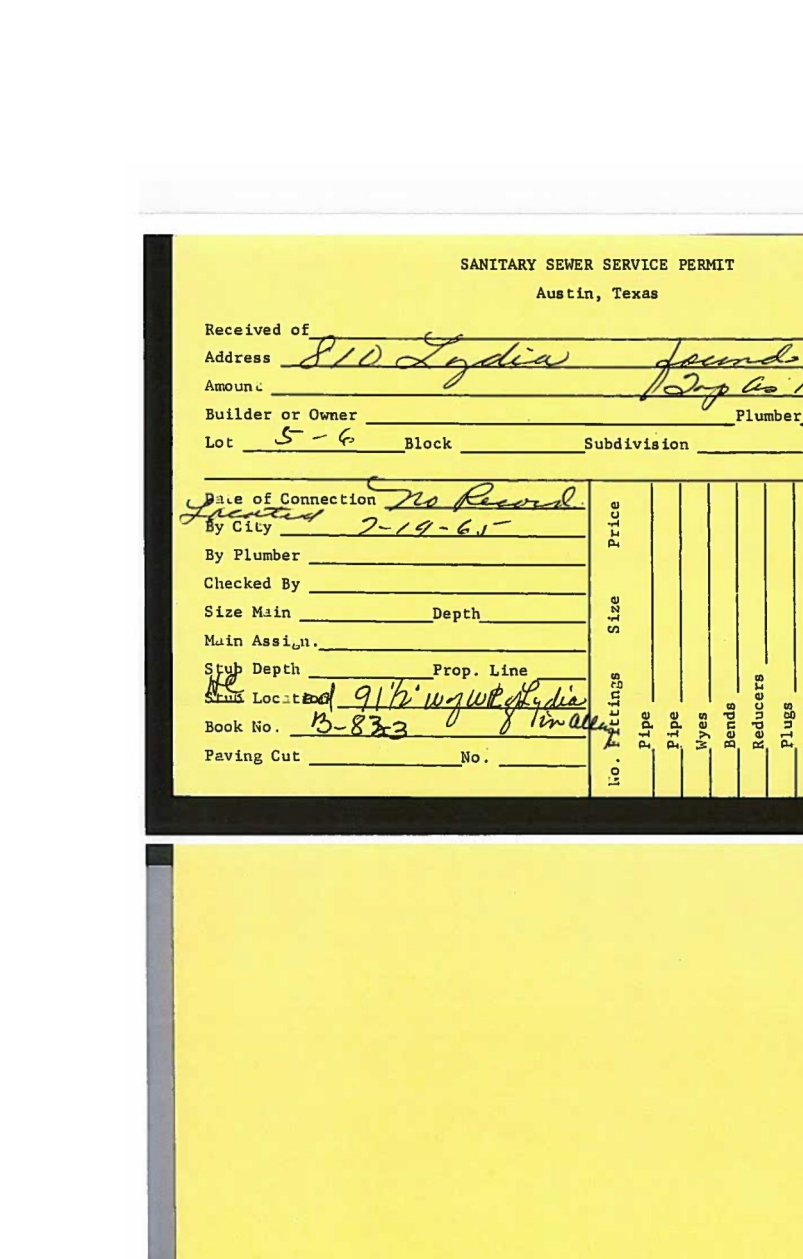
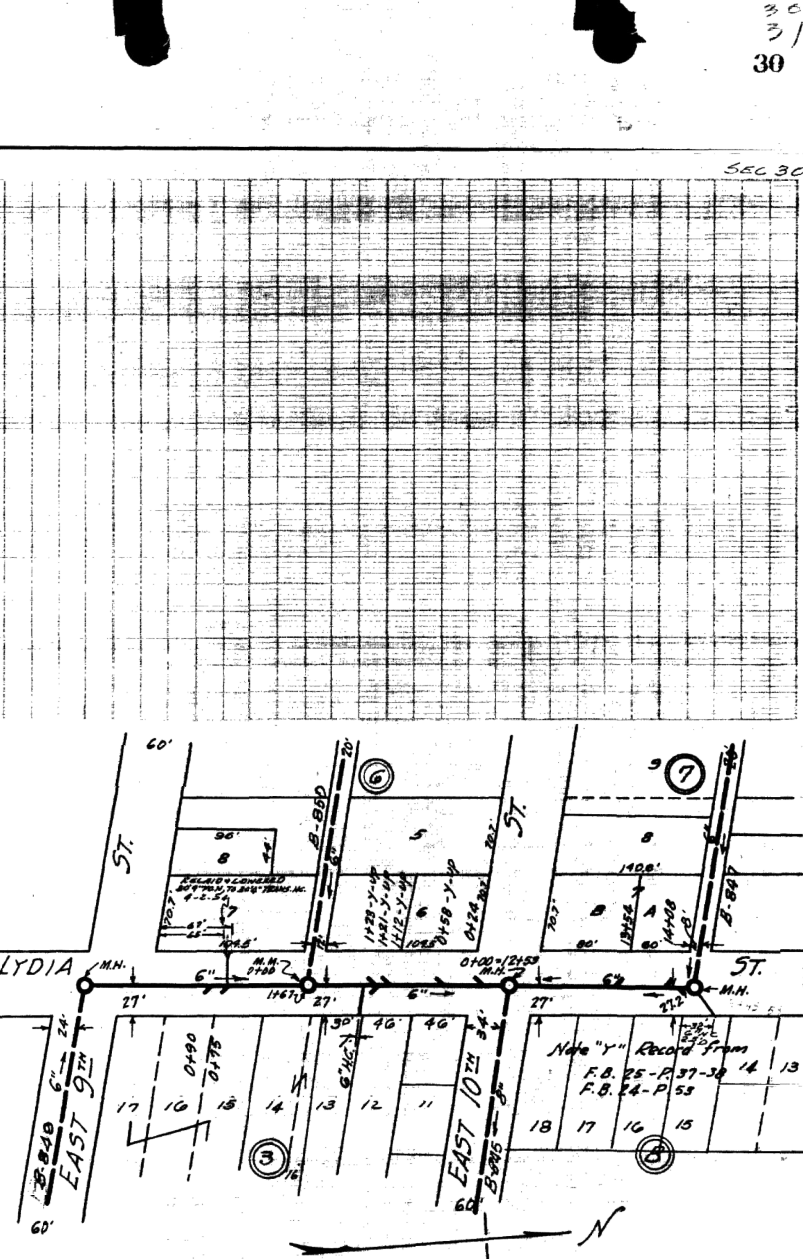
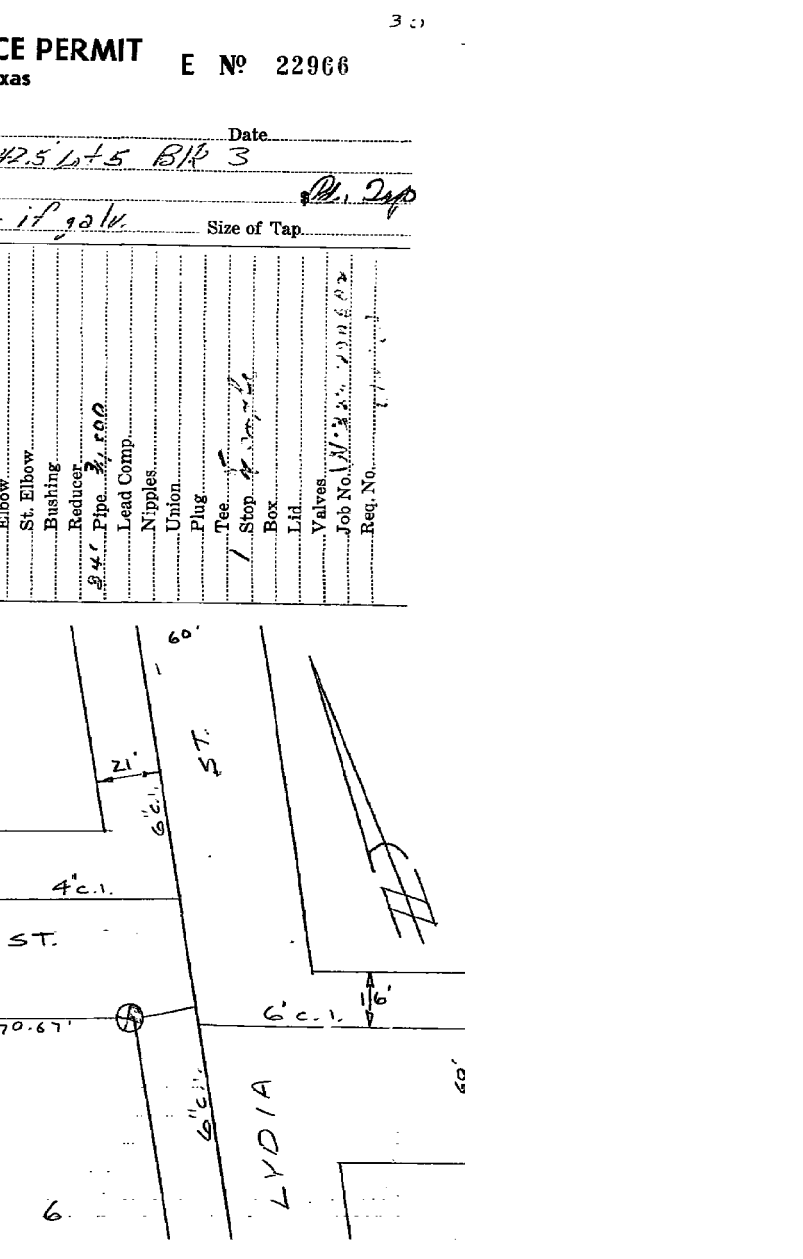
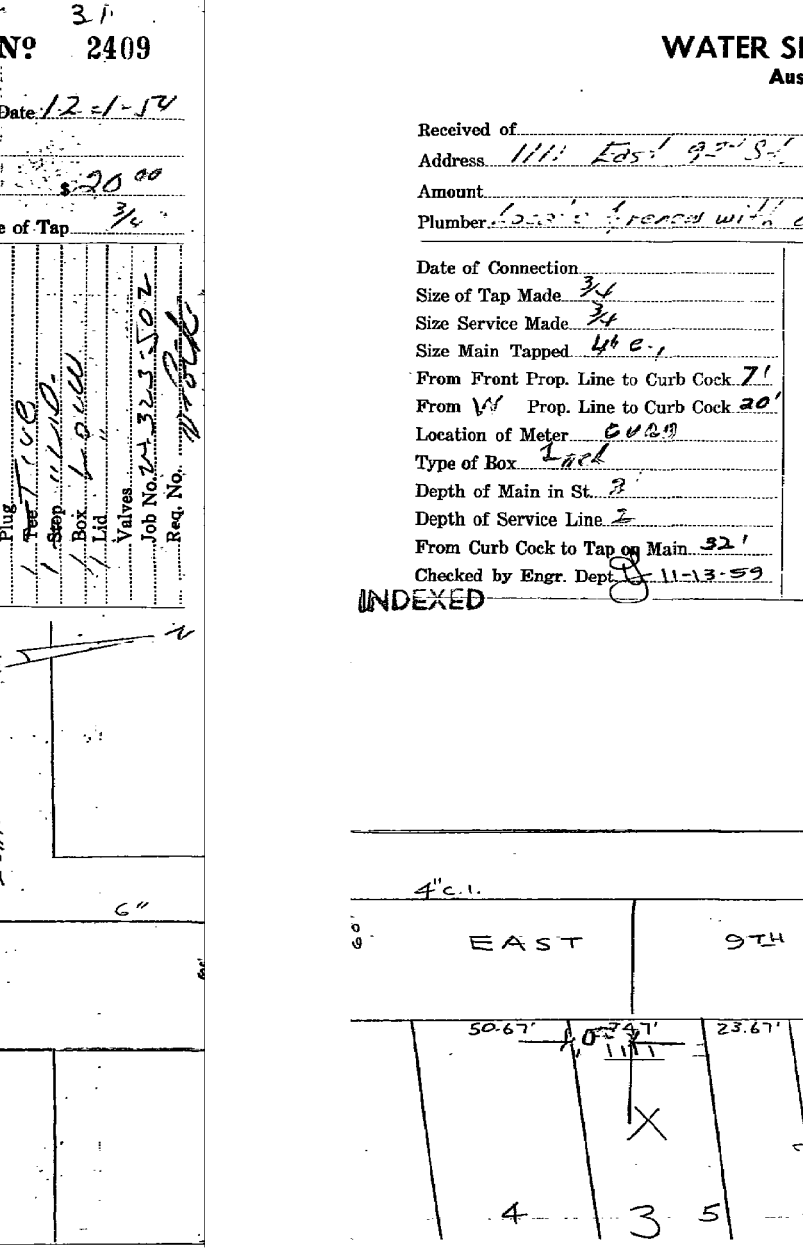
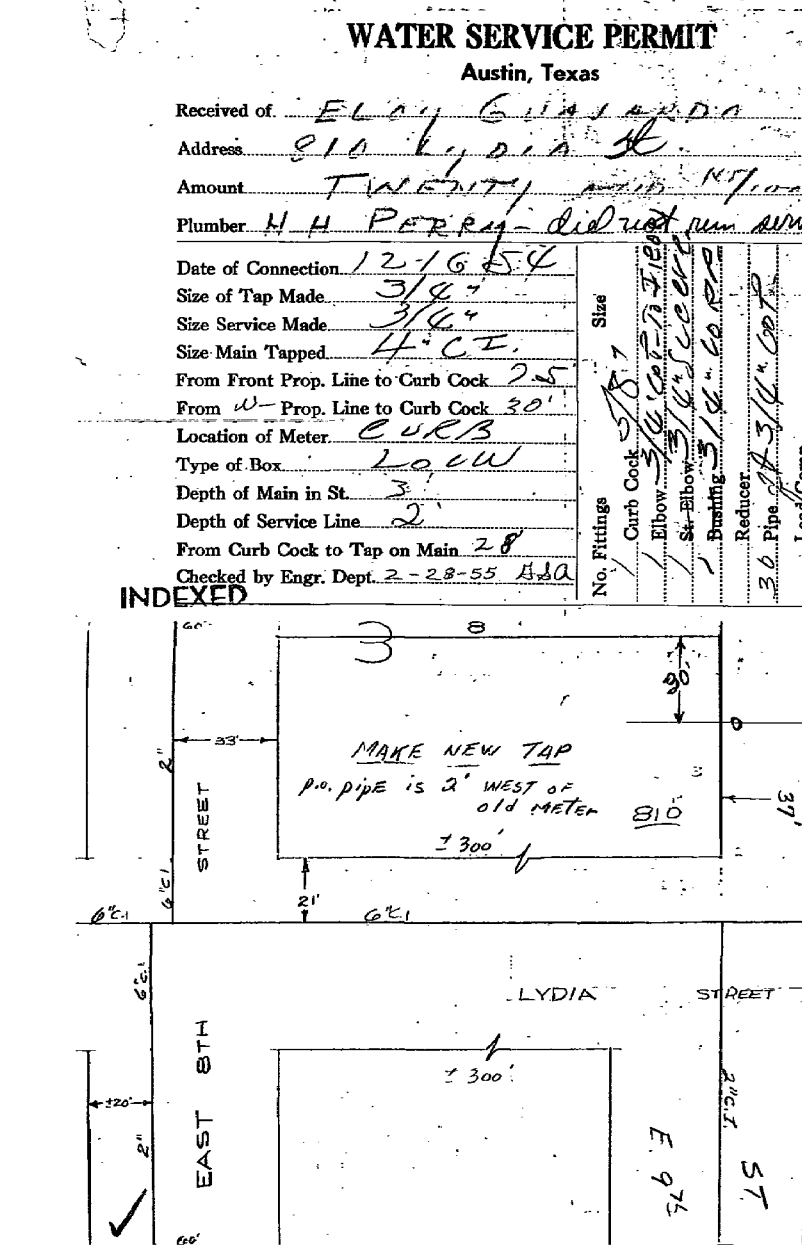
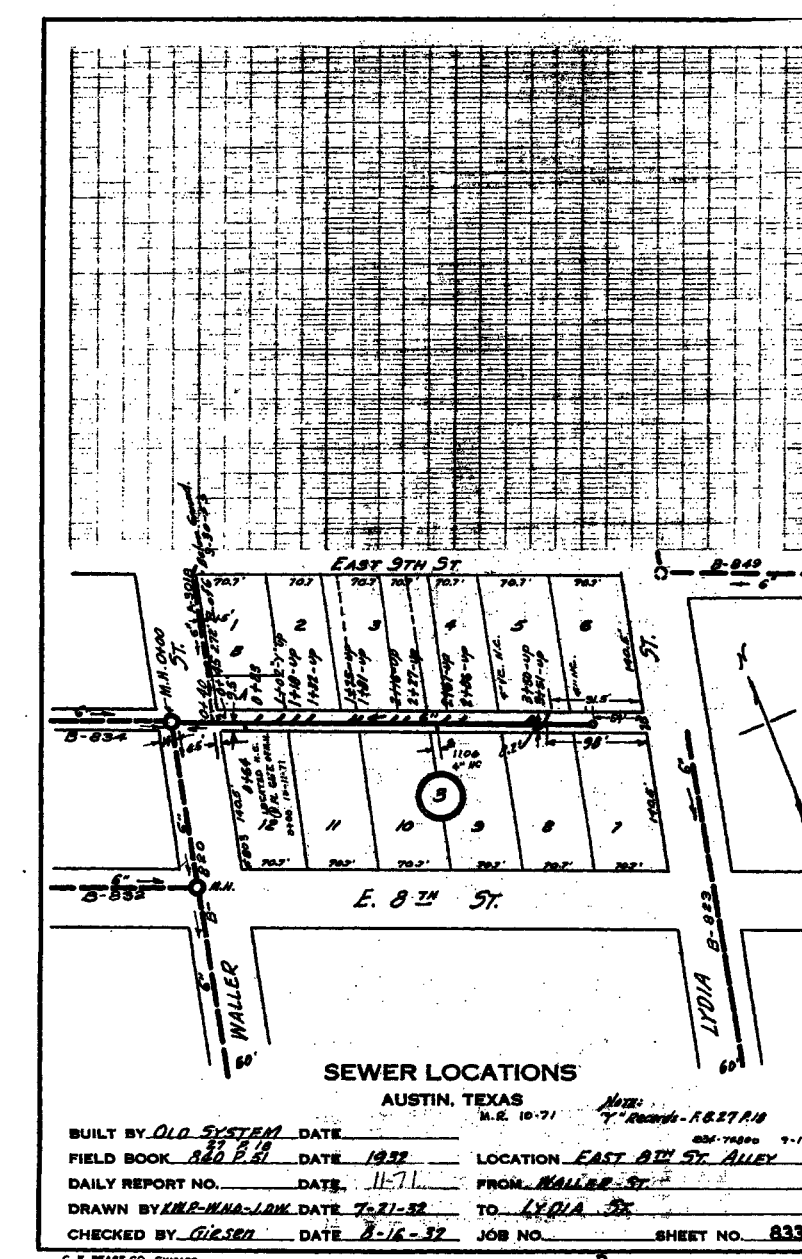
NOTE : CONTRACTOR TO FIELD VERIFY YARD LINES.



AUSTIN WATER REVIEWED

DATE: 04/20/2018 EXPIRATION DATE: 04/20/2021

Austin Water Representative: *Robert K. Kerk*



NO.	DATE	REVISIONS
1	04/20/2018	Initial Design
2	04/20/2021	Final Design

CIVIL DETAILS (1)

CIVILITUDE
ENGINEERS & PLANNERS

1210 ROSEWOOD AVENUE
AUSTIN, TX 78702
FIRM REG. NO. F12469

PHONE 512 761 6161
FAX 512 761 6167
INFO@CIVILITUDE.COM



SHEET NO.
3
OF 5

Re: Project Review under Section 106 of the National Historic Preservation Act and/or the Antiquities Code of Texas

201907841

New Construction of 2-bedroom ADU rental property
810 Lydia Street
Austin, TX 78702

Dear Dawn Perkins:

Thank you for your submittal regarding the above-referenced project. This response represents the comments of the State Historic Preservation Officer, the Executive Director of the Texas Historical Commission (THC), pursuant to review under Section 106 of the National Historic Preservation Act.

The review staff led by Tiffany Osburn, Charles Peveto and Elizabeth Brummett has completed its review and has made the following determinations based on the information submitted for review:

Above-Ground Resources

- Property/properties are eligible for listing or already listed in the National Register of Historic Places.
- No adverse effects on historic properties.

Archeology Comments

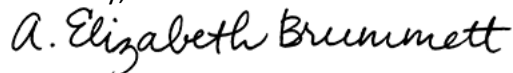
- No historic properties present or affected. However, if buried cultural materials are encountered during construction or disturbance activities, work should cease in the immediate area; work can continue where no cultural materials are present. Please contact the THC's Archeology Division at 512-463-6096 to consult on further actions that may be necessary to protect the cultural remains.

We have the following comments: The house at 810 Lydia Street is contributing to the Robertson/Stuart & Mair Historic District, which is currently under consideration for local historic district designation. Per our evaluation, this district is also eligible for listing in the National Register of Historic Places. The proposed accessory dwelling unit on this parcel meets the Secretary of the Interior's Standards for Rehabilitation and thus will have no adverse effect on historic properties. It is modest in scale, set back from the primary facade of the house, and differentiated yet compatible in terms of its design and materials.

We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. Thank you for your cooperation in this review process, and for your efforts to preserve the irreplaceable heritage of Texas. If you have any questions concerning our review or if we can be of further assistance, please email the following reviewers:

tiffany.osburn@thc.texas.gov, charles.peveto@thc.texas.gov, elizabeth.brummett@thc.texas.gov.

Sincerely,



For Mark Wolfe, State Historic Preservation Officer
Executive Director, Texas Historical Commission

Please do not respond to this email.



City of Austin

P.O. Box 1088, Austin, TX 78767-1088
www.cityofaustin.org/housing

May 2, 2019

Mark Wolfe
State Historic Preservation Officer
Texas Historical Commission
P.O. Box 12276
Austin, Texas 78711-2276

RE: New Construction of 2-bedroom ADU rental property
809 San Marcos
Austin, Travis County, Texas 78702

Dear Mr. Wolfe:

The City of Austin's Austin Housing Finance Corporation (AHFC) received a proposal for the activity above. AHFC proposes to assist Guadalupe Neighborhood Development Corporation ("GNDC"), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to demolish a one bedroom unit and replace it with a new 3-bedroom unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust. The required attachments are included. Should you need additional information, please call me at (512) 974-3121

Sincerely,

Dawn Perkins, MA

Business Process Specialist
Neighborhood Housing and Community Development Department
P.O. Box 1088
Austin, Texas 78767
512-974-6001

The City of Austin is committed to compliance with the American with Disabilities Act and will provide reasonable modifications and equal access to communications upon request.

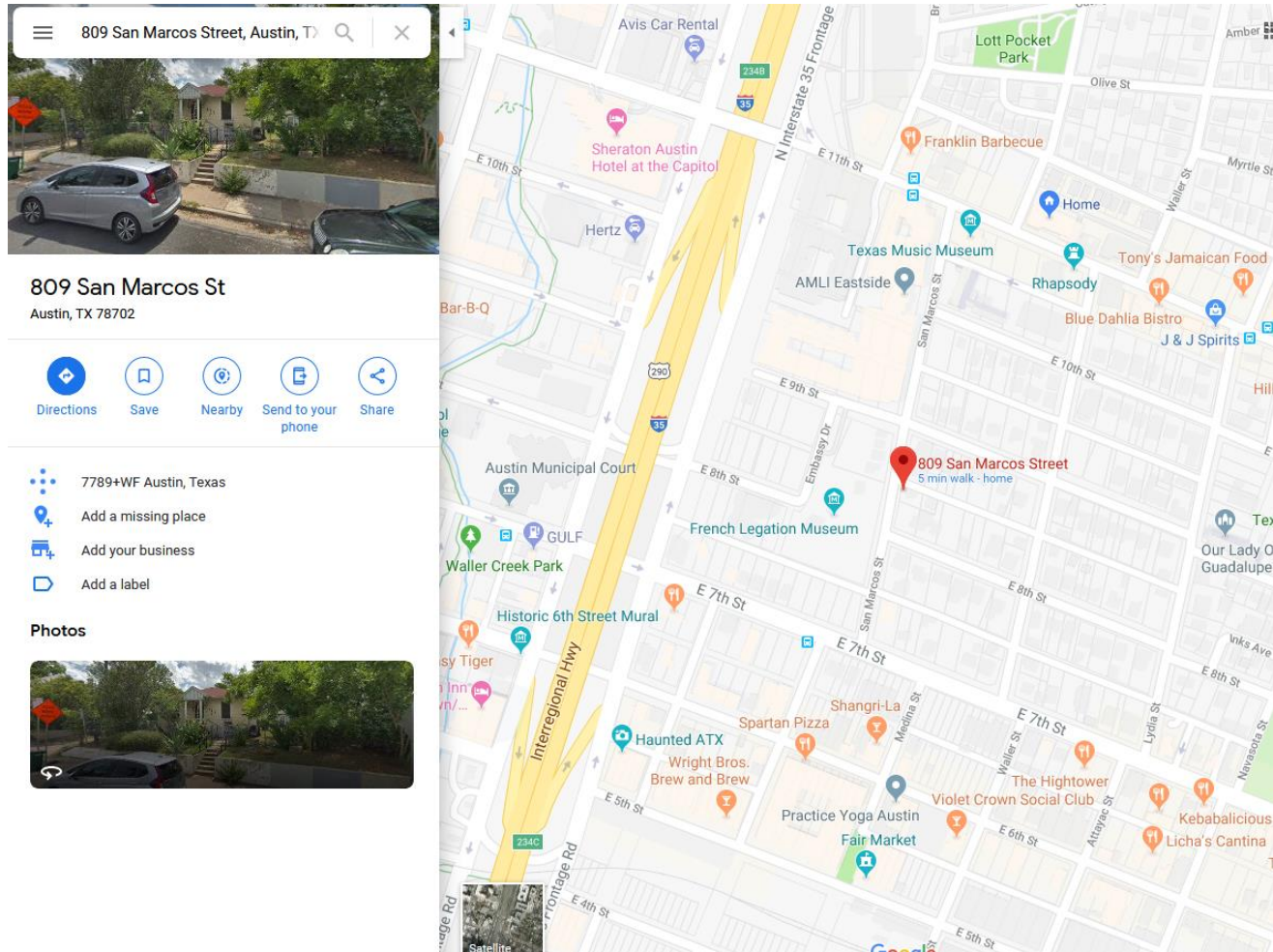
809 San Marcos, Austin, TX 78702

1. Project Work Description

Guadalupe Neighborhood Development Corporation is requesting funds to demolish a one bedroom unit and replace it with a new 3-bedroom unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust.

809 San Marcos, Austin, TX 78702

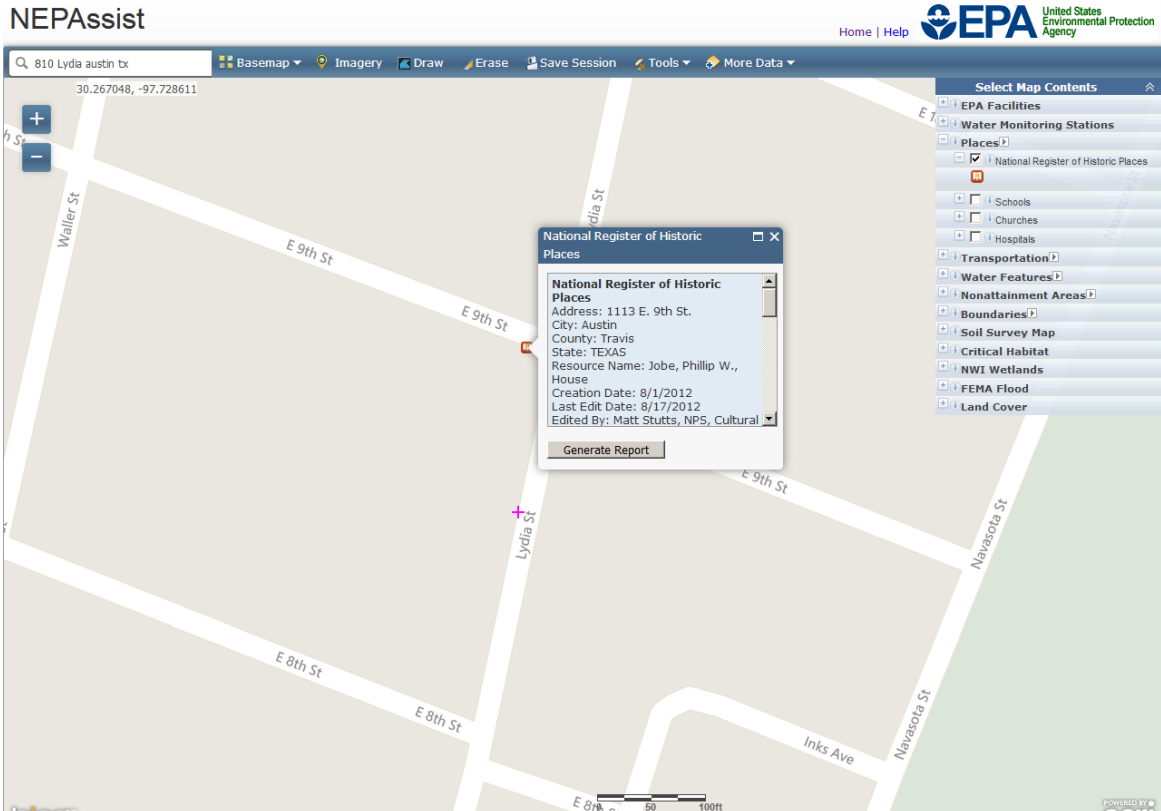
2. Map



810 Lydia St, Austin, TX 78702

3. National Register of Historic Places - NEPAAssist

The Jobe House is located 152.7 Feet away from 810 Lydia St, but 810 Lydia St is not listed in any registry as historic.



National Register of Historic Places

Address: 1113 E. 9th St.

City: Austin

County: Travis

State: TEXAS

Resource Name: Jobe, Phillip W., House

Creation Date: 8/1/2012

Last Edit Date: 8/17/2012

Edited By: Matt Stutts, NPS, Cultural Resources GIS

Originating Institution: National Register of Historic Places -- National Park Service

Use Constraint: Extant status and datum information for resource not recorded by source; coordinate pairs used to generate points not checked for accuracy by source

809 San Marcos, Austin, TX 78702

4. Photographs



#1 Front of House, facing west



#2 Side of House, facing west



#3 Back of House, facing south

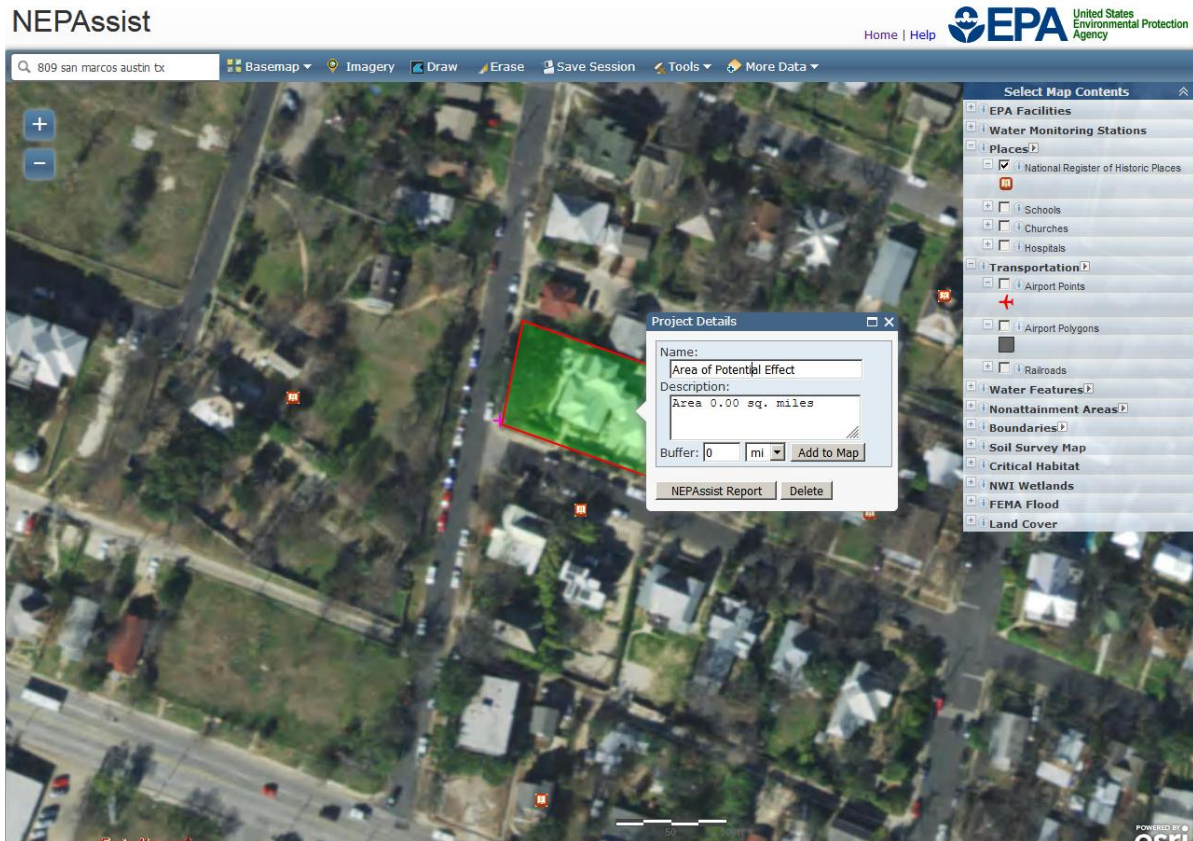
Photograph Legend



809 San Marcos, Austin, TX 78702

5. Area of Potential Effect

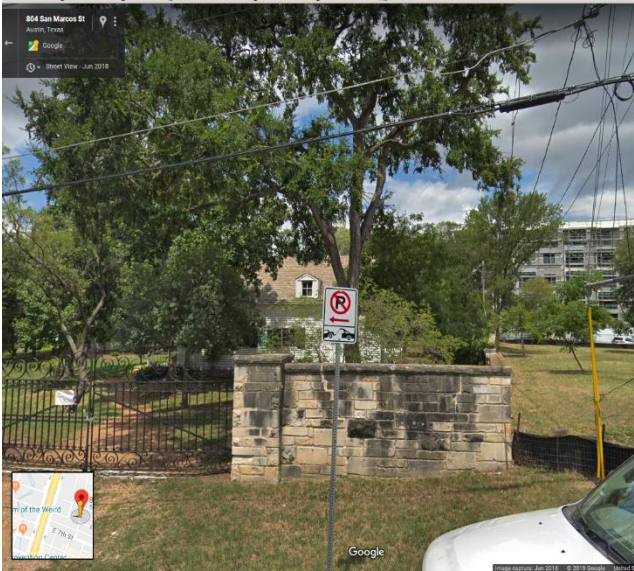
The area for potential effect is located on San Marcos Street, between E 8th and 9th Street, and includes the back lot of 809 San Marcos.



Surrounding Homes and Structures – These WILL NOT be Affected by Project



Facing Northeast



Facing West



Facing South

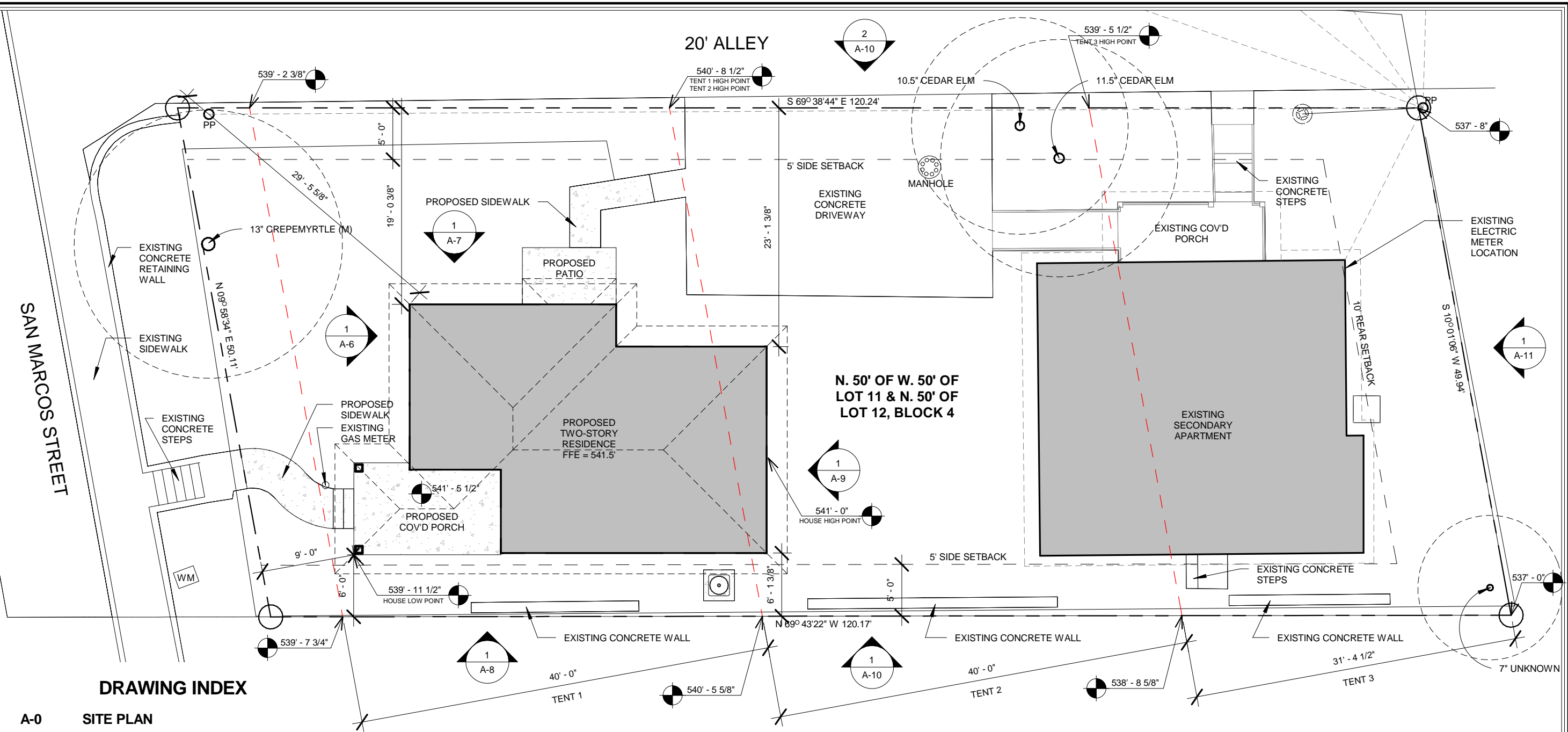
809 San Marcos, Austin, TX 78702

6 & 7. Determination of Eligibility and Effect

According to TCAD, the primary structure at 809 San Marcos was built in 1945. A secondary unit was built behind 809 San Marcos in 2005. 809 San Marcos is listed as a contributing property in a potential historic district, but the Historic Landmark Commission approved the demolition of the secondary unit on March 25, 2019. A professional was not involved in completing the form and attachments, but we anticipate that there will be no Adverse Effect on historic properties.

Consulting Parties/Public Notification

Not Applicable – there will no new ground disturbance.



DRAWING INDEX

- A-0 SITE PLAN
- A-1 FIRST LEVEL FLOOR PLAN
- A-2 SECOND LEVEL FLOOR PLAN
- A-3 VISITABILITY PLAN
- A-4 SCHEDULES
- A-5 REFLECTED CEILING PLANS
- A-6 WEST ELEVATION
- A-7 NORTH HOUSE ELEVATION
- A-8 SOUTH HOUSE ELEVATION
- A-9 EAST HOUSE ELEVATION
- A-10 NORTH & SOUTH SITE ELEVATIONS
- A-11 EAST SITE ELEVATION
- A-12 ROOF PLAN
- S100 FOUNDATION PLAN & DETAILS
- S200 2ND FLOOR & ROOF FRAMING PLAN
- S201 1ST & 2ND FLOOR BRACING PLAN
- S300 FRAMING DETAILS
- EXISTING SITE SURVEY

IMPERVIOUS COVER

PROPOSED HOUSE.....	701.93sf
PROPOSED COV'D PORCH.....	121.17sf
PROPOSED PATIO.....	49.96sf
PROPOSED SIDEWALK.....	77.41sf
PROPOSED HVAC PAD.....	9.00sf
EXISTING SECONDARY APARTMENT.....	863.49sf
EXISTING COV'D PORCH.....	82.47sf
EXISTING CONCRETE SIDEWALK & STEPS.....	106.65sf
EXISTING DRIVEWAY.....	541.57sf
EXISTING HVAC PAD.....	9.00sf
EXISTING CONCRETE WALL.....	56.05sf
TOTAL IMPERVIOUS COVER.....	2,618.70sf

AREA OF SITE.....	6,033.50sf
TOTAL % OF SITE.....	43.40%

AREA

PROPOSED HOUSE GROUND FLOOR.....	701.93sf
PROPOSED HOUSE SECOND FLOOR.....	714.16sf
EXISTING SECONDARY APARTMENT.....	863.49sf
TOTAL.....	2,279.58sf

F.A.R.-...((2,279.58sf/6033.50sf) x 100 =37.78

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S DIRECTIONS.
2. N.I.C.- ALL MATERIAL AND WORK DESIGNATED NOT IN CONTRACT SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
3. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PREPARE A PUNCH LIST OUTLINING ANY INCOMPLETE OR UNSATISFACTORY WORK.
4. THE CONTRACTOR SHALL CONFINE HIS USE OF THE PREMISES TO THE DESIGNATED CONSTRUCTION AREA.
5. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH SIGNED PERMIT DRAWINGS AT THE CLOSE OF THE PROJECT WITH " AS BUILT " CONDITIONS LEGIBLY NOTED.
6. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER WITH NOTARIZED LIEN RELEASES FOR HIMSELF AT EACH DRAW AND FOR ALL SUBCONTRACTORS PRIOR TO RELEASE OF FINAL PAYMENT.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPILING A NOTEBOOK OF ALL EQUIPMENT, MATERIALS AND FINISHES USED ON THE PROJECT. THE INFORMATION INCLUDED WILL BE CARE, MAINTENANCE AND OPERATION INSTRUCTIONS AND WARRANTIES.

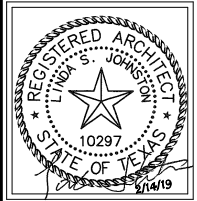
1 SITE PLAN
1" = 10'-0"



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809 SAN MARCOS STREET
AUSTIN , TEXAS 78702

DRAWN BY: JSM

CHECKED BY: LSJ

DATE: 2/14/19

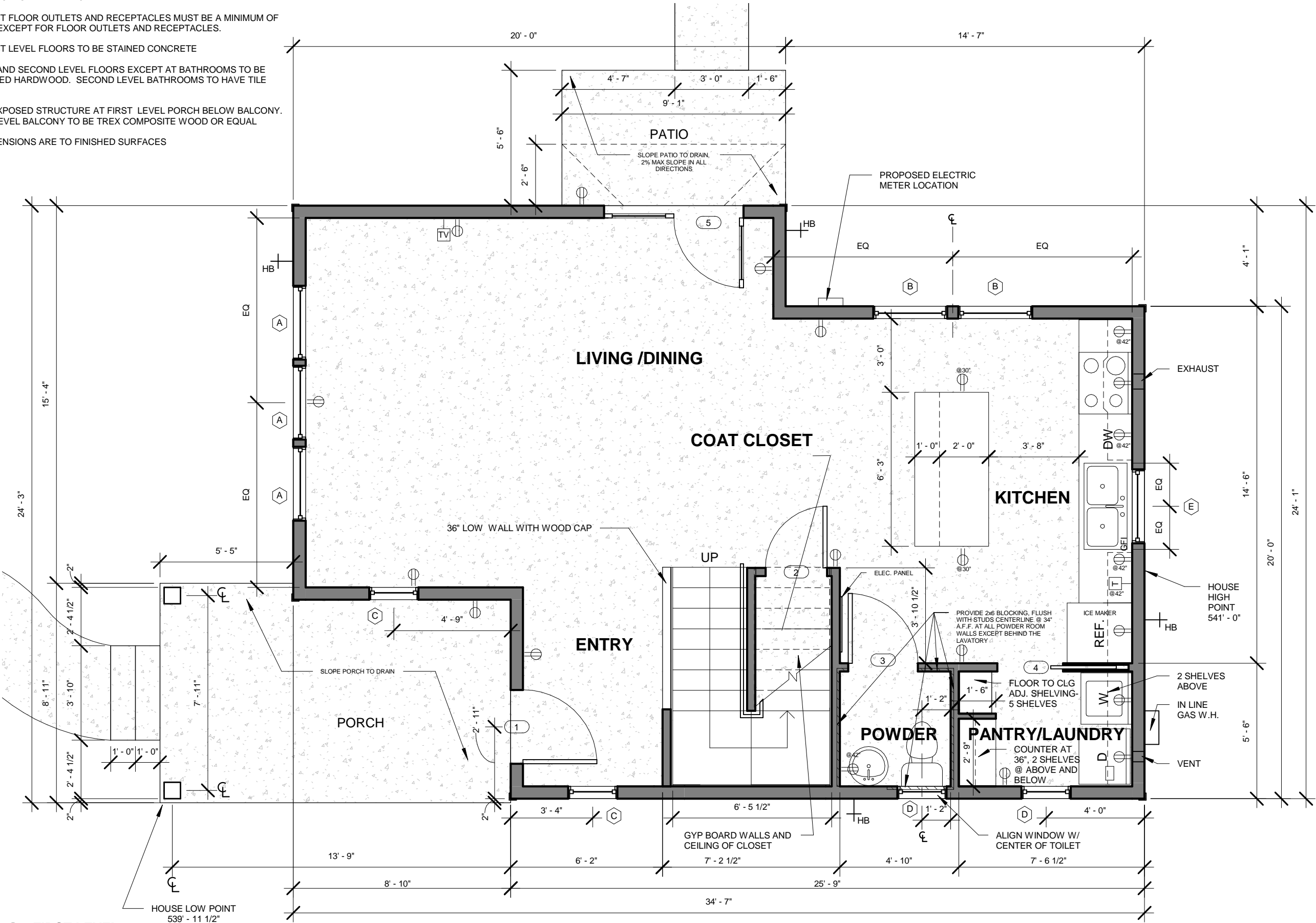
REVISIONS:

SITE PLAN

A-0

GENERAL NOTES:

1. ALL FIRST FLOOR LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL FIRST FLOOR OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.
3. ALL FIRST LEVEL FLOORS TO BE STAINED CONCRETE
4. STAIRS AND SECOND LEVEL FLOORS EXCEPT AT BATHROOMS TO BE PREFINISHED HARDWOOD. SECOND LEVEL BATHROOMS TO HAVE TILE FLOORS
5. PAINT EXPOSED STRUCTURE AT FIRST LEVEL PORCH BELOW BALCONY. SECOND LEVEL BALCONY TO BE TREX COMPOSITE WOOD OR EQUAL
6. ALL DIMENSIONS ARE TO FINISHED SURFACES



1 FIRST LEVEL
1/4" = 1'-0"

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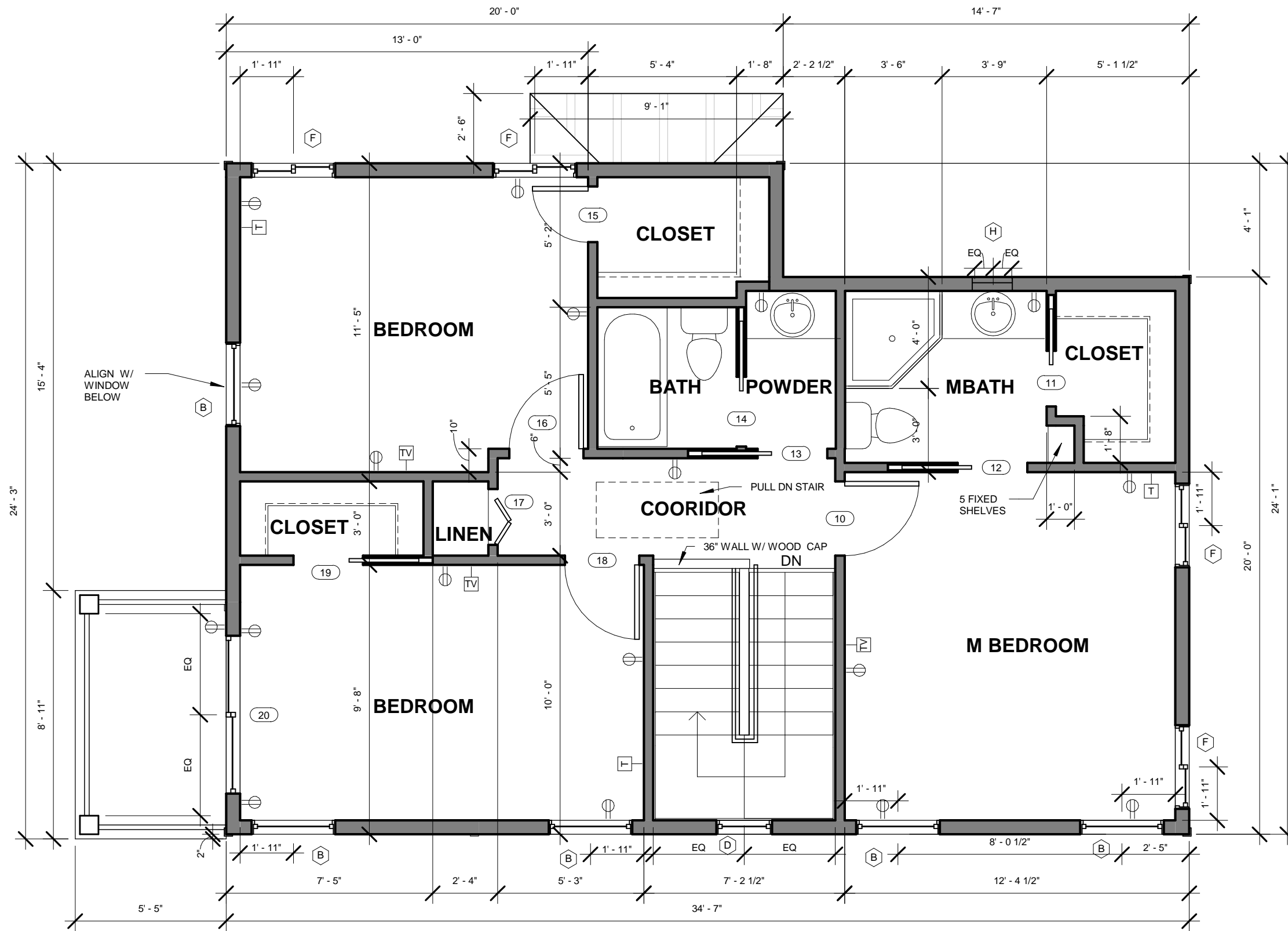
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AUSTIN, TEXAS 78702

DRAWN BY: **LSJ**
CHECKED BY: **JM**
DATE: **2/14/19**

REVISIONS:

FIRST LEVEL
FLOOR PLAN

A-1

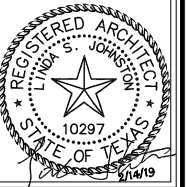


1 SECOND LEVEL
1/4" = 1'-0"

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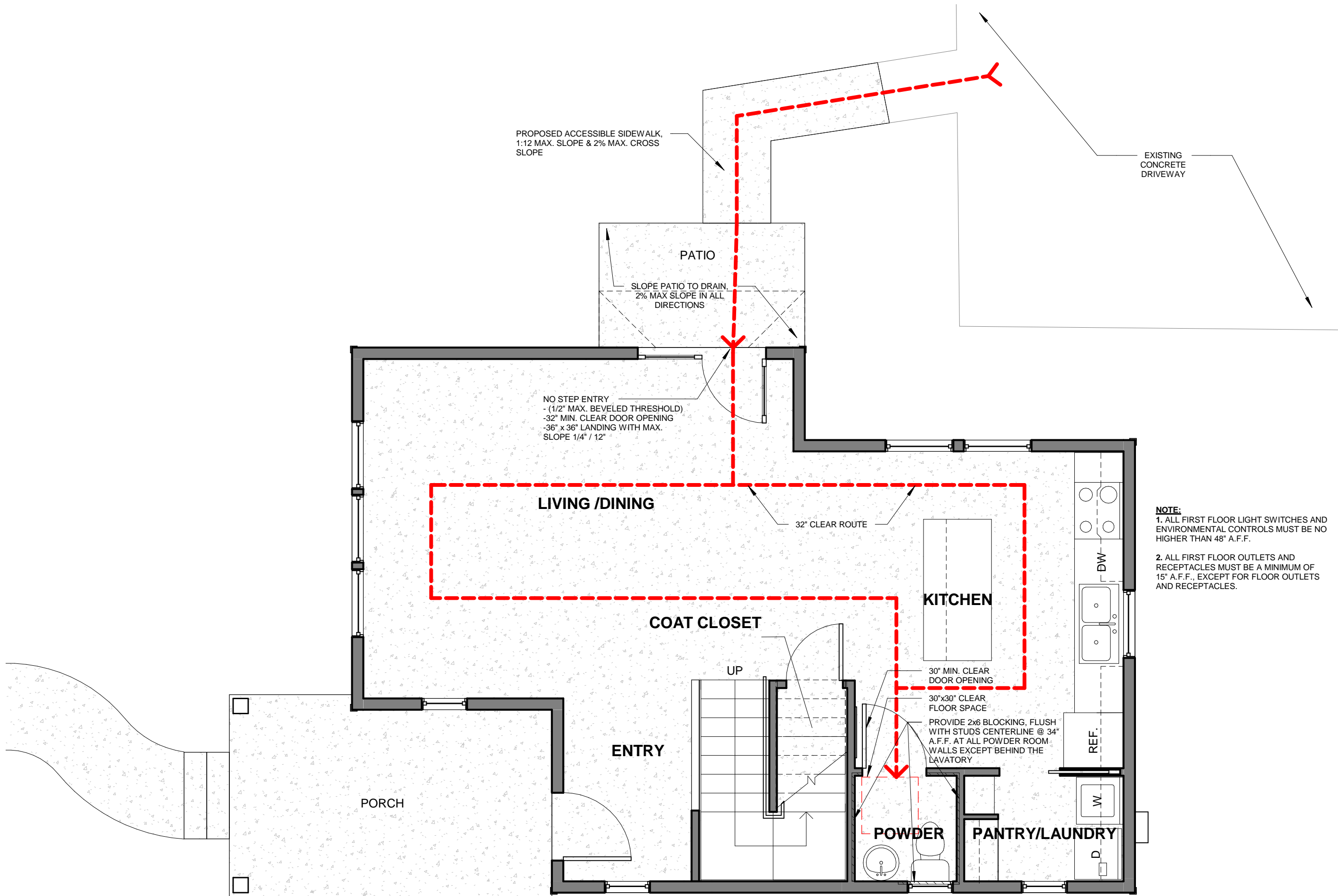
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DRAWN BY: LSJ
CHECKED BY: JM
DATE: 2/14/19

REVISIONS:

SECOND LEVEL
FLOOR PLAN

A-2



NOTE:
1. ALL FIRST FLOOR LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL FIRST FLOOR OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.

1 VISITABILITY PLAN
1/4" = 1'-0"

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DATE: 2/14/19

REVISIONS:

VISITABILITY PLAN

A-3

Door Schedule			
Mark	Door Size	Type	Comments
1	36" x 84"	Single-Entry 3	
2	30" x 80"	Single-Flush	
3	34" x 80"	Single-Flush	30" MIN. CLEAR OPENING
4	32" x 80"	Single-Pocket	
5	34" x 80"	Single-Glass with Sidelight	32" MIN. CLEAR OPENING - NO STEP ENTRY - 34" x 80" SIDELIGHT
10	32" x 80"	Single-Flush	
11	24" x 80"	Single-Pocket	
12	30" x 80"	Single-Pocket	
13	30" x 80"	Single-Pocket	
14	30" x 80"	Single-Pocket	
15	24" x 80	Single-Flush	
16	32" x 80"	Single-Flush	
17	24" x 80"	Bifold-2 Panel	
18	32" x 80"	Single-Flush	
19	30" x 80"	Single-Pocket	
20	68" x 80"	Sliding-2 Panel	

Window Schedule					
Mark	Rough Opening		Type	Head Height	Comments
	Width	Height			
A	3' - 0"	6' - 0"	Double Hung with Trim	8' - 0"	
B	3' - 0"	5' - 0"	Double Hung with Trim		8'-0" 1ST LEVEL, 6'-8" 2ND LEVEL
C	2' - 0"	4' - 0"	Double Hung with Trim	8' - 0"	
D	2' - 0"	3' - 0"	Double Hung with Trim		8'-3" 1ST LEVEL, 2'-6" & 7'-3" 2ND LEVEL AT STAIRS
E	3' - 0"	4' - 0"	Double Hung with Trim	8' - 0"	8'-0" 1ST LEVEL, 6'-8" 2ND LEVEL
F	3' - 0"	2' - 0"	Slider with Trim	6' - 8"	
H	1' - 4"	1' - 4"	Fixed with Trim	8' - 1 1/2"	1X4 TRIM VERT AND AT HEAD

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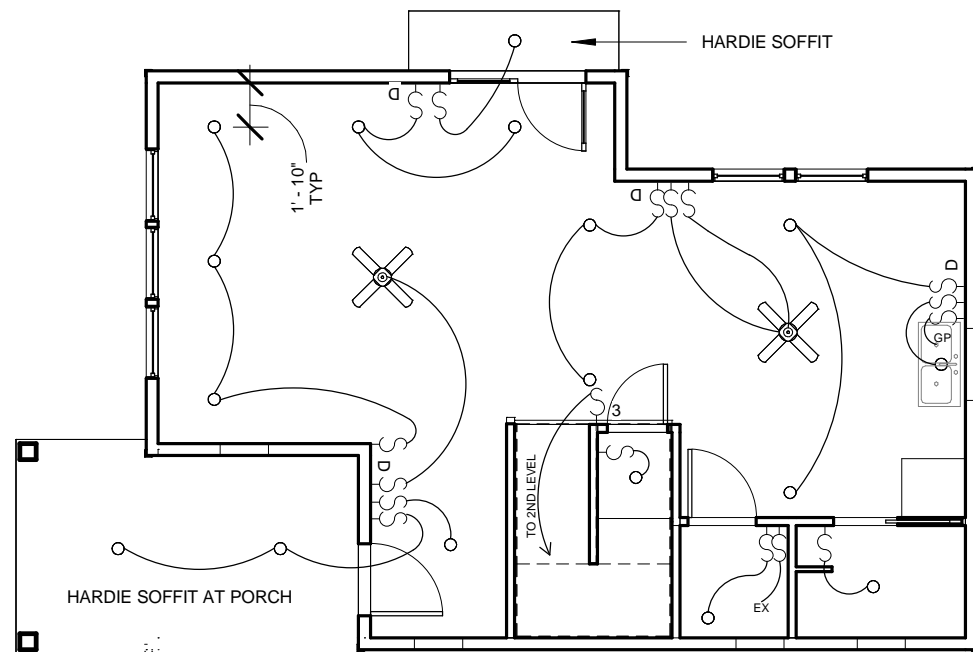
DRAWN BY: JM

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DATE: 2/14/19

REVISIONS:

SCHEDULES

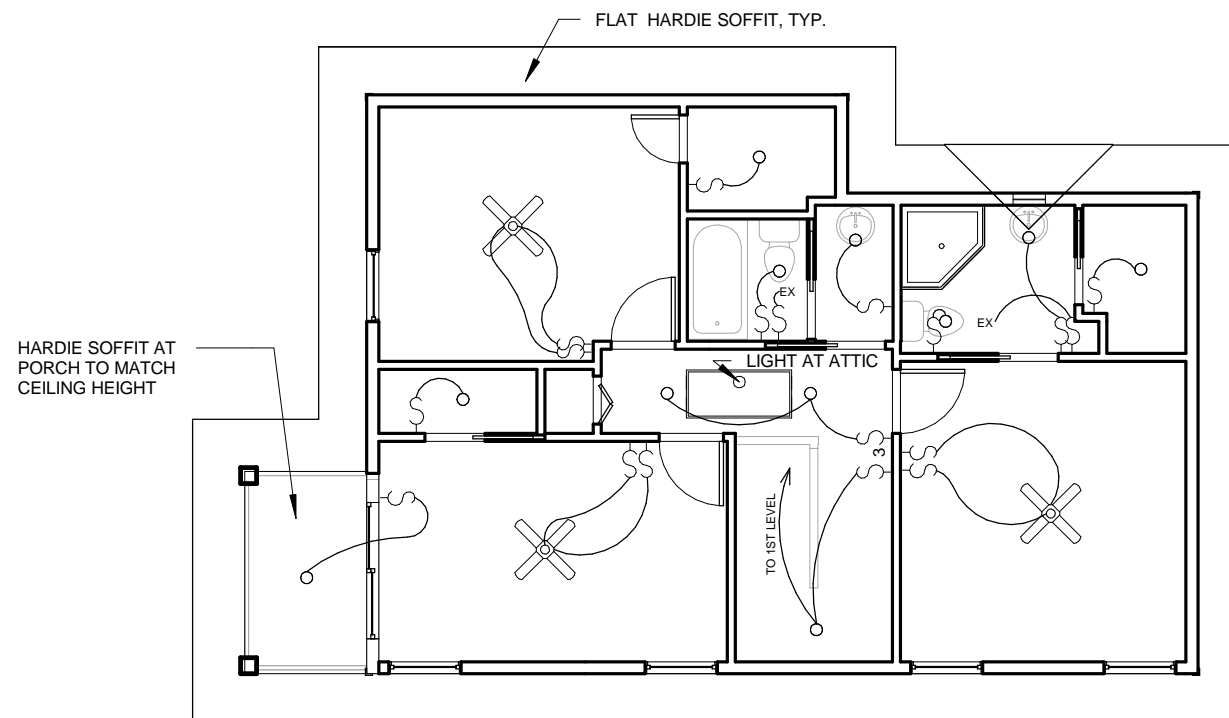


1 **FIRST LEVEL REFLECTED CEILING PLAN**
1/8" = 1'-0"

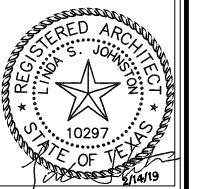
NOTE:

1. ALL FIRST FLOOR LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.

2. ALL FIRST FLOOR OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.



2 **SECOND LEVEL REFLECTED CEILING PLAN**
1/8" = 1'-0"

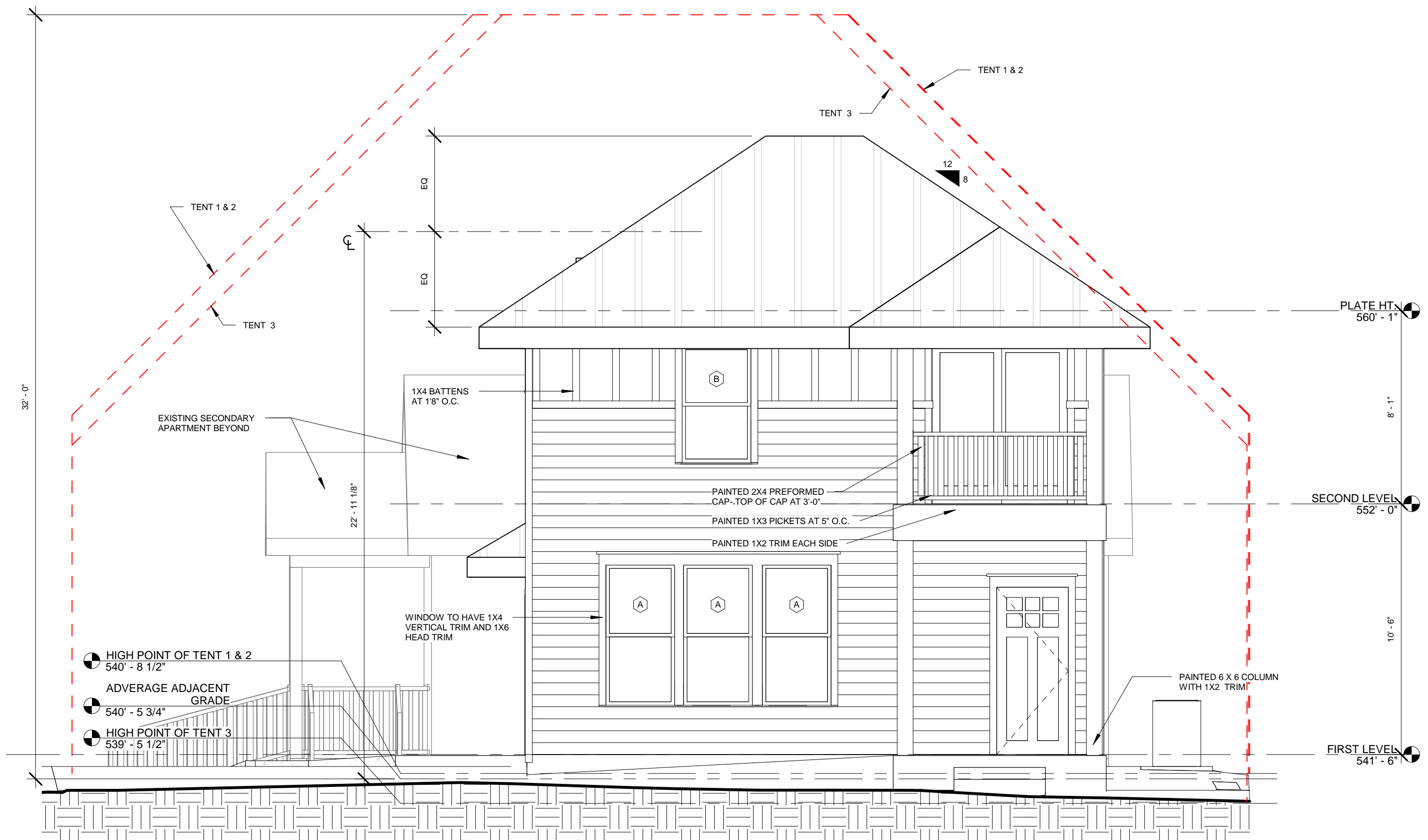


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REVISIONS:

REFLECTED
CEILING PLANS



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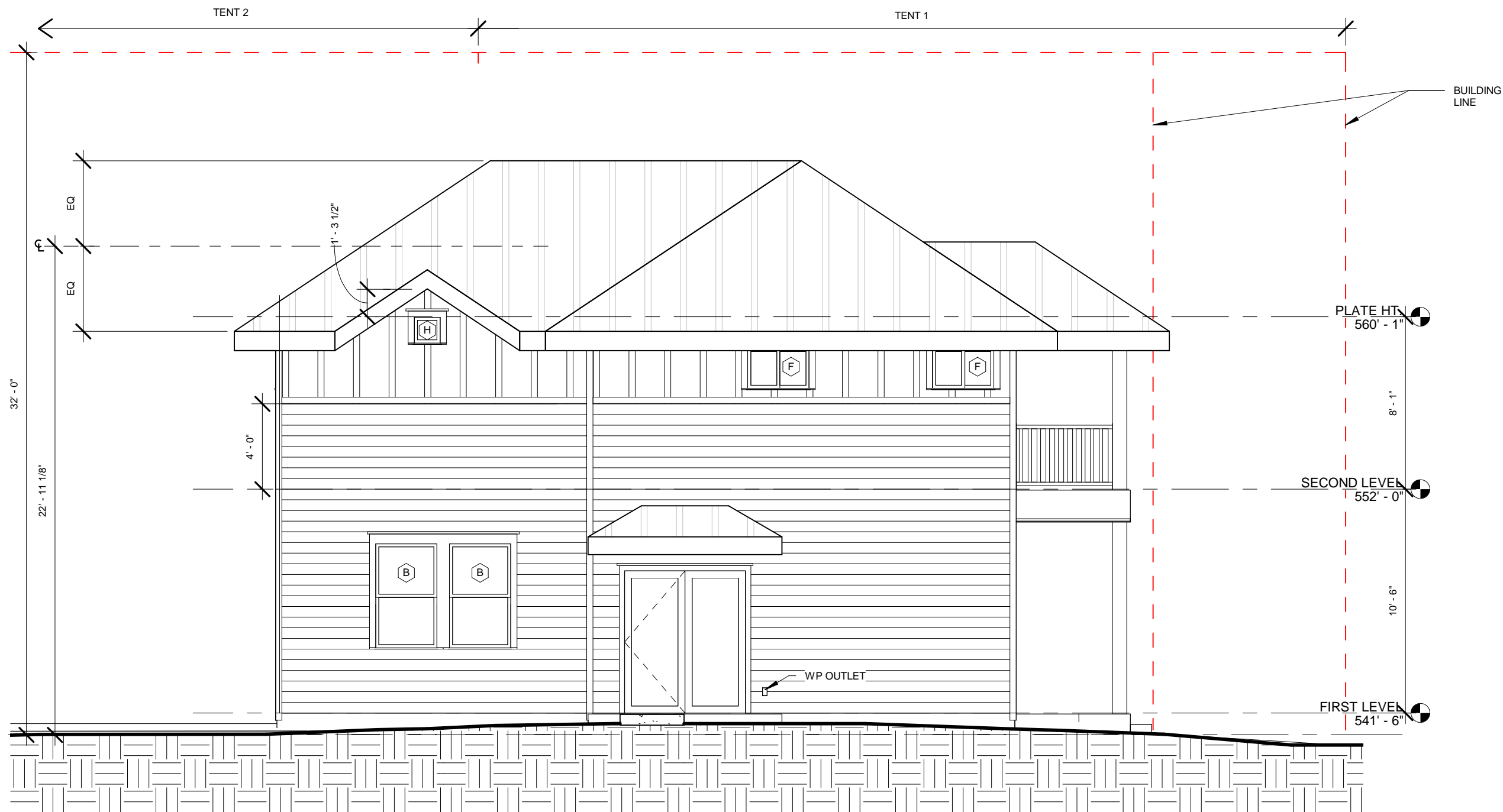
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CHECKED BY: JM
DATE: 2/14/19

REVISIONS:

WEST ELEVATION

A-6

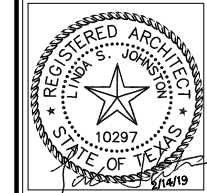


1 NORTH HOUSE ELEVATION
3/16" = 1'-0"

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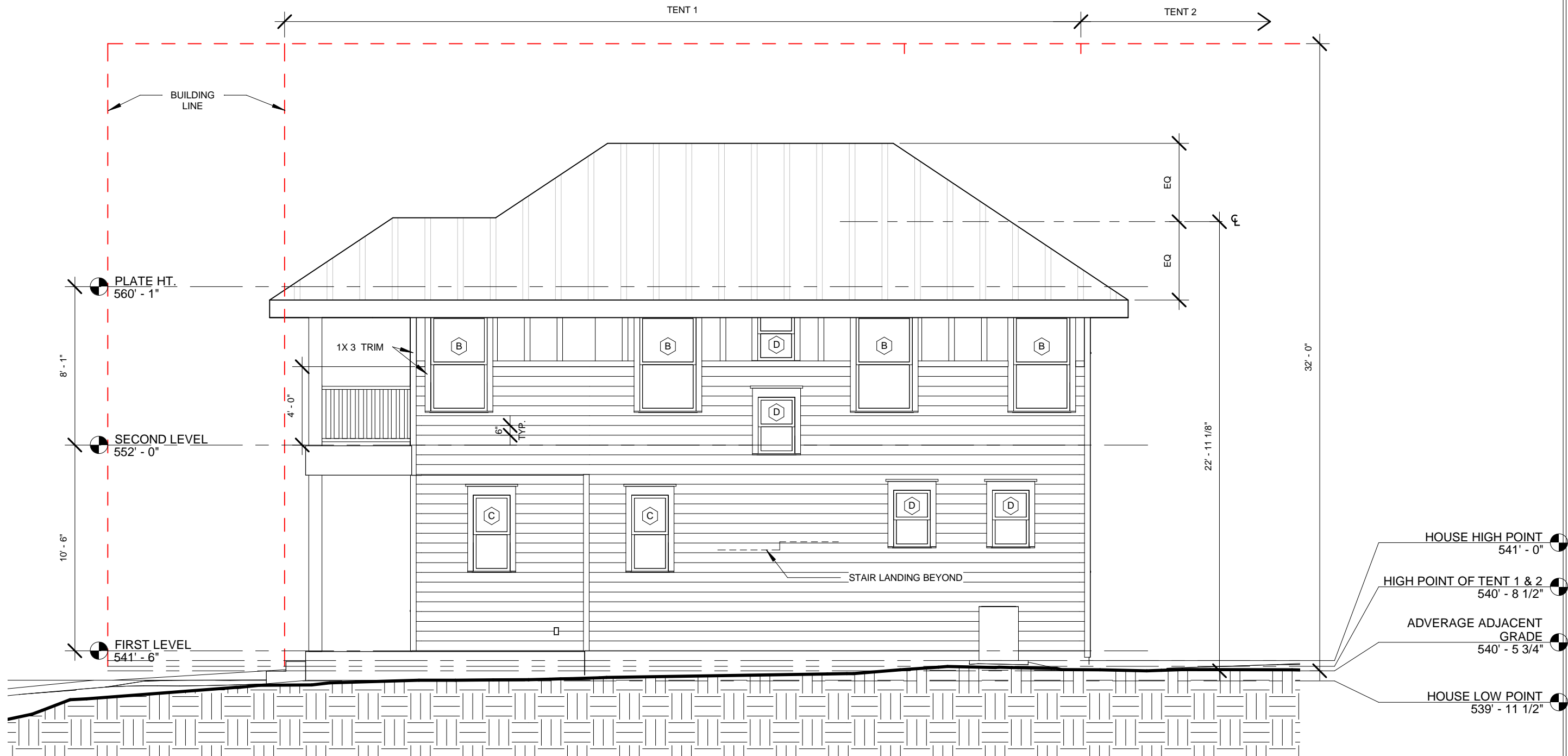
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DRAWN BY: LSJ
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DATE: 2/14/19

REVISIONS:

NORTH HOUSE
ELEVATION

A-7



1 SOUTH HOUSE ELEVATION
3/16" = 1'-0"

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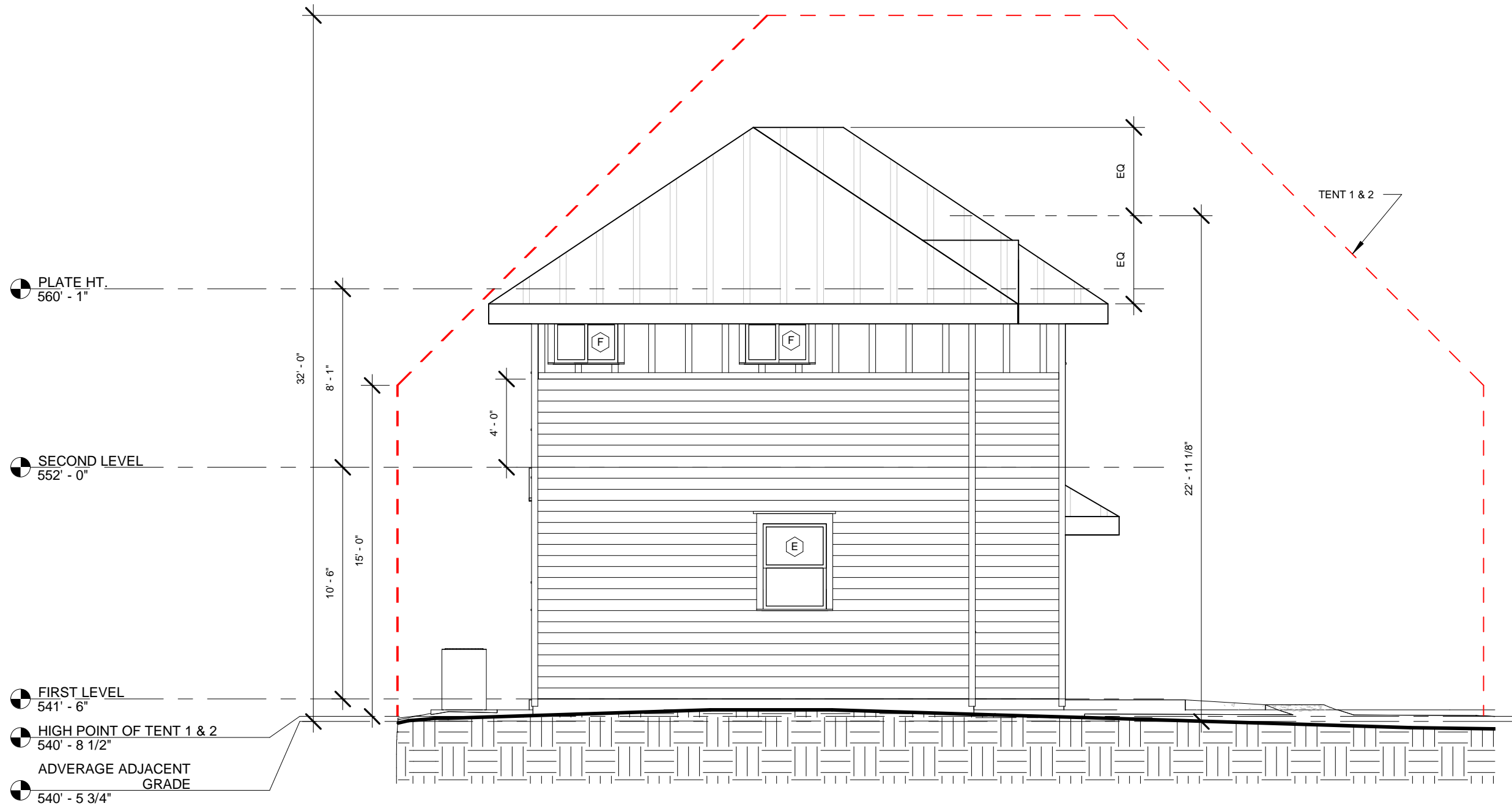
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DRAWN BY: LSJ
CHECKED BY: JM
DATE: 2/14/19

REVISIONS:

SOUTH HOUSE
ELEVATION

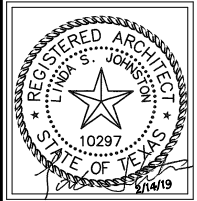
A-8



1 EAST HOUSE ELEVATION
3/16" = 1'-0"

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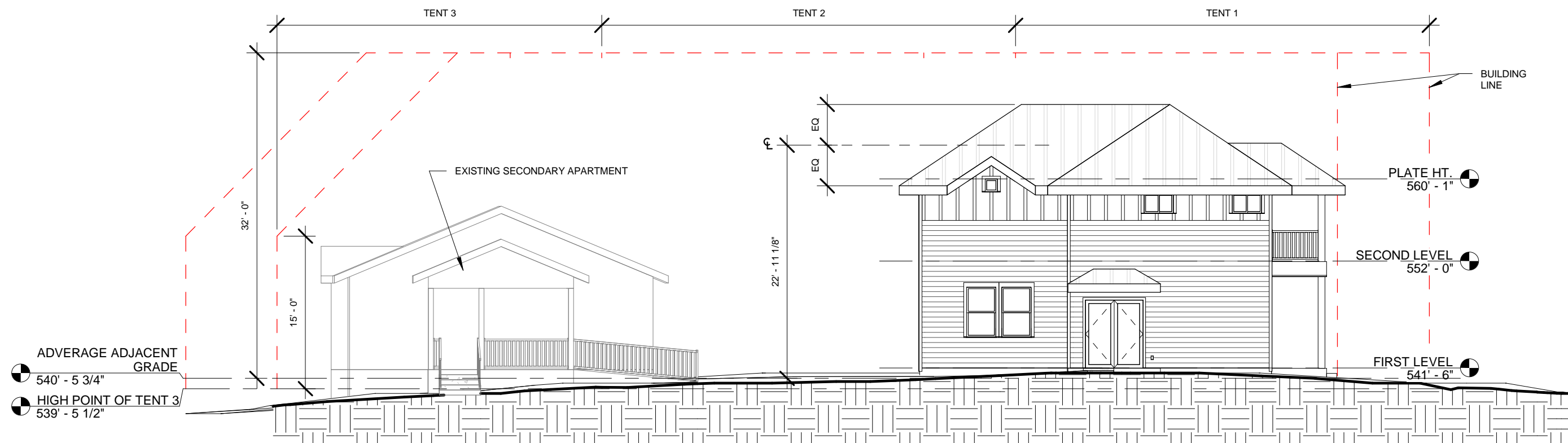
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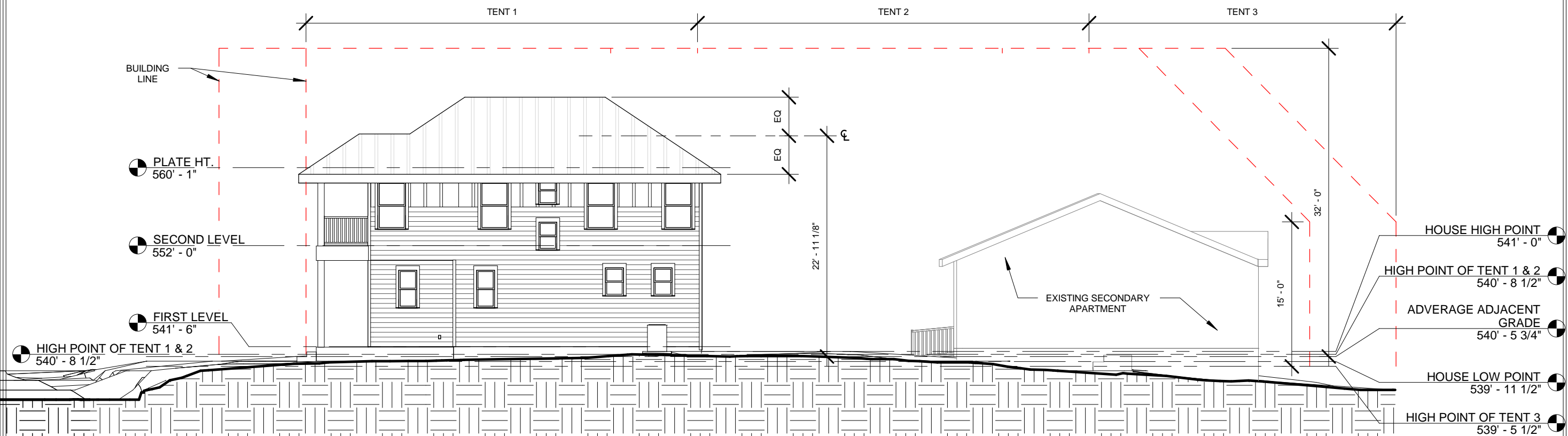
REVISIONS:

EAST HOUSE
ELEVATION

A-9



2 NORTH SITE ELEVATION
3/32" = 1'-0"

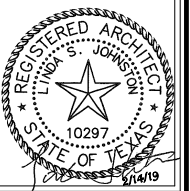


1 SOUTH SITE ELEVATION
3/32" = 1'-0"

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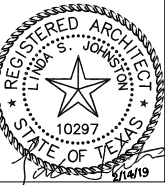
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DATE: 2/14/19

REVISIONS:

NORTH & SOUTH
SITE ELEVATIONS

A-10



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AUSTIN, TEXAS 78702

AWN BY: JSM

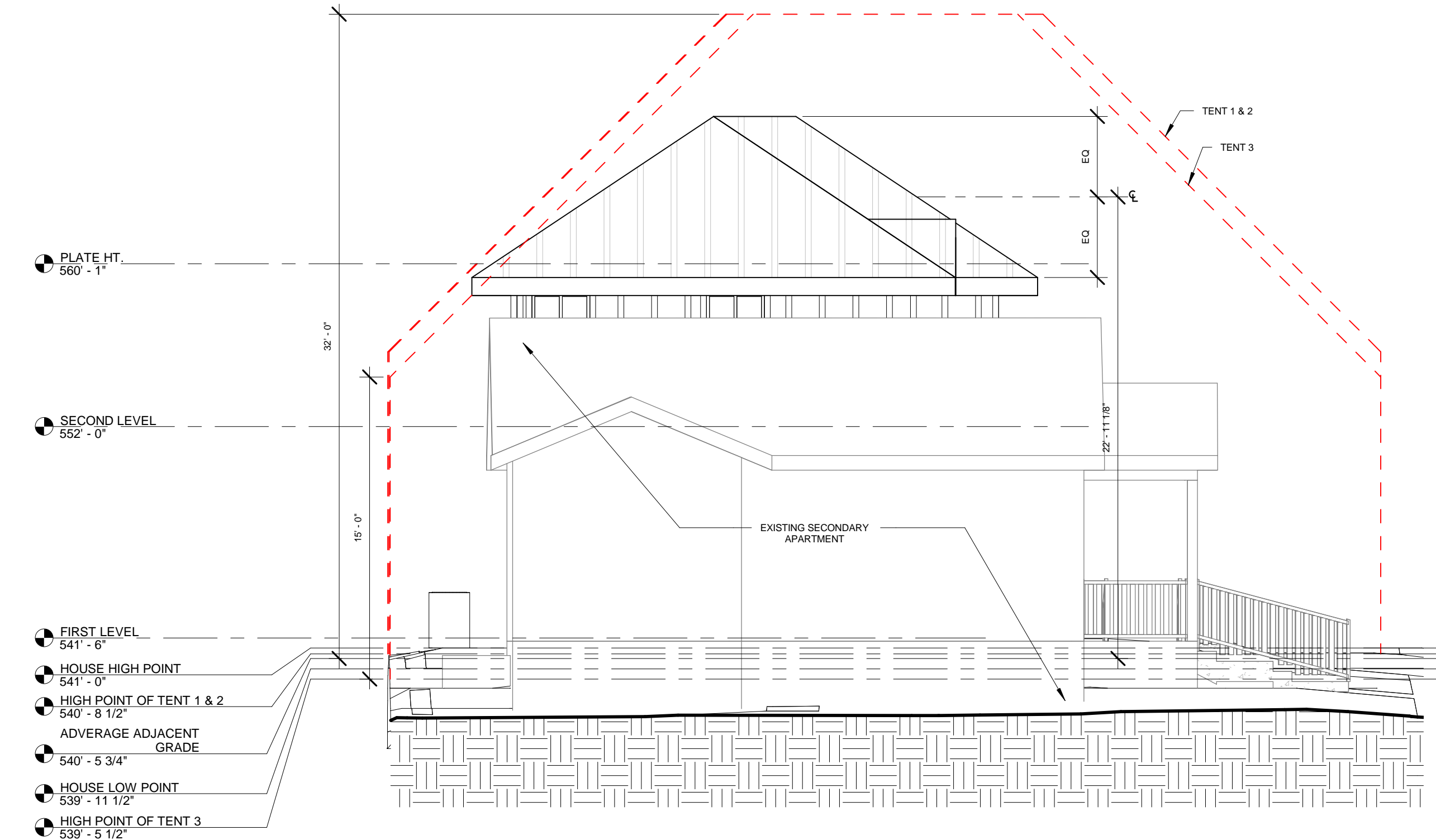
CHECKED BY: LSJ

DATE: 2/14/19

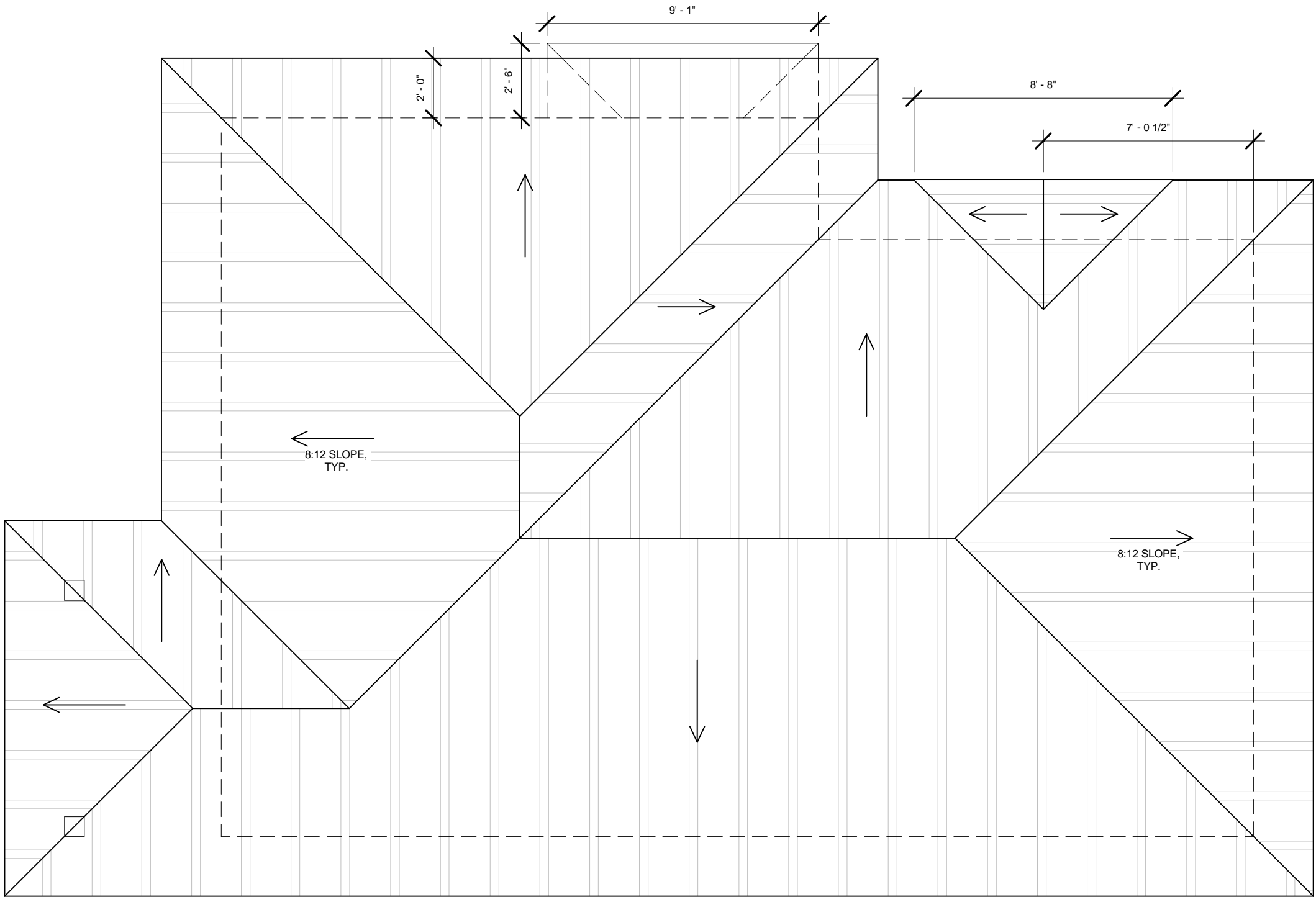
REVISIONS:

EAST SITE
ELEVATION

A-11



1 EAST SITE ELEVATION
3/16" = 1'-0"

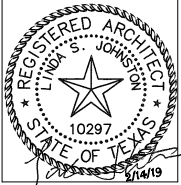


1 Roof Plan
1/4" = 1'-0"

L.S. Johnston
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fax 512 478-4972



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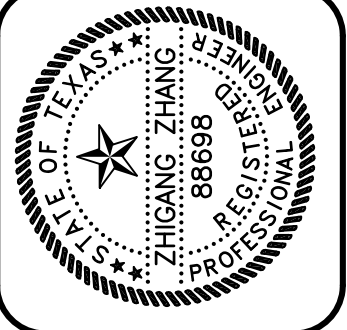
REVISIONS:

ROOF PLAN

A-12

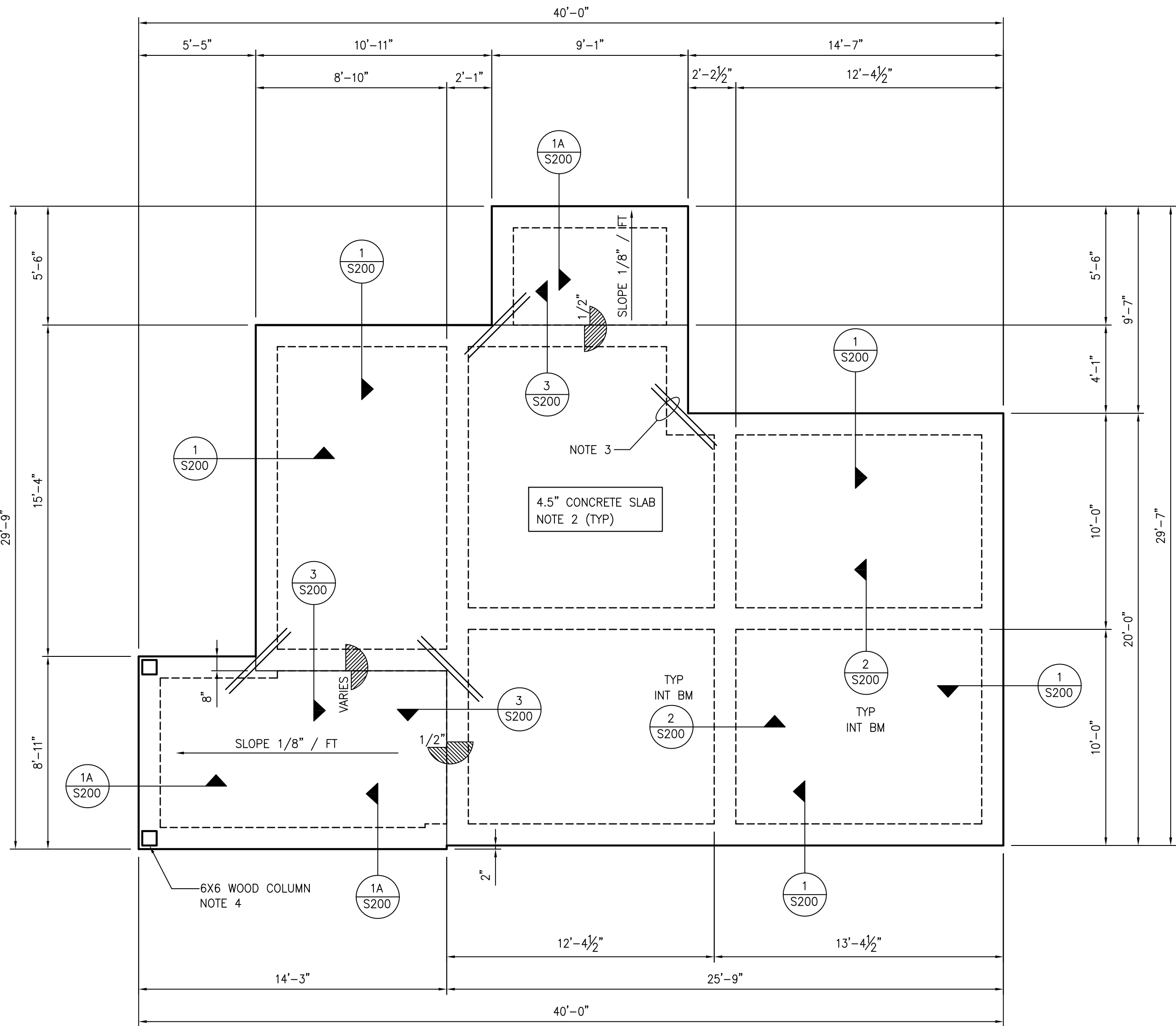
DETAILS SCALE TO 3/8"=1'-0" IN 11X17 SHEET

Zhiyong Zhang
01/22/2019



GREENEARTH ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2200 N. MICHIGAN AVE., SUITE 100
AUSTIN, TEXAS 78701
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19028

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AUSTIN, TEXAS

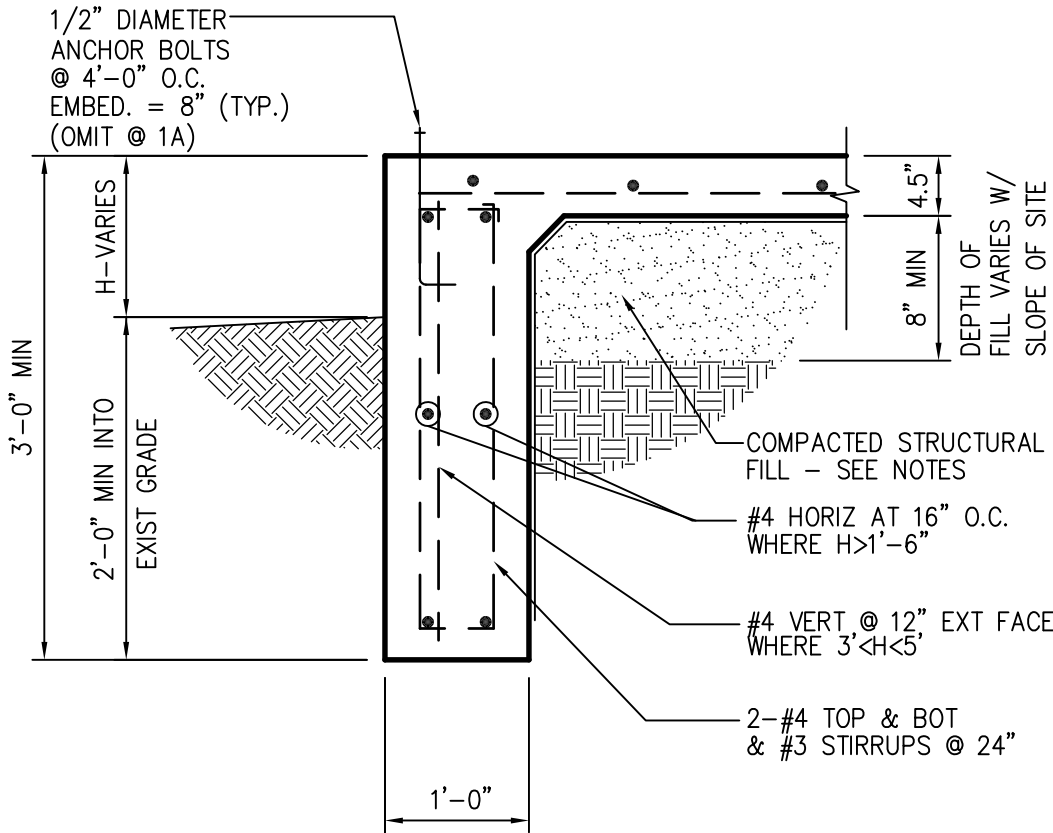


FOUNDATION PLAN

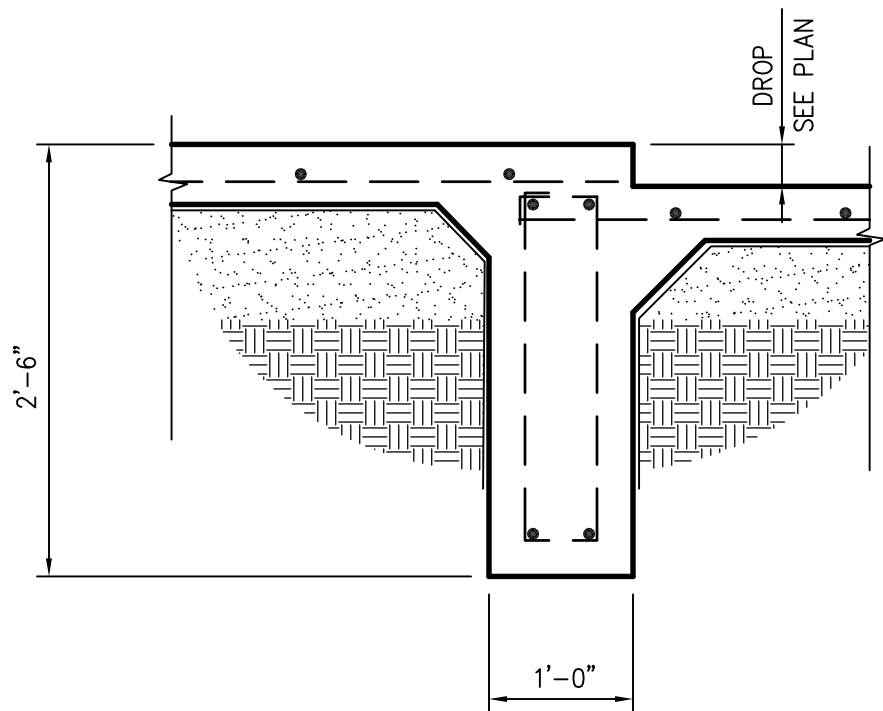
1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

PLAN NOTES:

1. VERIFY ALL DIMENSIONS, SLAB DROPS W/ ARCHITECTURAL DRAWINGS PRIOR TO STARTING WORK.
2. 4.5" SLAB OVER VAPOR RETARDER OVER COMPACTED STRUCTURAL FILL. REINF SLAB WITH #3 @ 12" O.C.E.W. AT MID DEPTH. SEE NOTES FOR STRUCTURAL FILL REQUIREMENTS.
3. 2-#3x4'-0" CORNER BARS - TYPICAL AT ALL RE-ENTRANT CORNERS.
4. PROVIDE SIMPSON CBSQ POST BASE.

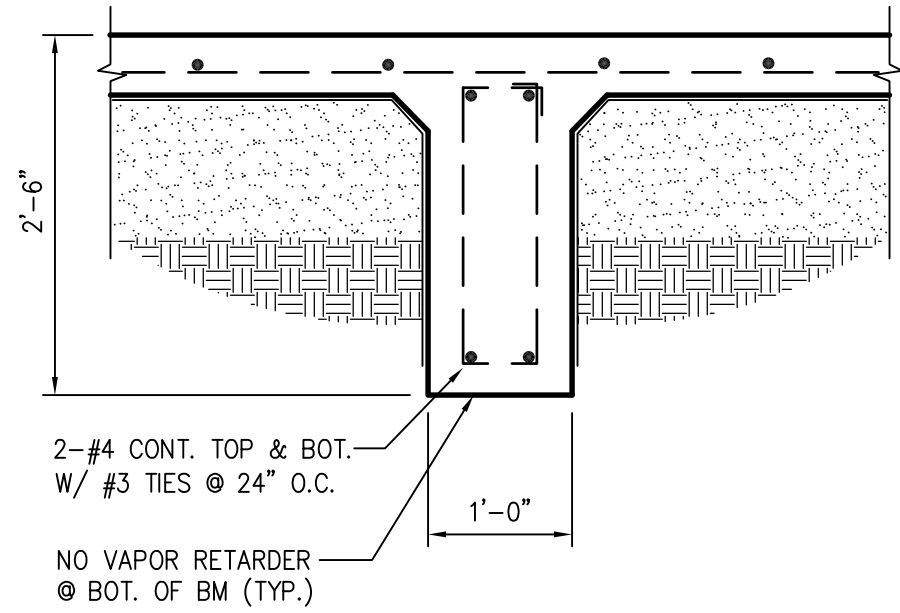


1A SECTION
3/4" = 1'-0"



NOTE: SEE 1/THIS SHEET FOR INFORMATION NOT SHOWN.

3 SECTION
3/4" = 1'-0"



NOTE: SEE 1/THIS SHEET FOR INFORMATION NOT SHOWN.

2 SECTION
3/4" = 1'-0"

BUILDING PAD PREPARATION

1. Structural fill material shall consist of crushed limestone base material with the gradation as follows:

Retained on 2-1/2" screen	0%
Retained on 1-1/2" screen	0% - 25%
Retained on 3/4" screen	15% - 55%
Retained on 1/4" screen	45% - 75%
Retained on No. 40 mesh sieve	60% - 90%

2. Prior to placing fill material, remove all organic and other deleterious material from the existing subgrade for the area within the building line. All exposed surfaces shall then be recompact to a minimum of 95 percent of the maximum dry density as defined by TxDOT test method TEX 113-E or 114-E at a moisture content within 3 percent of the optimum moisture content.
This procedure does not apply to the protected tree's 50% CRZ.
3. Structural fill shall be placed in 8 inch loose lifts, watered as required and compacted to a minimum of 95 percent of the maximum dry density as defined in TxDOT test method TEX 113-E at a moisture content within 3 percent of the optimum moisture content.
This procedure does not apply to the protected tree's 50% CRZ.

4. Provide a 10 mil polyolefin Stego retarder. Place vapor barrier in accordance with manufacturer's recommendation on top of structural fill.

CAST IN PLACE CONCRETE

1. Cast in place concrete shall meet the following requirements:

Class	28 Day Strength	Aggregate Type	Size	Slump	Use
A	3000 psi	C 33	1"	4" to 6"	Slab-on-grade & grade beams

The use of fly ash is recommended, but shall not exceed 25% of the total of the cement plus fly ash by weight.

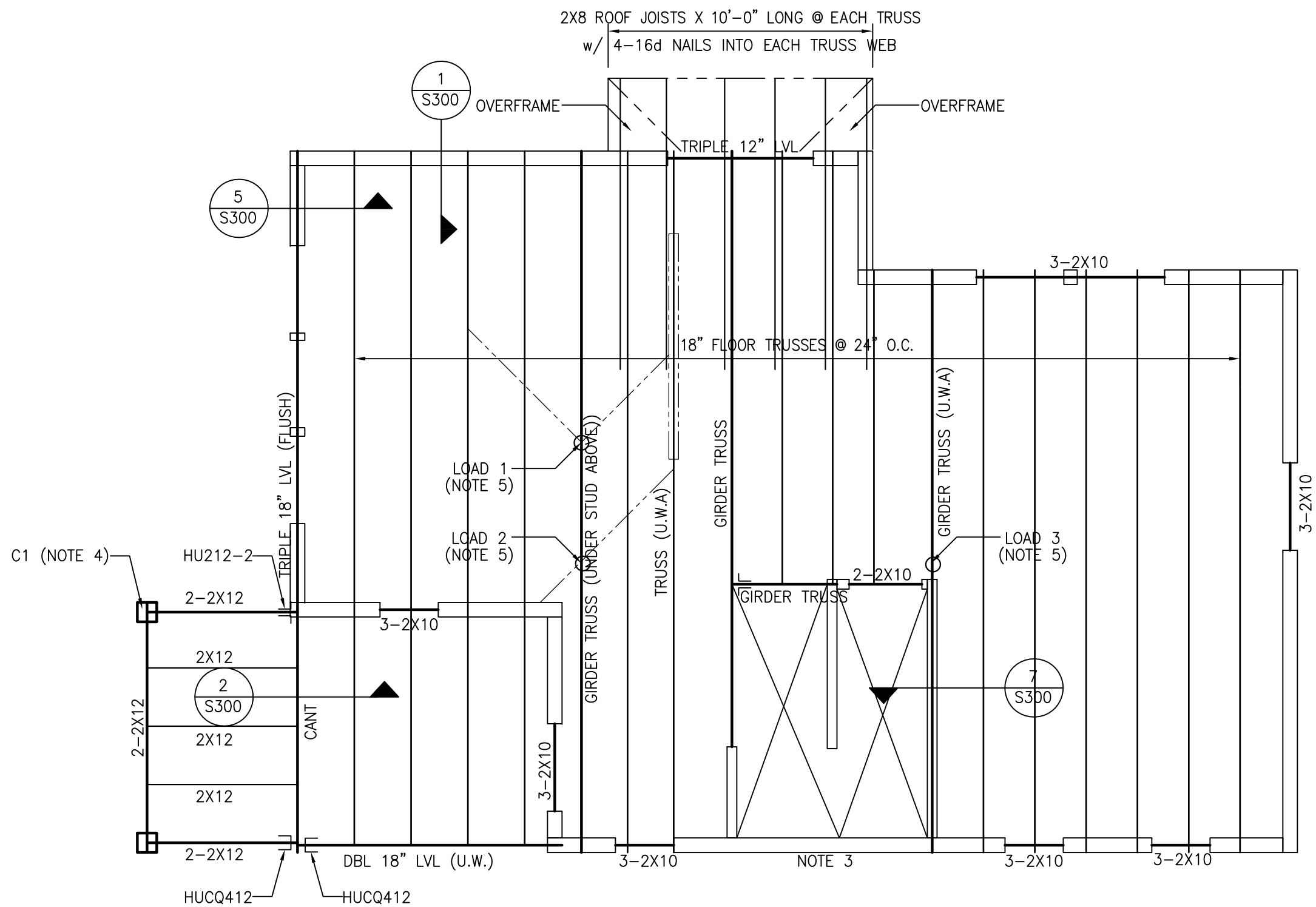
CONCRETE REINFORCING

1. Reinforcing steel shall be deformed new billet steel bars in accordance with ASTM A615 Grade 60.
2. Detailing of reinforcing steel shall conform to the American Concrete Institute Detailing Manual.
3. Provide 2-#4 bent bar with 2'-0" legs top and bottom in interior and exterior face of grade beams at corners and top and bottom in exterior face of grade beam at intersections.
4. All hooks and bends in reinforcing bars shall conform to ACI detailing standards unless shown otherwise.
5. Welding of reinforcing steel will not be permitted.
6. Heat shall not be used in the fabrication or installation of reinforcement.
7. Reinforcing steel clear cover shall be as follows:
 - a. Grade beams - 1 1/2" top, 3" bottom, 2" side (formed), 3" side (placed against earth)

REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 01/22/2019

SHEET NO.
S100
OF



2ND FLOOR/LOWER ROOF FRAMING PLAN

1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

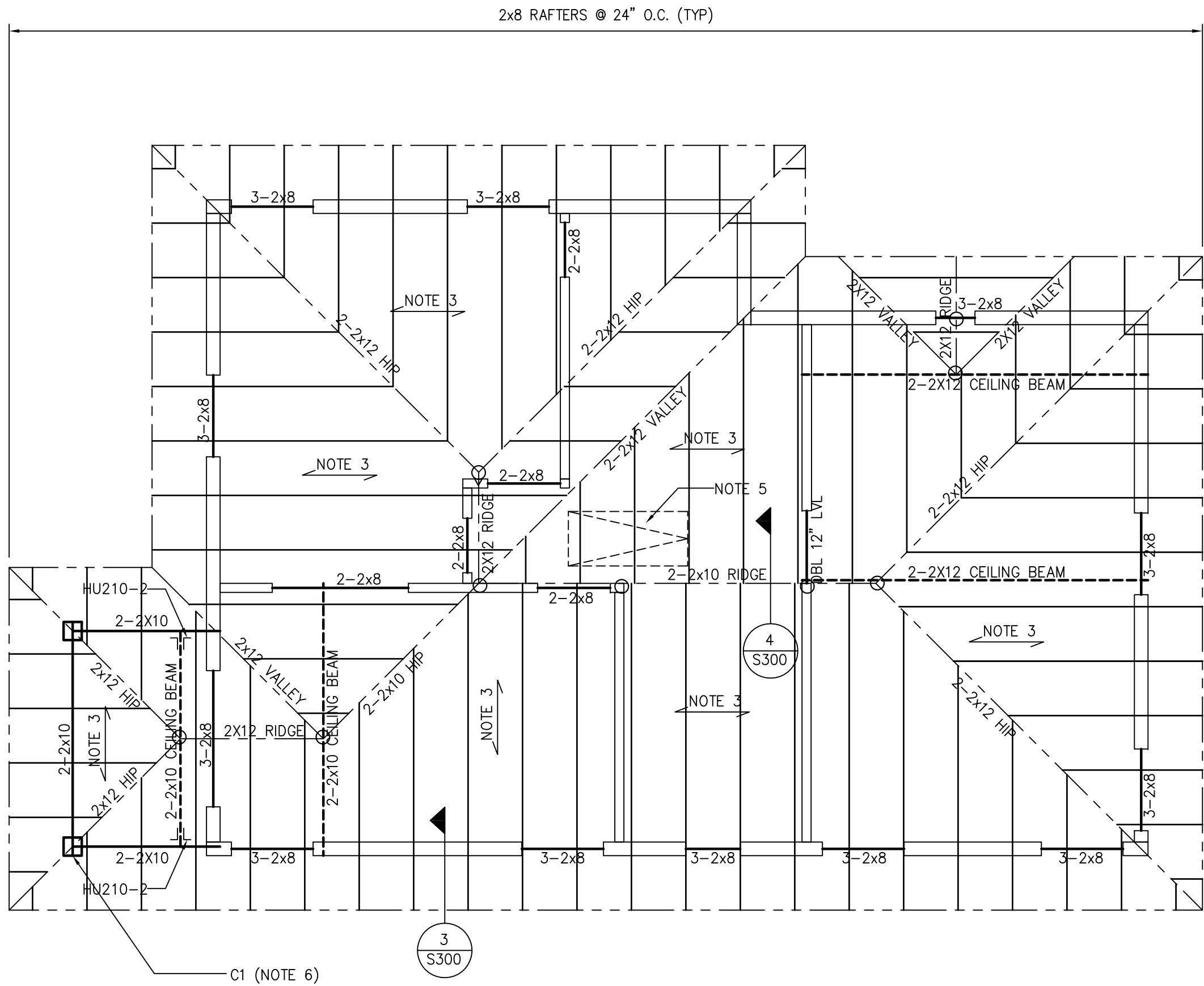
PLAN NOTES:

- ALL EXT. WALLS ARE 2X6 @ 16" LOAD BEARING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.

ALL INTERIOR WALLS ARE 2x4 @ 16" LOAD BEARING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.

SEE ARCH'L FOR 2x6 PLUMBING WALLS.
- BEAMS AND HEADERS SHALL BE SUPPORTED BY BUILT-UP COLUMNS & BLOCK SOLID TO FOUNDATION. SEE SCHEDULE IN THIS SHEET FOR BUILT-UP COLUMN SIZES.
- WALLS AT STAIR OPENING NEED TO BE 2X6 AND CONTINUOUS FROM FOUNDATION TO ROOF.
- C1 = 6X6 WOOD COLUMN. PROVIDE SIMPSON LTS12 TIE BETWEEN BEAM AND COLUMN.
- FLOOR TRUSSES SHALL BE DESIGNED FOR ADDITIONAL LOAD FROM WALL ABOVE.
LOAD 1 : DL = 1500 LBS, LL = 3000 LBS;
LOAD 2 : DL = 1100 LBS, LL = 2200 LBS;
LOAD 3 : DL = 1300 LBS, LL = 2600 LBS;

BUILT-UP COLUMN SCHEDULE	
BEAM SIZE	BUILT-UP STUD COLUMN
2- 1 3/4"x14" LVL & UP	4- STUD COLUMN
2- 1 3/4"x12" LVL	3- STUD COLUMN
3- 2 x__	3- STUD COLUMN
2- 2 x 12	3- STUD COLUMN
2- 2 x 10 OR SMALLER	2- STUD COLUMN



ROOF FRAMING PLAN

1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

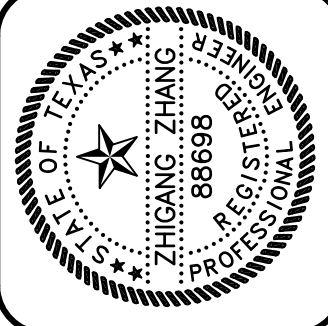
PLAN NOTES:

- ALL EXT. WALLS ARE 2X6 @ 16" LOAD BEARING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.

ALL INTERIOR WALLS ARE 2x4 @ 16" LOAD BEARING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.

SEE ARCH'L FOR 2x6 PLUMBING WALLS.
- BEAMS AND HEADERS SHALL BE SUPPORTED BY BUILT-UP COLUMNS & BLOCK SOLID TO FOUNDATION. SEE SCHEDULE IN THIS SHEET FOR BUILT-UP COLUMN SIZES.
- 2x8 CEILING JOISTS @ 24" O.C.
- O DESIGNATES 2-2x4 BRACE TO WALL BELOW.
- ATTIC ACCESS. USE 2-2X8 AND HU28-2 HANGERS ALL AROUND.
- C1 = 6X6 WOOD COLUMN. PROVIDE SIMPSON LTS12 TIE BETWEEN BEAM AND COLUMN AT TOP & BOTTOM.

Zhiyong Zhang
01/22/2019



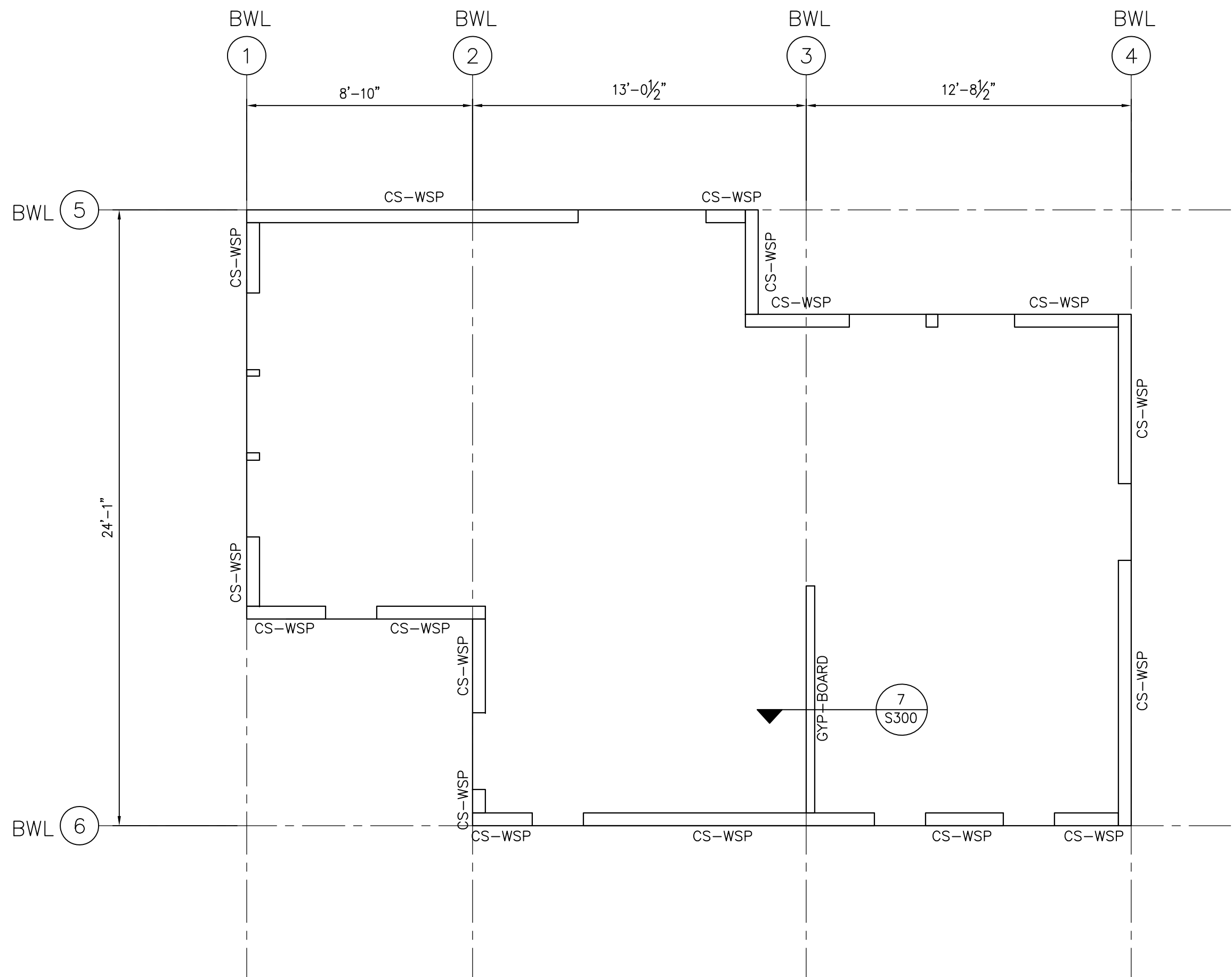
GREENEARTH ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2514 LAMAR AVENUE, SUITE 200
AUSTIN, TEXAS 78705
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19028

809 SAN MARCOS ST
AUSTIN, TEXAS

REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 01/22/2019

SHEET NO.
S200
OF

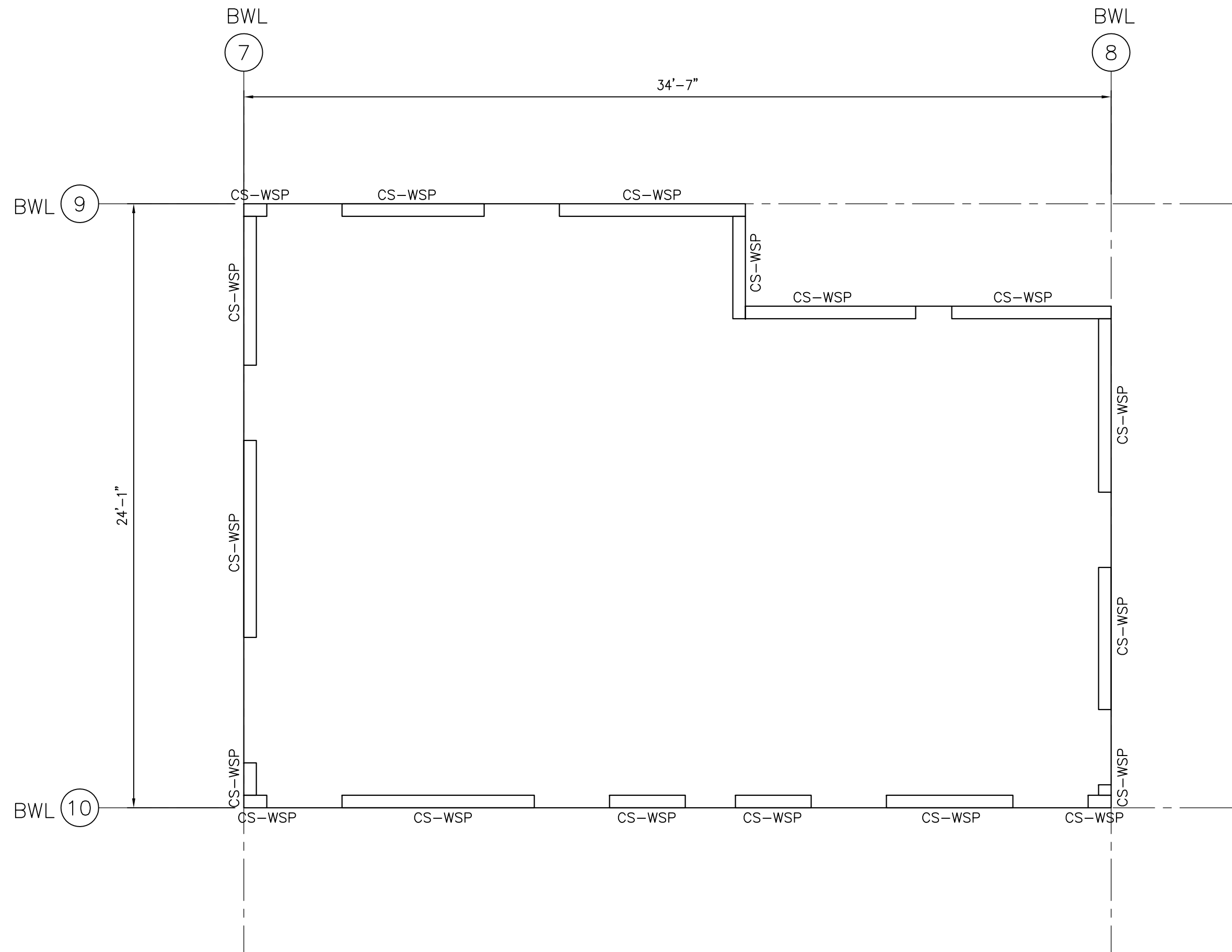


1ST FLOOR WALL BRACING PLAN

1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

BRACE WALL LINE DATA				
BWL	STORY	BWL SPACING (FEET)	REQUIRED LENGTH (FT)	PROVIDED LENGTH (FT)
1	1 OF 2	9	3.5	6+
2	1 OF 2	14	5	5+
3	1 OF 2	14	10	10+
4	1 OF 2	13	5	15+
5	1 OF 2	25	7.8	10+
6	1 OF 2	25	7.8	15+
7	2 OF 2	35	5.5	10+
8	2 OF 2	35	5.5	10+
9	2 OF 2	25	4.3	10+
10	2 OF 2	25	4.3	10+

LEGENDS: BWL = BRACED WALL LINE; CS-WSP = CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL;
GB = GYPSUM BOARD; CS-PF = CONTINUOUS SHEATHED PORTAL FRAME.



2ND FLOOR WALL BRACING PLAN

1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

- BRACED WALL LINE DATA BASED ON SEISMIC DESIGN CATEGORY A AND A WIND SPEED OF 115 MPH OR LESS.
- MAXIMUM BWL SPACING SHALL NOT EXCEED 60 FEET O.C.;
- WOOD STRUCTURAL PANEL SHALL BE 1/2" OSB (OR PLYWOOD) SHEATHING AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
- ALL HORIZONTAL PANEL SPLICES SHALL BE BLOCKED WITH BLOCKING EQUAL TO WALL STUD SIZE AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C.
- THE FLOOR DECK SHALL BE 3/4" MIN OSB OR PLYWOOD DECK AND SHALL BE FASTENED WITH 8d COMMON NAILS. @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING. (STAPLE OPTION: 16-GAGE STAPLES @ 3" O.C. AT PANEL EDGES AND 6" O.C. AT INTERMEDIATE FRAMING)
- THE ROOF DECK SHALL BE 1/2" MIN OSB OR PLYWOOD DECK AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING. (STAPLE OPTION: 16-GAGE STAPLES @ 3" O.C. AT PANEL EDGES AND 6" O.C. AT INTERMEDIATE FRAMING)
- GYPSUM BOARD SHALL BE 1/2" THICK AND SHALL BE FASTENED WITH 6d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.

Zhiyong Zhang
01/22/2019



GREENEARTH ENGINEERING, INC.
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2000 N. BRUNNEN DRIVE, SUITE 100
AUSTIN, TEXAS 78751
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19028

809 SAN MARCOS ST
AUSTIN, TEXAS

REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 01/22/2019

SHEET NO.
S201
OF

STRUCTURAL GENERAL NOTES

CODES

- Building Code: 2015 International Residential Code.
- Wood Framing: National Design Specifications For Wood Construction with Supplement, National Forest and Paper Products Association, Latest Edition.
- Structural Plywood: Plywood Design Specification, American Plywood Association, Latest Edition.
- Prefabricated Metal Plate Connected Wood Trusses: Design Standard for Metal Plate Connected Wood Truss Construction, ANSI/TPI 1-95.

DESIGN LOADS

- Live Loads
 - Roof 20 psf
 - Floor 40 psf
 - Stair 40 psf

TIMBER FRAMING

- Unless otherwise noted, all structural framing lumber shall be clearly marked no. 2 southern yellow pine or douglas fir, except that non-loadbearing interior walls may be stud grade southern yellow pine, douglas fir, or spruce-pine-fir.
- All wood headers, beams, and top plates shall be no. 2 Southern Yellow Pine or Douglas Fir.
- All load bearing walls shall have solid 2x blocking at 4'-0" o.c. maximum vertically. End nail with 2-16d nails or side toe nail with 2-16d nails.
- Provide double studs at all wall corners and on each side of all openings, unless noted or detailed otherwise.
- The entire exterior wall framing shall be braced by a 1/2" thick panel of APA rated sheathing with an exposure 1 rating extending from the top plate to the sill plate. Where wall is taller than 8'-0", provide multiple panels as required to extend from sill plate to top plate. Provide 2x blocking as required to support all panel edges. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports.
- Solid 2x blocking or bandboard shall be provided at supports and cantilever ends of all wood joists, and between supports in rows not exceeding 8'-0" apart.
- All framing members framing into the side of a header, hip, valley, ridge, truss or any other beams shall be attached using metal joist hangers manufactured by the Simpson Company or equal. The hanger shall be sized and installed in accordance with the manufacturers recommendations for the size of joist supported.
- Nailing and attachment of all framing members and sheathing shall be as specified in the International Residential Code Nailing Schedule (Table R602.3) unless noted otherwise in the drawings. Common wire nails or spikes, or galvanized box nails shall be used for all framing unless noted otherwise.
- Place a single plate at the bottom and a double plate at the top of all stud walls. Exterior sill plates shall be bolted to the foundation with 1/2" anchor bolts with a minimum embedment of 8" spaced at 4'-0" on center. Provide a minimum of two bolts per plate segment. Sill plates in contact with concrete or masonry shall be pressure treated with a preservative.
- Provide double joists under all interior partition walls oriented parallel to the joists.
- Provide triple studs (or cripples) at each end of any header, beam, ridge, valley, or hip spanning over 10'-0" unless noted otherwise. Provide double studs (or cripples) at each end of any header, beam, ridge, valley, or hip spanning 5'-0" to 10'-0" unless noted otherwise.
- The new generation of pressure treated lumber products are highly corrosive to metal connectors and fasteners. All fasteners and metal connectors used in conjunction with the new generation of pressure treated lumber shall be hot-dip galvanized or stainless steel. These locations include, but are not limited to the following:
 - Anchor bolts at sole plate to foundation.
 - Nails from sole plate to wall studs.
 - Nails at exterior plywood sheathing to sole plate.
 - Bolts at ledger to concrete.
 - Joist to treated ledger connections.
 - All hangers on treated joists.
 - Wood posts to concrete.
 - Deck board to treated joists.

PREFABRICATED METAL PLATE CONNECTED WOOD TRUSSES

- Trusses shall be designed by the Contractor in accordance with the Truss Plate Institute "Design Standard for Metal Plate Connected Wood Truss Construction" (ANSI/TPI 1-95).
- Truss members shall be clamped in a mechanical or hydraulic jig with sufficient pressure to bring members into reasonable contact at all joints during application of connector plates.
- Provide adequate erection bracing in accordance with Truss Plate Institute publication HIB-91.
- Truss Manufacturer shall provide permanent bracing as required by the design of the trusses. Erection bracing may remain in place as permanent bracing where it does not interfere with the architectural finishes.
- All timber truss members shall be Southern Yellow Pine with a maximum moisture content of 19%. Chord members shall be no. 2 or better and web members shall be no. 3 or better.
- Connection plates shall be manufactured by a WTCA member plate manufacturer. Plates shall be 20 gauge minimum, ASTM A446 grade A steel, with a G60 galvanized coating.
- Trusses shall be designed in accordance with the following requirements:
 - Top chords shall be designed to resist the local bending induced by the floor or roof uniform load on the top chord.
 - Limit live load deflection of floor trusses to L/480. Total load deflections shall be limited to L/360.

COMPOSITE WOOD MEMBERS

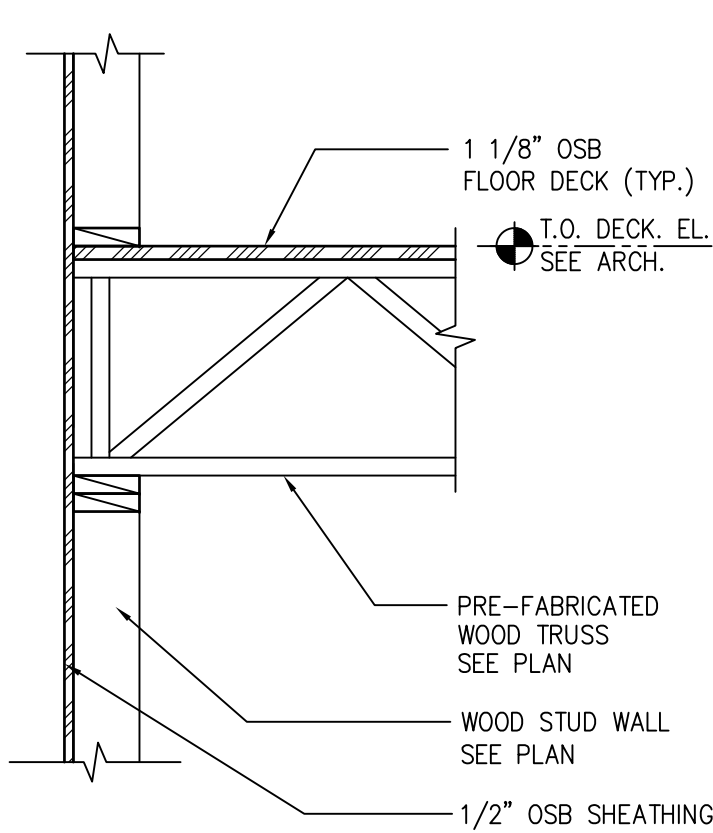
- Where noted on the drawings, joists shall be TJI "SP" series engineered wood joists, and beams shall be "Micro-Lam" or "Parallam" beams as manufactured by the Trus Joist Macmillan Corporation.
- Do not notch joists or beams. Drill holes through webs of engineered wood members for mechanical, electrical or plumbing services in accordance with the recommendations of the engineered wood product manufacturer.
- Multiple wood beams up to three members thick shall be nailed together with three rows of 16d nails at 12" on center. Four or more multiple wood beams and any multiple wood beams utilizing beams thicker than 1 3/4" shall be bolted together with 1/2" diameter bolts top and bottom at supports and ends of the beam, then at 24" on center, staggered top and bottom for the full length of the beam.
- Where multiples of two 1 3/4" Micro-Lam beams are noted on the drawings, contractor may provide single 3 1/2" beams in lieu of double 1 3/4" beams.
- Provide web stiffeners where required by the manufacturer for the specified support condition.

STRUCTURAL STEEL

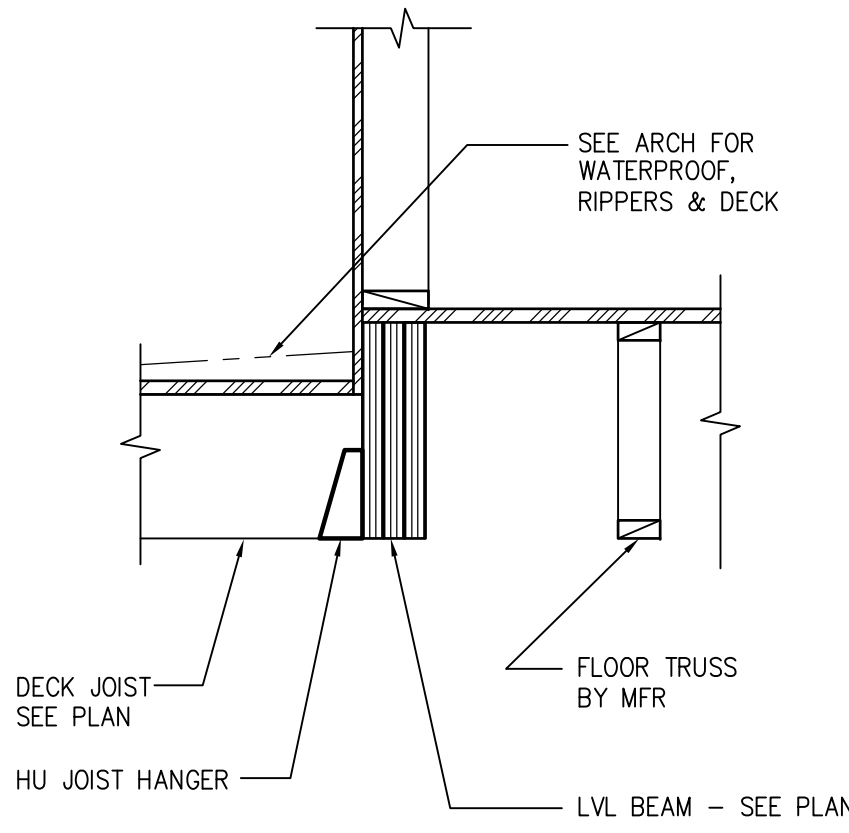
- Structural Steel W-shapes shall conform to ASTM A992. Steel plates, angles, and channels may be ASTM A572, grade 50 or ASTM A36. Steel pipe shall conform to ASTM A501 or ASTM A53, Type E or S, grade B. Steel tube shall conform to ASTM A500, grade B, Fy 46 ksi.
- Column base plates shall be grouted with a nonshrink, high strength nonmetallic grout. Pre-grouting of column base plates will NOT be permitted.
- Splicing of structural steel members is prohibited without prior approval of the Engineer as to location and type of splice to be made. Any member having splice not shown and detailed on shop drawings will be rejected.

STRUCTURAL STEEL CONNECTIONS

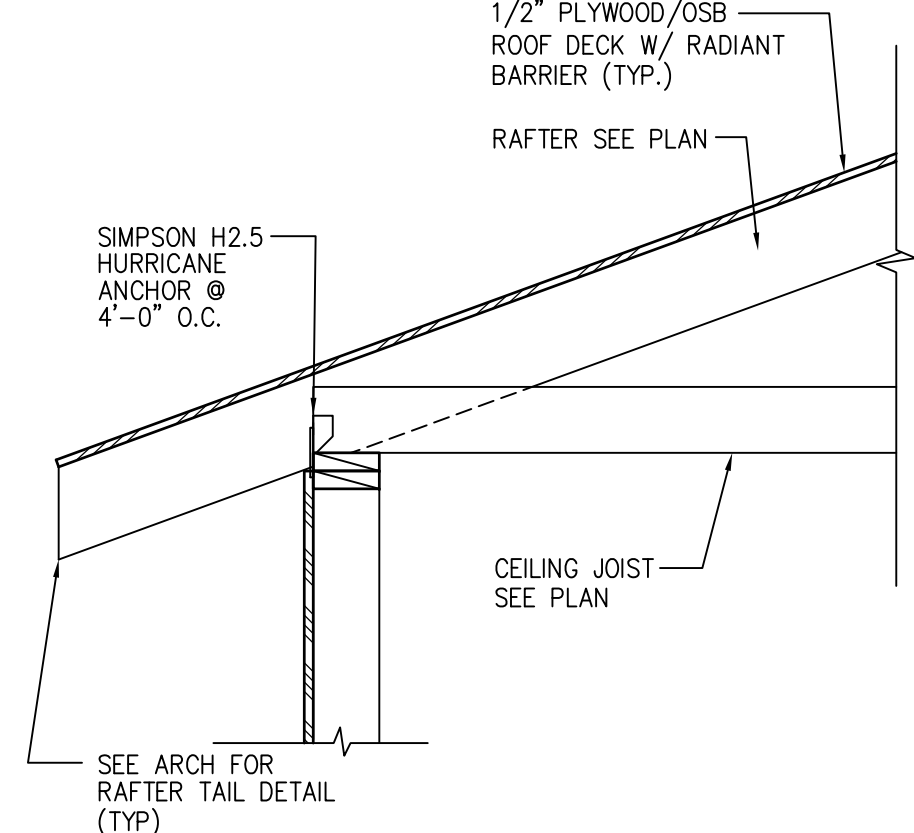
- Welding shall conform to ANSI/AWS D1.1, latest edition.
- Bolts shall conform to ASTM A325. Bolts shall be designed using values for bearing type bolts with thread allowed in the shear plane.



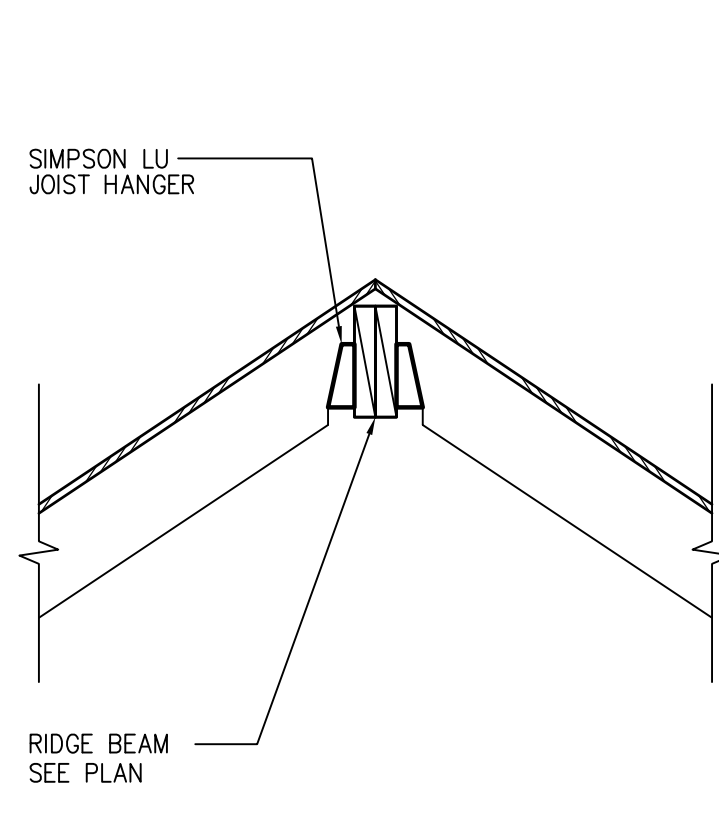
1 SECTION
3/4" = 1'-0"



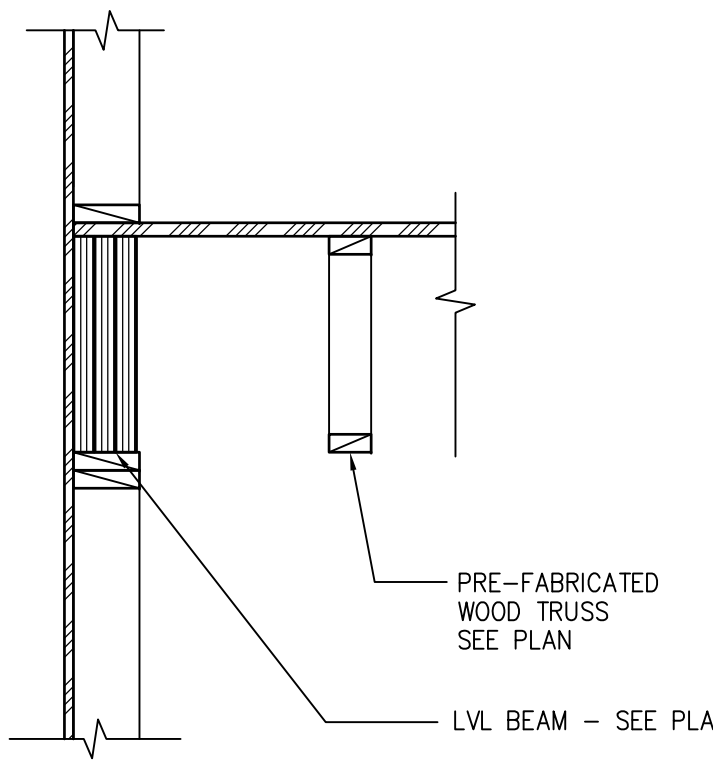
2 SECTION
3/4" = 1'-0"



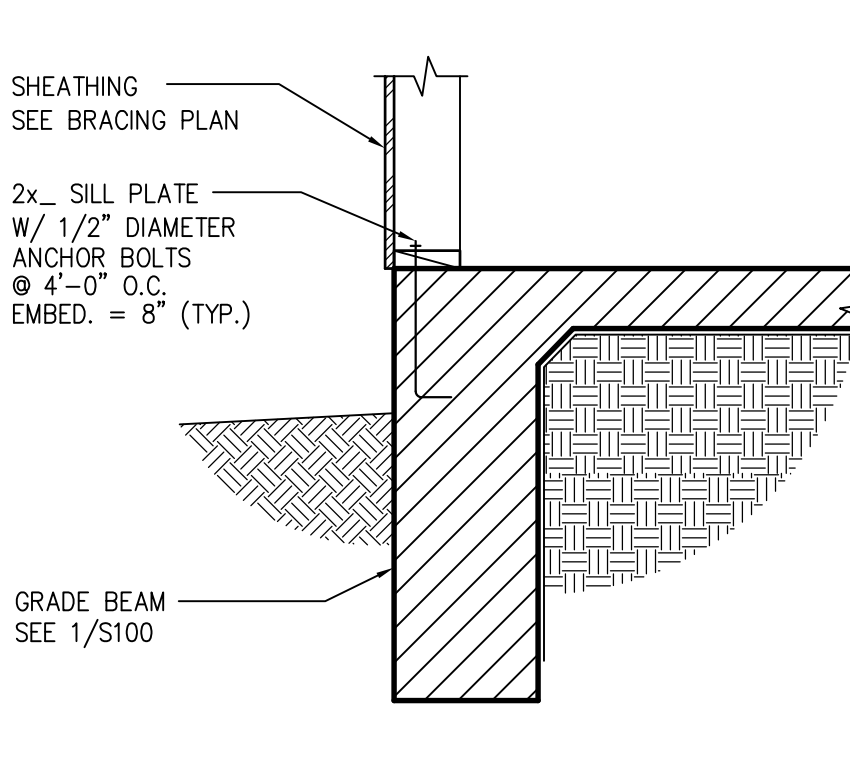
3 SECTION
3/4" = 1'-0"



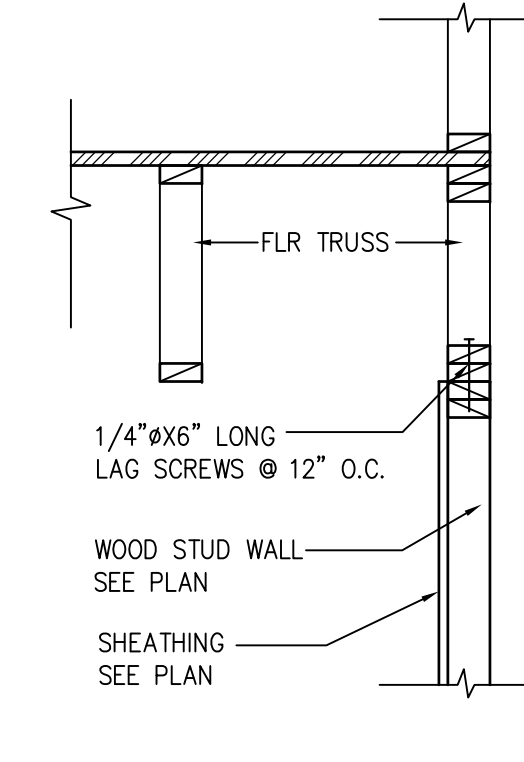
4 SECTION
3/4" = 1'-0"



5 SECTION
3/4" = 1'-0"

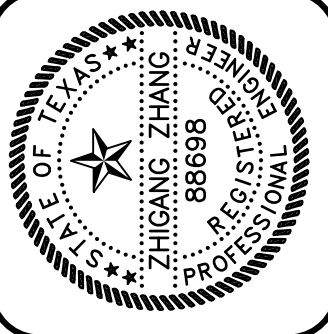


6 SECTION
3/4" = 1'-0"



7 SECTION
3/4" = 1'-0"

Zhiyong Zhang
01/22/2019



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2000 N. MICHIGAN AVE., SUITE 100
AUSTIN, TEXAS 78701
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19028

809 SAN MARCOS ST
AUSTIN, TEXAS

REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 01/22/2019

SHEET NO.
S300
OF

BENCHMARK
TOP OF MAG NAIL SET
ELEVATION= 538.15'
NAVD 1988 DATUM

SAN MARCOS STREET

20' ALLEY

SINGLE STORY
FRAME
RESIDENCE

N. 50' OF W. 50' OF
LOT 11 & N. 50' OF
LOT 12, BLOCK 4
5,916.6 SQ. FT.

SINGLE STORY
FRAME
RESIDENCE

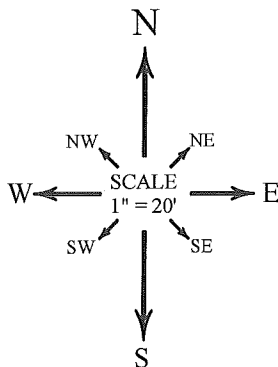
PEDRO A. SANTIS
AND ROSA E. SANTIS
0.4493 ACRES
(TAX ID# 194805)

PEDRO A. SANTIS
AND ROSA E. SANTIS
0.4493 ACRES
(TAX ID# 194805)

LEGEND

- 1/2" ROD FOUND
- "X" SCRIBE FOUND IN CONC.
- MAG NAIL FOUND
- CHAIN LINK FENCE
- () RECORD INFORMATION
- WATER METER
- AIR CONDITIONER
- UTILITY POLE
- OH OVERHEAD UTILITY LINE(S)
- DOWN GUY
- MANHOLE
- GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- OFF OUTSIDE OF SUBJECT BOUNDARY
- TREE
- (M) MULTI-STEM TREE

TREE LIST	
(106)	13" CREPEMYRTLE (M)
(107)	10.5" CEDAR ELM
(108)	11.5" CEDAR ELM
(172)	7" UNKNOWN



ALLSTAR
Land surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 48453C0465J PANEL: 0465J DATED: JANUARY 06, 2016

THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

ADDRESS

GUADALUPE NEIGHBORHOOD
DEVELOPMENT CORPORATION
809 SAN MARCOS STREET
AUSTIN, TRAVIS COUNTY, TEXAS

SURVEY DATE:	NOVEMBER 6, 2018	FILED BY:	MARIO RODRIGUEZ	11/01/2018
TITLE CO.:	-	CALC. BY:	CHRIS ZOTTER	11/06/2018
G.F. NO.:	-	DRAWN BY:	SEAN SUTTON	11/06/2018
JOB NO.:	A1011518	RPLS CHECK:	EDWARD RUMSEY	11/06/2018

RESTRICTIONS

-RESTRICTIONS:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

BEING THE NORTH FIFTY FEET OF THE WEST FIFTY FEET OF LOT 11, BLOCK 4 AND THE NORTH FIFTY FEET OF LOT 12, BLOCK 4, OUTLOTS 2 AND 3, DIVISION "B", GEO. L. ROBERTSON SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 1, PAGE 4, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

NOTICE

BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

BEARING BASIS:

BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL.



TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

TEXAS HISTORICAL COMMISSION

real places telling real stories

June 2, 2019

Dawn Perkins
City of Austin
1000 East 11th Street
Austin, TX 78747

Re: *Project Review under Section 106 of the National Historic Preservation Act, Proposed demolition and new construction at 809 San Marcos Street, proposed Robertson/Stuart & Mair Historic District, Austin, Travis County, Texas (106/ HUD, Tracking #201907876)*

Dear Ms. Perkins,

Thank you for your correspondence regarding the above-referenced project. This letter serves as comment on the proposed undertaking from the State Historic Preservation Officer (SHPO), the Executive Director of the Texas Historical Commission (THC).

The review staff, led by Charles Peveto and Elizabeth Brummett, has completed its review of the information provided. The proposed project consists of demolition of the house at 809 San Marcos Street in Austin, Texas, and construction of a new two-story house on the same parcel. This house was identified in the 2016 East Austin Historic Survey as contributing to the potential Robertson Hill Historic District. Presently, the Robertson/Stuart & Mair Historic District is under consideration for designation as a historic district by the City of Austin. Our office concurs that this area is eligible for the National Register of Historic Places and that the house at 809 San Marcos Street is a contributing property. As such, its demolition constitutes an **ADVERSE EFFECT** to this historic property and the surrounding historic neighborhood.

Given the proposed federal funds for this project, regulations for Section 106 of the National Historic Preservation Act at 36 CFR Part 800 require ongoing consultation with our office, interested parties, and the public to develop and evaluate alternatives to avoid, minimize, or mitigate the adverse effect. We suggest reaching out to the county historical commission, Preservation Austin, and neighborhood groups involved in the local historic district designation to determine if they are interested in participating in consultation. The City of Austin must also notify the Advisory Council on Historic Preservation (ACHP) of the adverse effect and inquire whether they will participate in consultation. Through this process, our office will seek to understand the factors that contributed to this house being proposed for demolition rather than rehabilitation, as the Guadalupe Neighborhood Development Corporation has done with other homes in this area. Ultimately, if demolition cannot or will not be avoided, this consultation will result in a Memorandum of Agreement describing mitigation for the loss of the historic resource before demolition may proceed. For more information on the Section 106 consultation process, please refer to the ACHP website at achp.gov.

Thank you for including plans for the proposed new construction on this parcel. We anticipate providing comments as a later point in the consultation.

Thank you for your cooperation in this federal review process, and for your efforts to preserve the irreplaceable heritage of Texas. We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. **If you have**



GREG ABBOTT, GOVERNOR • JOHN L. NAU, III, CHAIR • MARK WOLFE, EXECUTIVE DIRECTOR

P.O. BOX 12276 • AUSTIN, TEXAS • 78711-2276 • P 512.463.6100 • F 512.475.4872 • thc.texas.gov

any questions or if we can be of further assistance, please contact Elizabeth Brummett at 512/463-6167.

Sincerely,



A. Elizabeth Brummett, State Coordinator for Project Review

For: Mark Wolfe, State Historic Preservation Officer

MW/aeb

Cc: Rachel Stone and Mark Rogers, Guadalupe Neighborhood Development Corporation, *via email*
Cara Bertron, Deputy Historic Preservation Officer, City of Austin, *via email*
Bob Ward, Chair, Travis County Historical Commission, *via email*

Attachment 12

Noise Abatement and Control

Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR - Part 51 Subpart B

Airport Noise Overlays - City of Austin Communication and Technology Management

Traffic Data from TX Department of Transportation

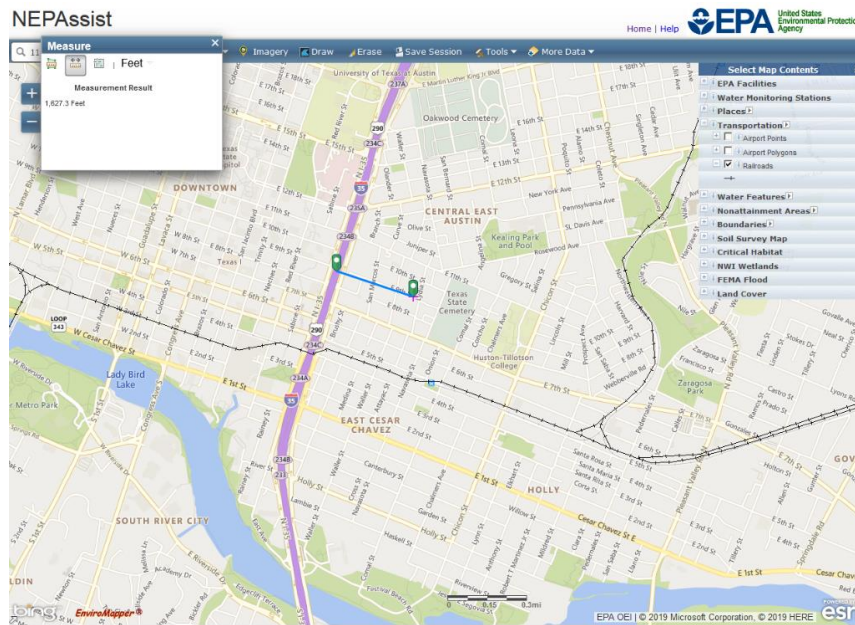
RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

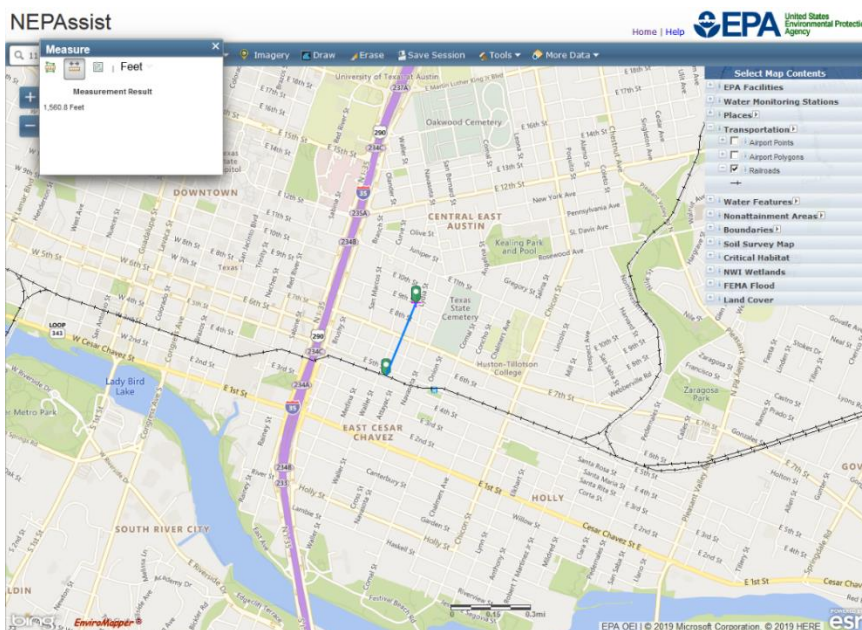
1. (1113 East 9th St)

Major Roadway – More than 1000 Ft (1,627.3 Ft) from Site

No DNL Calculation Needed



Railway – Less than 3000 Ft (903 Ft) from Site



DNL Rail Calculation = Acceptable (58.2529)

Railroad #1 Track Identifier:		Metro Rail Light Plaza Saltillo
--------------------------------------	--	---------------------------------

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1560.8
Average Train Speed		30
Engines per Train		1
Railway cars per Train		2
Average Train Operations (ATO)		31
Night Fraction of ATO		15
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		58.2529
Calculate Rail #1 DNL	58.2529	Reset

Add Road Source	Add Rail Source
------------------------	------------------------

Airport Noise Level	
Loud Impulse Sounds?	<input type="radio"/> Yes <input type="radio"/> No

Combined DNL for all Road and Rail sources	58.2529
Combined DNL including Airport	N/A
Site DNL with Loud Impulse Sound	

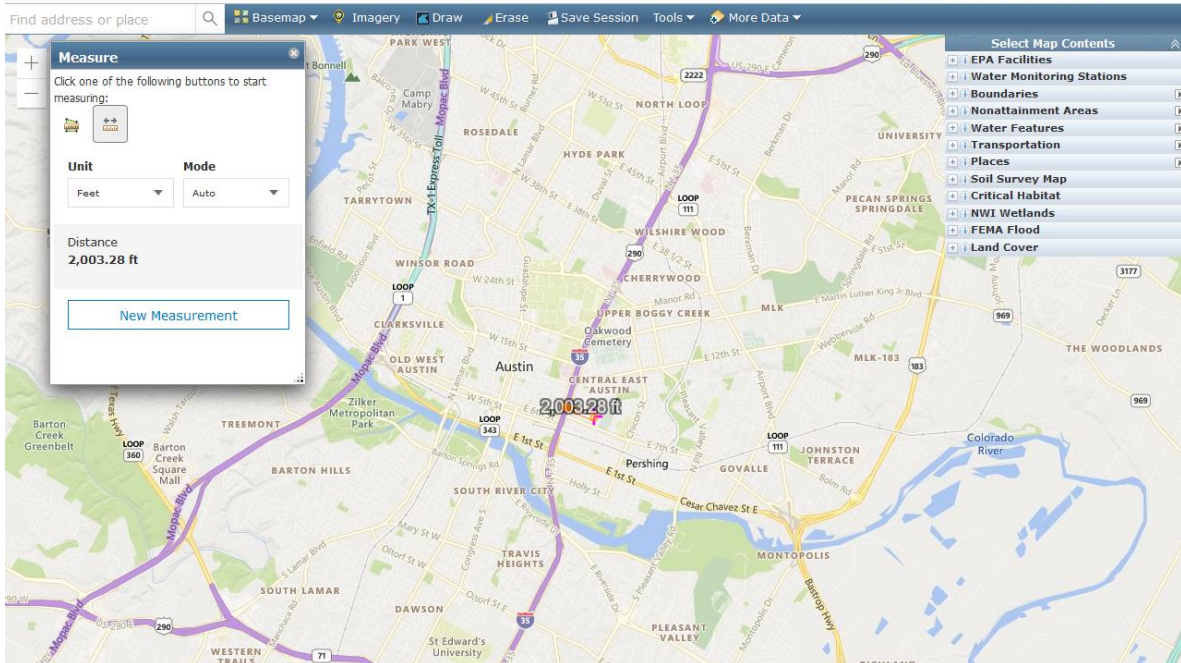
Calculate

2. (810 Lydia)

Major Roadway – More than 1000 Ft (2,003.28 Ft) from Site
No DNL Calculation Needed

NEPAssist

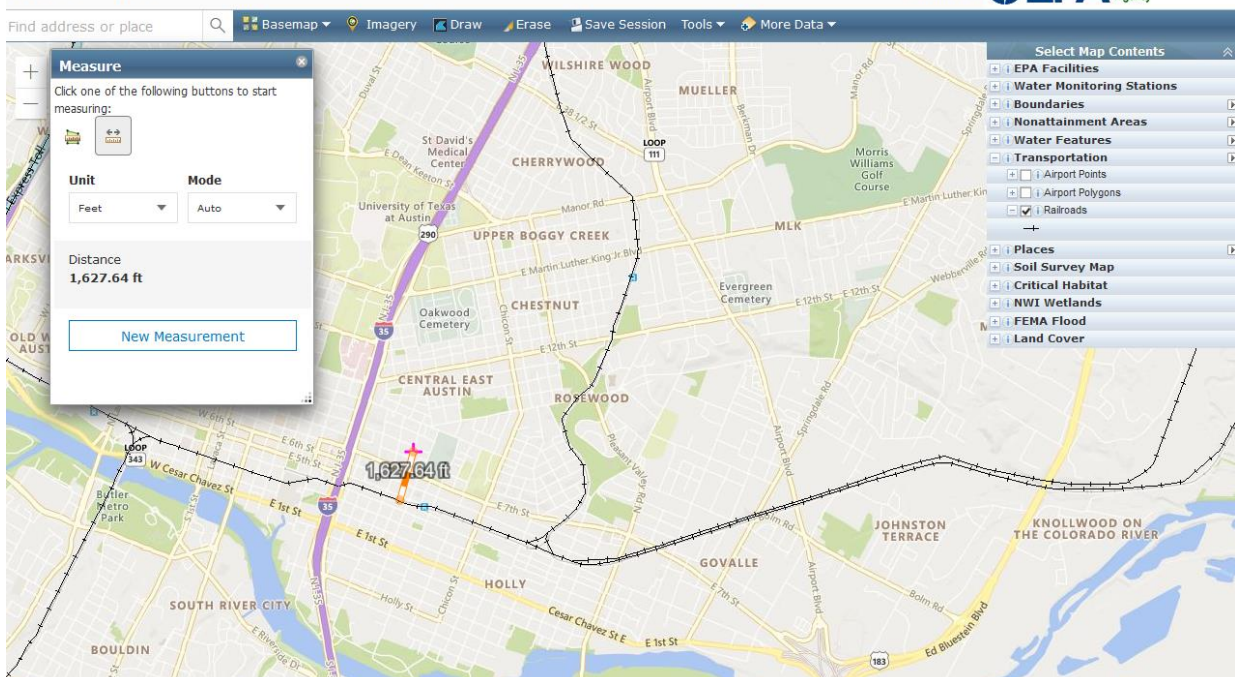
Home | Help  United States Environmental Protection Agency



Railway – Less than 3000 Ft (1606.37 Ft) from Site (810 Lydia)

NEPAssist

Home | Help  United States Environmental Protection Agency



DNL Rail Calculation = Acceptable (58.0669)

DNL Calculator

Site ID	810 Lydia Street
Record Date	11 / 01 / 2019
User's Name	Dawn Perkins

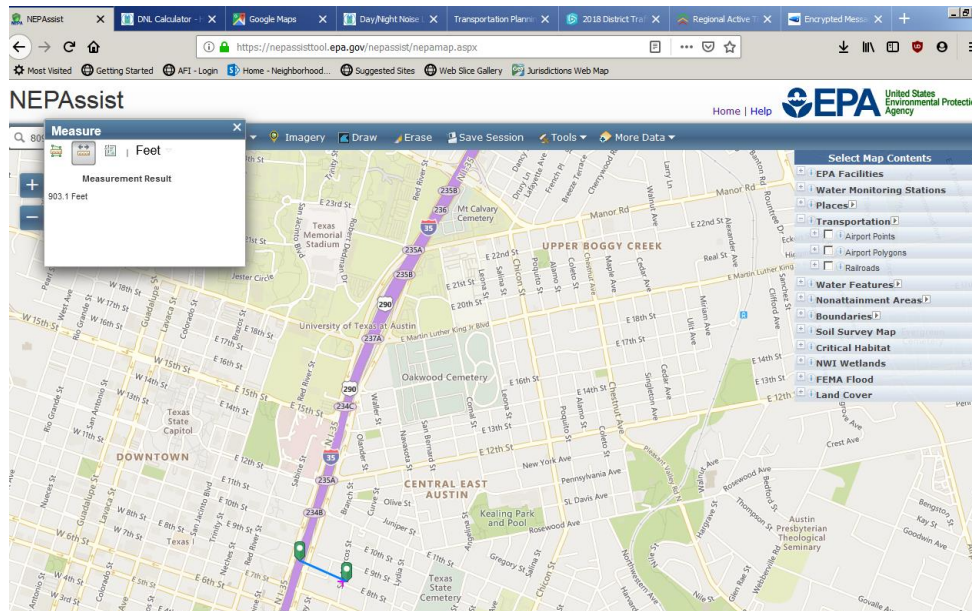
Railroad #1 Track Identifier:	Metro Rail Light Saltillo Plaza
-------------------------------	---------------------------------

Rail # 1

Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1606
Average Train Speed		30
Engines per Train		1
Railway cars per Train		2
Average Train Operations (ATO)		31
Night Fraction of ATO		15
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		58.0669
Calculate Rail #1 DNL	58.0669	Reset

3. (809 San Marcos)

Major Roadway – Less than 1000 Ft (903 Ft) from Site (809 San Marcos)

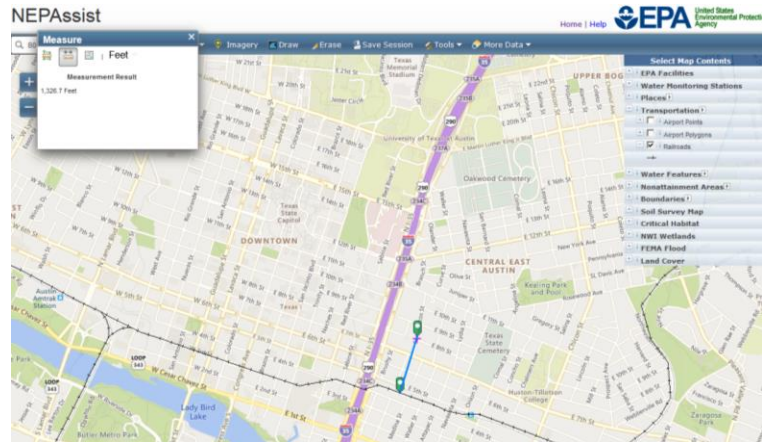


DNL Calculation = Acceptable (55.7488)

DNL Calculator

Site ID	809 San Marcos		
Record Date	10 / 15 / 2019		
User's Name	Dawn Perkins		
Road # 1 Name:	IH 35		
Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	803		803
Distance to Stop Sign	207		207
Average Speed	40		30
Average Daily Trips (ADT)	13652		523
Night Fraction of ADT	15		15
Road Gradient (%)			0
Vehicle DNL	44.8662		55.3742
Calculate Road #1 DNL	55.7488	Reset	

Railway – Less than 3000 Ft (903 Ft) from Site (809 San Marcos)



DNL Rail Calculation = Acceptable (59.7255)

name or destination.

Light Saltillo Plaza

Rail # 1

Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1245
Average Train Speed		30
Engines per Train		1
Railway cars per Train		2
Average Train Operations (ATO)		31
Night Fraction of ATO		15
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		59.7255
Calculate Rail #1 DNL	59.7255	Reset

Total Noise Calculation for 809 San Marcos Street = Acceptable (61.2325)

Combined DNL for all Road and Rail sources	61.2325
Combined DNL including Airport	N/A
Site DNL with Loud Impulse Sound	

From: Vasan, Deepa <Deepa.Vasan@austintexas.gov>
Sent: Wednesday, October 16, 2019 12:13 PM
To: Perkins, Dawn <Dawn.Perkins@austintexas.gov>
Subject: traffic data from TxDOT - 809 San Marcos

Hey Dawn

The average annual daily traffic counted at Location ID 227H115ANBSR – the nearest on I35 to San Marcos St as can be seen below is **14225** as of 2018.

- Passenger vehicles - 13652
- Business/Commercial Vehicle - 523

<< OLE Object: Picture (Device Independent Bitmap) >>

TCDS AADT Section Description

AADT = Annual Average Daily Traffic

Calculation:

$AADT = VOL \times SF \times AF$ (if applicable)

Note: Each count interval is multiplied by the SF (and AF if needed) for that day of the week and month of the year. A 24-hr count may have taken over two different days and thus use two different sets of factors. The sum of the factored intervals equals the AADT.

VOL = 24-hour volume count

SF = applicable month/day combination seasonal factor

AF = applicable axle-correction factor

DHV-30: Design Hour Volume – For Perm Stations this is the 30th Highest Hour for the year. For non-Perm Stations, this is the highest hour. The accuracy of either of them are dependent on when and how much raw data was collected.

K%: K-Factor – DHV as a percentage of the AADT

D%: Directional Factor – Percentage of peak hour volume (24 hour peak) in the peak direction during that hour

PA: Passenger vehicles (FHWA Class 1-3) shown in number of vehicles and percentage of AADT

BC: Business/commercial vehicles (FHWA Class 4 and above) shown in number of vehicles and percentage of AADT

Src: Source of AADT calculation (e.g. Actual or Estimate)

Texas Department of Transportation

Traffic Count Database System (TCDS)

Home | TSMS | TCLS | TTDS | PMS | PMDS | RSMS | NMDS | PMMS | WOTS | RTTV

Login | + Locate | + Locate All | Email This | Auto-Locate OFF

List View | All DIRs | Report Center

Record 1 of 1 Goto Record go

Location ID	227H115ANBSR	MPO ID	90
Type	SPOT	HPMS ID	ASSIGNED
SF Group	AUSTIN FC 5	Route Type	IH
AF Group	FRONTAGE ROADS FC 5	Route	0035
GF Group	AUSTIN FC 5	Active	Yes
Class Dist Grp		Category	ANNUAL ACR
Seas Class Grp	AUSTIN		
WIM Group	Statewide		
QC Group	Volume Group 3		
Functl Class	(5)Major Collector		
Located On	IH0035		
Loc On Alias	IH0035-AG		

More Detail

STATION DATA

Directions: 1-WAY NB

Year	AADT	DHV-30	K %	D %	PA	BC	Src
2018	14,225	1,565	11	100	13,652 (96%)	573 (4%)	
2017	14,185						
2016	16,528	1,580	10	100	15,564 (94%)	964 (6%)	
2015	16,217	1,550	10	100	15,287 (94%)	930 (6%)	
2014	13,440	1,467	11	100			

1-5 of 7

Travel Demand Model

Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV

VOLUME COUNT

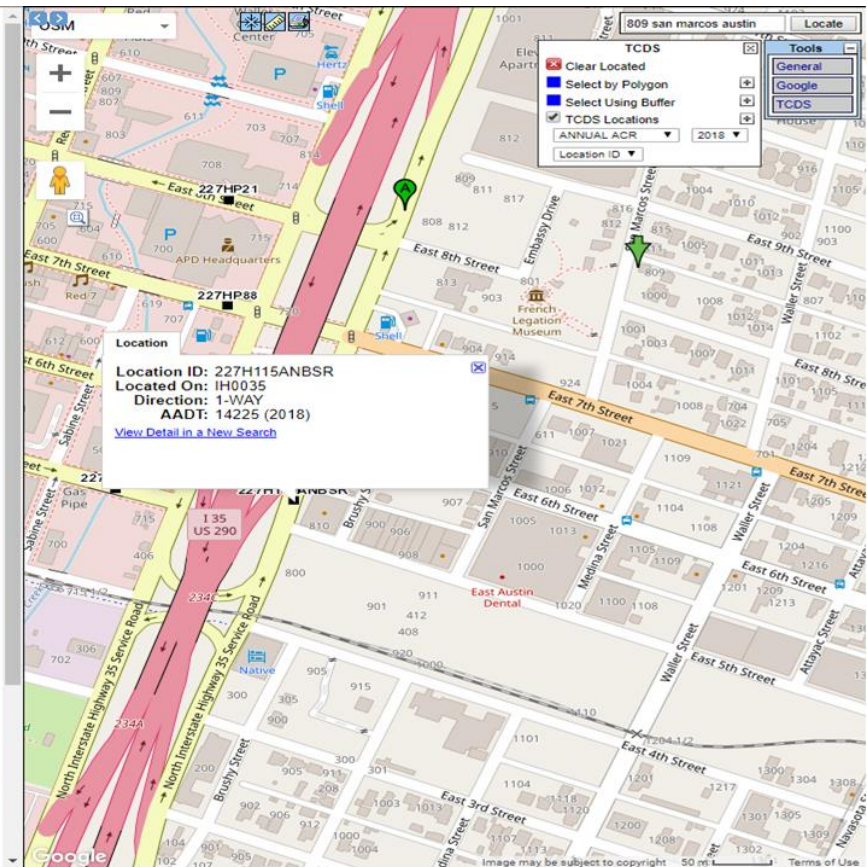
Date	Int	Total
Mon 9/24/2018	15	15,125
Wed 11/8/2017	-	16,795
Mon 8/29/2016	-	16,795
Wed 3/11/2015	15	16,795
Wed 8/13/2014	15	14,605
Wed 8/21/2013	15	14,837

VOLUME TREND

Year	Annual Growth
2018	0%
2017	-14%
2016	2%
2015	21%
2014	-2%
2013	0%

SPEED

CLASSIFICATION



Attachment 13

Sole Source Aquifers

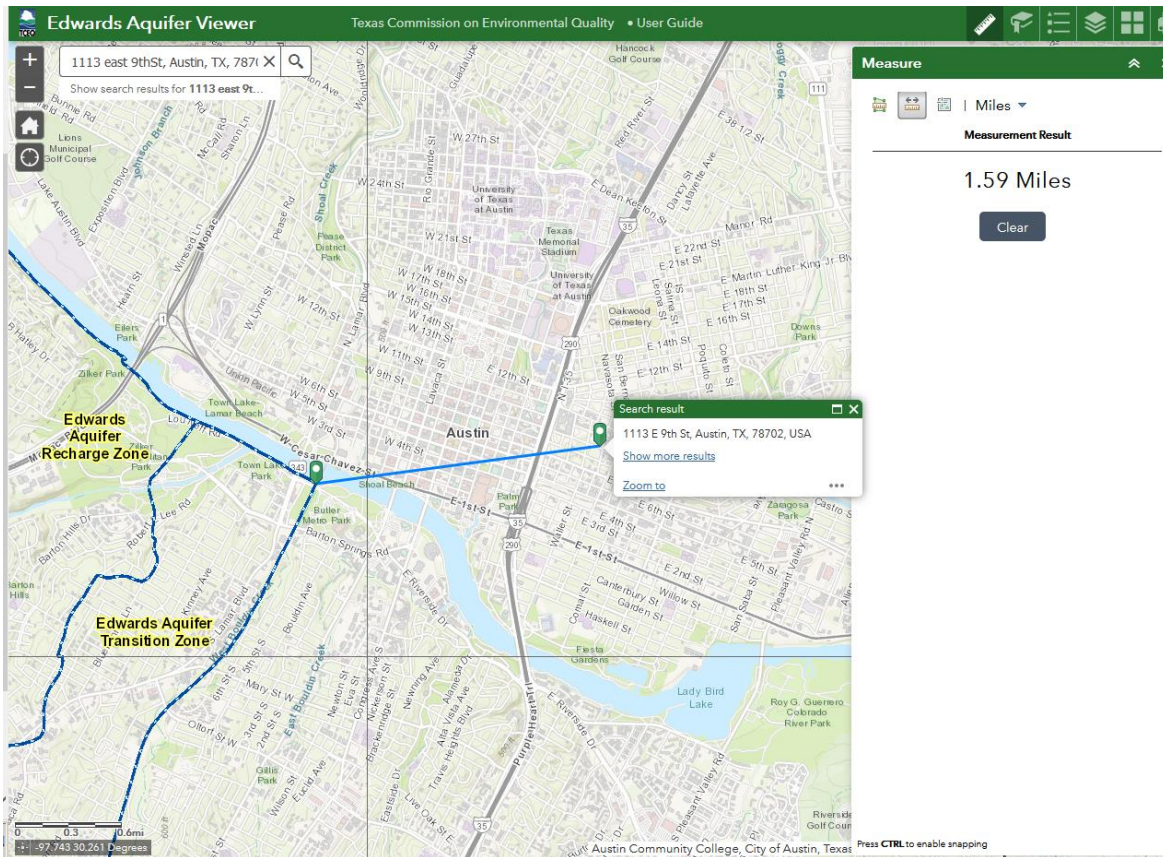
Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149

Texas Commission on Environmental Quality - Edwards Aquifer Viewer v3.8

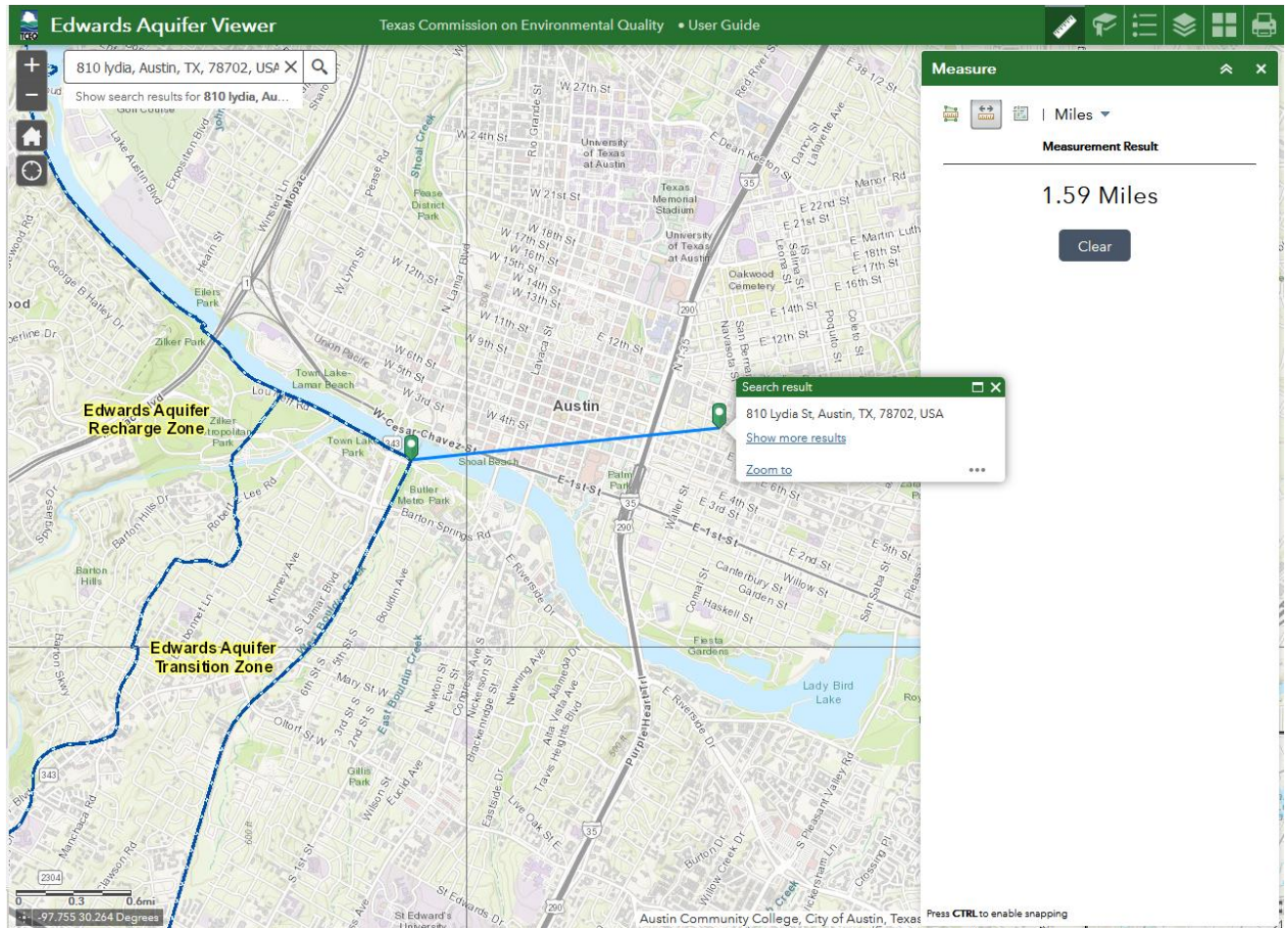
RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

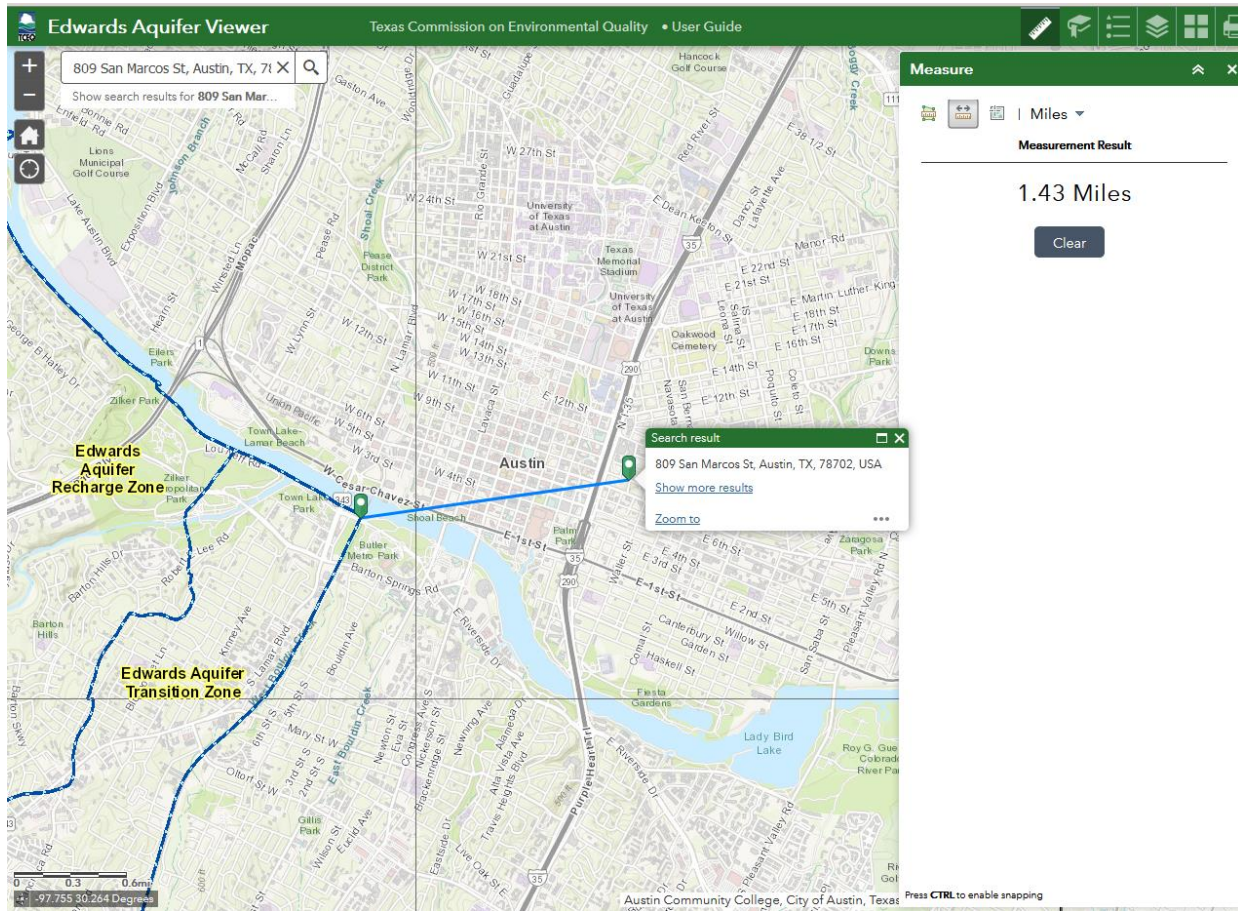
1113 east 9th St – 1.59 Miles



810 Lydia St – 1.59 Miles



809 San Marcos St – 1.43 Miles



Attachment 14

Wetlands Protection

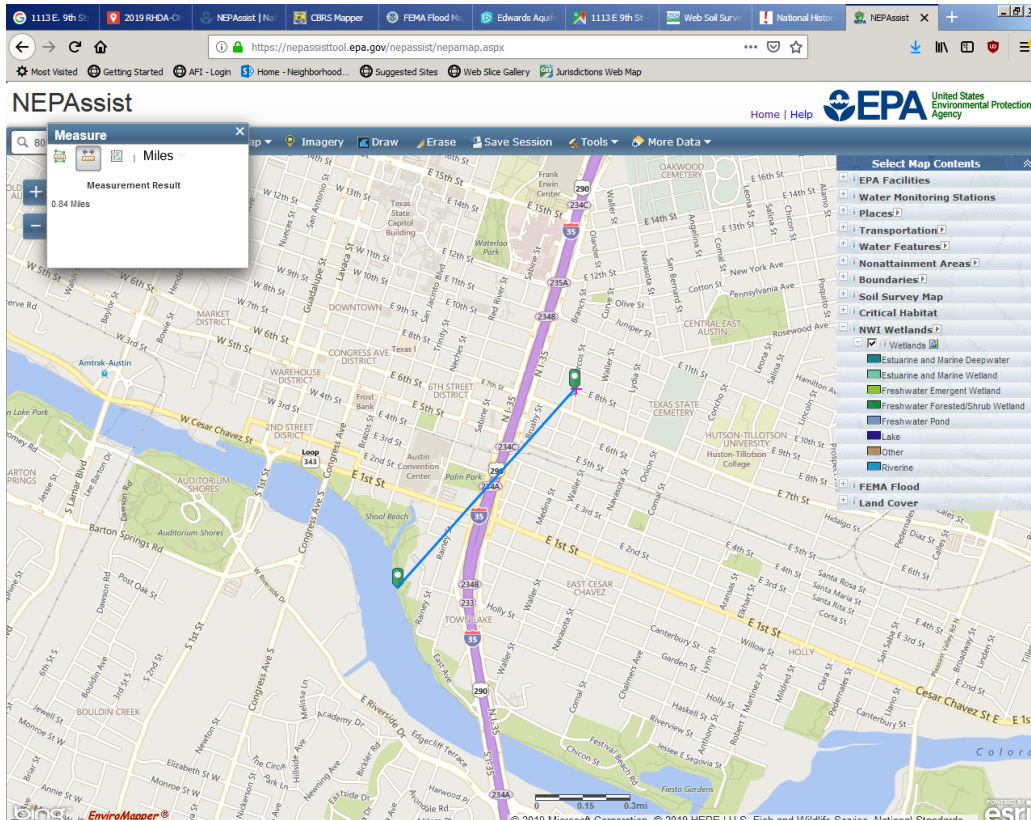
Executive Order 11990, particularly sections 2 and 5

NEPAassist

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

Site is Approximately .84 miles from Nearest Wetland



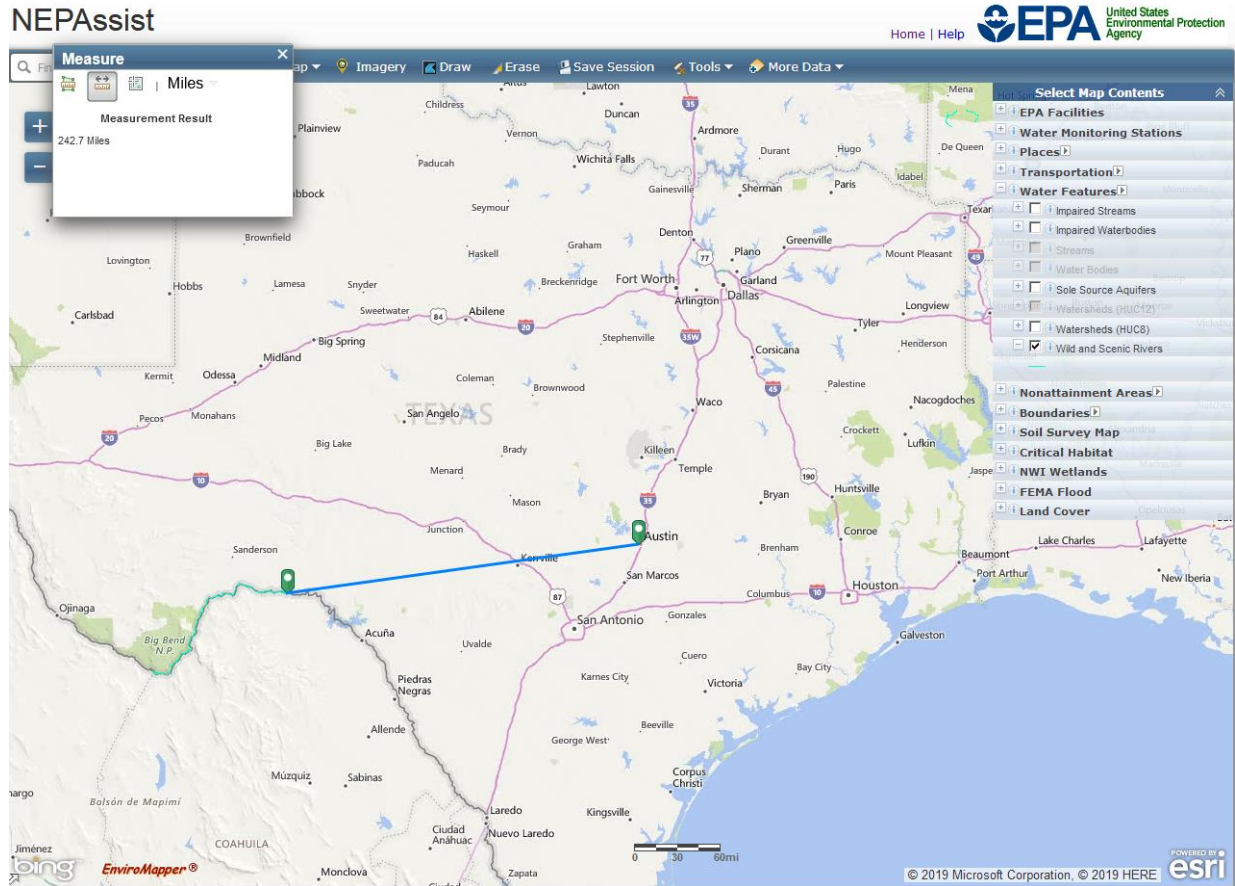
Attachment 15

Wild and Scenic Rivers

Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)
U.S. Fish and Wildlife Service - National Wild and Scenic River System
National Park Service - Nationwide Rivers Inventory Database
RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

247 Miles from Nearest Wild and Scenic River (Rio Grande)



Attachment 16

Environmental Justice: Executive Order 12898

RHDA-OHDA Infill Project #1

(1) 1113 E. 9th St; (2) 810 Lydia; (3) 809 San Marcos Austin, TX 78702

One adverse environmental impact was identified in the project's total environmental review, regarding historic preservation. This impact has been mitigated by utilizing a Memorandum of Agreement (MOA) between the Texas State Historic Commission, the developer, and the responsible entity. No other adverse environmental effects were identified. Despite the MOA to mitigate the historic preservation issue, the adverse environmental impact is not disproportionately high for low-income and/or minority communities. Rather, the addition of newly renovated units and additional accessory dwelling units will benefit the low to moderate income individuals in the neighborhood. The project is in compliance with Executive Order 12898.

Rationale: GNDC currently has over 700 applications for rental housing and over 80 applications from potential homebuyers with low-to-moderate incomes who would like to rent from GNDC or acquire homes through a Community Land Trust sale. In its rental and ownership programs, GNDC gives the highest priority to its current GNDC renters; especially those whose income are nearest 80% of the Austin MFI. GNDC's 2nd highest priority is to serve residents and former residents of the neighborhoods surrounding the site, generally considered Central East Austin where displacement has been clearly documented.

GNDC aims to ensure that the mortgage payment (principal, interest, taxes and insurance) of the buyers and the rent paid by tenants is not more than 30% of their gross income. This project is unique because it is Austin's first affordable housing development that will combine permanently affordable home owner and rental homes on the same single-family lot. Combining both forms of affordable housing has several advantages: it leverages private dollars with mortgages, it provides opportunities for ownership in Austin's central neighborhoods where low and even moderate-income households have been priced out, and it draws from different public funding set asides for one project.