



U.S. Department of Housing and Urban
Development
451 Seventh Street, SW
Washington, DC 20410
www.hud.gov
espanol.hud.gov

**Environmental Review for Activity/Project that is
Categorically Excluded Subject to Section 58.5
Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: 2019-RHDA-OHDA-Infill-#2

HEROS Number: 900000010085816

State / Local Identifier:

Project Location: 1103 Clermont Avenue , Austin , TX 78702

Additional Location Information:
N/A

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

At 1103 Clermont Avenue, a 2-bedroom unit will be demolished and replaced by a 3-bedroom primary unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

Level of Environment Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at §58.5:

Funding Information

Grant Number	HUD Program	Program Name
M-18-MC48-0500	Community Planning and Development (CPD)	HOME Program

Estimated Total HUD Funded Amount: \$212,230.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$2,997,600.00

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Complete
Noise Abatement and Control	<p>The developer will utilize the following mitigation efforts:</p> <ol style="list-style-type: none"> 1.tUsing noise-reducing design and construction techniques to attenuate noise in interior spaces, including: <ol style="list-style-type: none"> a.tEnergy efficient double paned 34 STC windows 2.tWall Construction Detail: <ol style="list-style-type: none"> a.t5/8" x 10" redwood siding; 1/2" insulation board; 2x4" wood studs b.tResilient channels between the studs and gyp board will be added for additional attenuation 3.tDoor Construction Detail: <ol style="list-style-type: none"> a.t3'x7' solid-core wood 27 STC door 13/4" thick 4.tSealing air leaks around wall penetrations such as windows, doors, and electrical outlet boxes 5.tAnd improving sound-attenuating properties of walls, windows, doors, roofs, etc. 	N/A	

Determination:

<input type="checkbox"/>	This categorically excluded activity/project converts to EXEMPT per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license; Funds may be committed and drawn down after certification of this part for this (now) EXEMPT project; OR
<input checked="" type="checkbox"/>	This categorically excluded activity/project cannot convert to Exempt status because one or more statutes or authorities listed at Section 58.5 requires formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain "Authority to Use Grant Funds" (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
<input type="checkbox"/>	This project is not categorically excluded OR, if originally categorically excluded, is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Preparer Signature: Date: 9/13/19

Name / Title/ Organization: Dawn Perkins / / AUSTIN

Responsible Entity Agency Official Signature: 

Date:

9/13/19

Name/ Title:

James May, Neighborhood Housing and Community
Development, Community Development
manager

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environment Review Record (ERR) for the activity / project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



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Pursuant to 24 CFR 58.35(a)**

Project Information

Project Name: 2019-RHDA-OHDA-Infill-#2

HEROS Number: 900000010085816

Responsible Entity (RE): AUSTIN, PO Box 1088 Austin TX, 78767

State / Local Identifier:

RE Preparer: Dawn Perkins

Certifying Office Rosie Truelove
r:

Grant Recipient (if different than Responsible Entity):

Point of Contact:

Consultant (if applicable):

Point of Contact:

Project Location: 1103 Clermont Avenue , Austin , TX 78702

Additional Location Information:
N/A

Direct Comments to: Neighborhood Housing and Community Development
Department, ATTN: OHDA Environmental Compliance, P.O.
Box 1088, Austin, TX 78767

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

At 1103 Clermont Avenue, a 2-bedroom unit will be demolished and replaced by a 3-bedroom primary unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

Maps, photographs, and other documentation of project location and description:

Level of Environmental Review Determination:

Categorically Excluded per 24 CFR 58.35(a), and subject to laws and authorities at 58.5:

Determination:

	This categorically excluded activity/project converts to EXEMPT per Section 58.34(a)(12), because it does not require any mitigation for compliance with any listed statutes or authorities, nor requires any formal permit or license; Funds may be committed and drawn down after certification of this part for this (now) EXEMPT project; OR
✓	This categorically excluded activity/project cannot convert to Exempt status because one or more statutes or authorities listed at Section 58.5 requires formal consultation or mitigation. Complete consultation/mitigation protocol requirements, publish NOI/RROF and obtain "Authority to Use Grant Funds" (HUD 7015.16) per Section 58.70 and 58.71 before committing or drawing down any funds; OR
	This project is not categorically excluded OR, if originally categorically excluded, is now subject to a full Environmental Assessment according to Part 58 Subpart E due to extraordinary circumstances (Section 58.35(c)).

Approval Documents:

[Signed Signature Page 9-13-2019.pdf](#)

[Public Notice - GNDC Infill Lots - reposted 1-16-20.doc](#)

**7015.15 certified by Certifying Officer
on:**

**7015.16 certified by Authorizing Officer
on:**

Funding Information

Grant / Project Identification Number	HUD Program	Program Name
M-18-MC48-0500	Community Planning and Development (CPD)	HOME Program

Estimated Total HUD Funded, Assisted or Insured Amount: \$212,230.00

Estimated Total Project Cost: \$2,997,600.00

Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.6		
Airport Hazards Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. See Attachment #1.
Coastal Barrier Resources Act Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not located in a CBRS Unit. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. See Attachment 2.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements. See Attachment 3.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.5		

Air Quality Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project's county or air quality management district is in attainment status for all criteria pollutants. The project is in compliance with the Clean Air Act. See Attachment 4.
Coastal Zone Management Act Coastal Zone Management Act, sections 307(c) & (d)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not located in or does not affect a Coastal Zone as defined in the state Coastal Management Plan. The project is in compliance with the Coastal Zone Management Act. See Attachment 5.
Contamination and Toxic Substances 24 CFR 50.3(i) & 58.5(i)(2)]	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. See Attachment 6.
Endangered Species Act Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. This project is in compliance with the Endangered Species Act. See Attachment 7.
Explosive and Flammable Hazards Above-Ground Tanks)[24 CFR Part 51 Subpart C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	There are no current or planned stationary aboveground storage containers of concern within 1 mile of the project site. The project is in compliance with explosive and flammable hazard requirements. See Attachments 6 & 8.
Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act. See Attachment 9.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project is located in a 500-year floodplain. Based on the project description this project is not a critical action, so an 8-Step process is not required. The project is in compliance with Executive Order 11988. See Attachment 10.

Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Based on Section 106 consultation there are No Historic Properties Affected because there are no historic properties present. The project is in compliance with Section 106. See Attachment 11.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	A Noise Assessment was conducted. The noise level was unacceptable: 80.0 db. See noise analysis. The project is new construction. The noise mitigating techniques will reduce the noise level to an acceptable 40 db. An EIS is required, however an EIS waiver has been obtained from the Certifying Officer per 24 CFR 51.104(b)(2). The project is in compliance with HUD's Noise regulation with mitigation. See Attachment 12.
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project is not located on a sole source aquifer area. The project is in compliance with Sole Source Aquifer requirements. See Attachment 13.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990. See Attachment #14.
Wild and Scenic Rivers Act Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	This project is not within proximity of a NWSRS river. The project is in compliance with the Wild and Scenic Rivers Act. See Attachment #15.
HUD HOUSING ENVIRONMENTAL STANDARDS		
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898. See Attachments 1-15.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Complete
Noise Abatement and Control	<p>The developer will utilize the following mitigation efforts:</p> <ol style="list-style-type: none"> 1.tUsing noise-reducing design and construction techniques to attenuate noise in interior spaces, including: <ol style="list-style-type: none"> a.tEnergy efficient double paned 34 STC windows 2.tWall Construction Detail: <ol style="list-style-type: none"> a.t5/8" x 10" redwood siding; 1/2" insulation board; 2x4" wood studs b.tResilient channels between the studs and gyp board will be added for additional attenuation 3.tDoor Construction Detail: <ol style="list-style-type: none"> a.t3'x7' solid-core wood 27 STC door 13/4" thick 4.tSealing air leaks around wall penetrations such as windows, doors, and electrical outlet boxes 5.tAnd improving sound-attenuating properties of walls, windows, doors, roofs, etc. 	N/A	

Mitigation Plan

* The mitigation measures will be included in the specifications for construction attached to the Construction Contract that will be given to the contractor as part of their scope of work. * When the contractor completes work that includes any of the mitigation measures, the architect will certify they have been included per the specifications before certifying an Application for Payment. * Additionally, an inspector from the City of Austin's Neighborhood Housing and Community Development office will inspect the work and can confirm the mitigation measures have been made. * The contractor will be responsible for implementing the mitigation measures included in the construction specifications as part of their scope of work. * The architect will be responsible to certify that the contractor completes the specified work which will include the mitigation measures before she certifies Applications for Payment. * Additionally, an inspector from the City of Austin's Neighborhood Housing and Community Development office will inspect the work and can confirm the mitigation measures have been made. * The mitigation measures are a normal part of the construction process and will be completed during construction. This process normally takes between six and nine months. * The measures and conditions will be part of the specification for construction that will be attached to the contract.

Supporting documentation on completed measures

APPENDIX A: Related Federal Laws and Authorities

Airport Hazards

General policy	Legislation	Regulation
It is HUD's policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

✓ No

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

Screen Summary

Compliance Determination

The project site is not within 15,000 feet of a military airport or 2,500 feet of a civilian airport. The project is in compliance with Airport Hazards requirements. See Attachment #1.

Supporting documentation

[1. Attachment 1 - Airport.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

1. Is the project located in a CBRS Unit?

✓ No

Document and upload map and documentation below.

Yes

Screen Summary

Compliance Determination

This project is not located in a CBRS Unit. Therefore, this project has no potential to impact a CBRS Unit and is in compliance with the Coastal Barrier Resources Act. See Attachment 2.

Supporting documentation

[2. Attachment 2 - Coastal Zone.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

✓ Yes

2. Upload a FEMA/FIRM map showing the site here:

[FIRMETTE_ea5dfda1-768f-11e9-aa6d-001b21bbe86d.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

✓ No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary **Compliance Determination**

The structure or insurable property is not located in a FEMA-designated Special Flood Hazard Area. While flood insurance may not be mandatory in this instance, HUD recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). The project is in compliance with flood insurance requirements. See Attachment 3.

Supporting documentation

[3. Attachment 3- Flood.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

☒ Yes

☐ No

Air Quality Attainment Status of Project's County or Air Quality Management District

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

☒ No, project's county or air quality management district is in attainment status for all criteria pollutants.

Yes, project's management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Screen Summary

Compliance Determination

The project's county or air quality management district is in attainment status for all criteria pollutants. The project is in compliance with the Clean Air Act. See Attachment 4.

Supporting documentation

[Attachment 4 - Air Quality 2.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

Yes

✓ No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

This project is not located in or does not affect a Coastal Zone as defined in the state Coastal Management Plan. The project is in compliance with the Coastal Zone Management Act. See Attachment 5.

Supporting documentation

[5. Attachment 5 - Coastal Zone.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Contamination and Toxic Substances

General requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)

1. Evaluate the site for contamination. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property?

✓ No

Explain:

Review of the Environmental Protection Agency's (EPA) NEPAAssist viewer has provided the following conclusions: 1. There are twenty-nine (29) Hazardous Waste sites found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site. 2. There are three (3) Toxic Release facilities found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site.

Based on the response, the review is in compliance with this section.

Yes

Check here if an ASTM Phase I Environmental Site Assessment (ESA) report was utilized. [Note: HUD regulations does not require an ASTM Phase I ESA report for single family homes]

Screen Summary
Compliance Determination

On-site or nearby toxic, hazardous, or radioactive substances that could affect the health and safety of project occupants or conflict with the intended use of the property were not found. The project is in compliance with contamination and toxic substances requirements. See Attachment 6.

Supporting documentation

[6. Attachment 6 - Contaminants.docx.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service ("FWS" and "NMFS" or "the Services").	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i>); particularly section 7 (16 USC 1536).	50 CFR Part 402

1. Does the project involve any activities that have the potential to affect species or habitats?

No, the project will have No Effect due to the nature of the activities involved in the project.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

- ✓ Yes, the activities involved in the project have the potential to affect species and/or habitats.

2. Are federally listed species or designated critical habitats present in the action area?

- ✓ No, the project will have No Effect due to the absence of federally listed species and designated critical habitat

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.

Yes, there are federally listed species or designated critical habitats present in the action area.

Screen Summary

Compliance Determination

This project will have No Effect on listed species because there are no listed species or designated critical habitats in the action area. This project is in compliance with the Endangered Species Act. See Attachment 7.

Supporting documentation

[7. Attachment 7 - Endangered Species.docx.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals), i.e. bulk fuel storage facilities, refineries, etc.?

☒ No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

☒ Yes

3. Within 1 mile of the project site, are there any current *or planned* stationary aboveground storage containers:

- Of more than 100 gallon capacity, containing common liquid industrial fuels OR
- Of any capacity, containing hazardous liquids or gases that are not common liquid industrial fuels?

☒ No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Yes

Screen Summary

Compliance Determination

There are no current or planned stationary aboveground storage containers of concern within 1 mile of the project site. The project is in compliance with explosive and flammable hazard requirements. See Attachments 6 & 8.

Supporting documentation

[8. Attachment 8 - Flammables.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	7 CFR Part 658

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

☒ No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

Land is considered urban and already has a structure on it.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary**Compliance Determination**

This project does not include any activities that could potentially convert agricultural land to a non-agricultural use. The project is in compliance with the Farmland Protection Policy Act. See Attachment 9.

Supporting documentation

[9. Attachment 9 - Farmland.pdf](#)

Are formal compliance steps or mitigation required?

Yes

☒ No

Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988	24 CFR 55

1. Do any of the following exemptions apply? Select the applicable citation? [only one selection possible]

- 55.12(c)(3)
- 55.12(c)(4)
- 55.12(c)(5)
- 55.12(c)(6)
- 55.12(c)(7)
- 55.12(c)(8)
- 55.12(c)(9)
- 55.12(c)(10)
- 55.12(c)(11)

✓ None of the above

2. Upload a FEMA/FIRM map showing the site here:

[FIRMETTE_ea5dfda1-768f-11e9-aa6d-001b21bbe86d.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The FEMA Map Service Center provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use **the best available information** to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site.

Does your project occur in a floodplain?

No

✓ Yes

Select the applicable floodplain using the FEMA map or the best available information:

Floodway

Coastal High Hazard Area (V Zone)

100-year floodplain (A Zone)

✓ 500-year floodplain (B Zone or shaded X Zone)

500-year Floodplain

Is this a critical action?

✓ No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

The project is located in a 500-year floodplain. Based on the project description this project is not a critical action, so an 8-Step process is not required. The project is in compliance with Executive Order 11988. See Attachment 10.

Supporting documentation

[10. Attachment 10 - Flood Management.docx.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Historic Preservation

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 "Protection of Historic Properties" http://www.access.gpo.gov/nara/cfr/waisidx_10/36cfr800_10.html

Threshold

Is Section 106 review required for your project?

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the PA Database to find applicable PAs.)
No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

- ✓ Yes, because the project includes activities with potential to cause effects (direct or indirect).

Step 1 – Initiate Consultation

Select all consulting parties below (check all that apply):

- ✓ State Historic Preservation Offer (SHPO) Completed
- ✓ Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native Hawaiian Organizations (NHOs)

- ✓ Alabama-Coushatta Tribe of Texas

Response Period Elapsed

✓ Apache Tribe of Oklahoma	Response Period Elapsed
✓ Comanche Nation, Oklahoma	Response Period Elapsed
✓ Coushatta Tribe of Louisiana	Response Period Elapsed
✓ Tonkawa Tribe of Indians of Oklahoma	Completed
✓ Wichita and Affiliated Tribes	Response Period Elapsed

✓ Other Consulting Parties

✓ Historic Landmark Commission	Completed
--------------------------------	-----------

Describe the process of selecting consulting parties and initiating consultation here:

On 5/13/19, the RE submitted a request to the Texas Historical Commission (THC) for consultation at 1103 Clermont Ave, Austin, TX. THC responded on 5/14/2019 that "No historic properties are present or affected by the project as proposed". Furthermore, the RE submitted requests for consultation to six tribal entities, per the TDAT list, on 5/13/2019. The only tribe to respond was Tonkawa Tribe and they indicated that the site has "no specifically designated historical, religious, and/or cultural significance". The project has been cleared to move forward.

Document and upload all correspondence, notices and notes (including comments and objections received below).

Step 2 – Identify and Evaluate Historic Properties

1. Define the Area of Potential Effect (APE), either by entering the address(es) or uploading a map depicting the APE below:

1103 Clermont Ave, Austin, TX

In the chart below, list historic properties identified and evaluated in the APE. Every historic property that may be affected by the project should be included in the chart.

Upload the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination below.

Address / Location / District	National Register Status	SHPO Concurrence	Sensitive Information
----------------------------------	-----------------------------	------------------	--------------------------

Additional Notes:

There are no known historical properties in the vicinity of the proposed project site.

2. Was a survey of historic buildings and/or archeological sites done as part of the project?

Yes

✓ No

Step 3 –Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (36 CFR 800.5)] Consider direct and indirect effects as applicable as per guidance on direct and indirect effects.

Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.

✓ No Historic Properties Affected

Based on the response, the review is in compliance with this section. Document and upload concurrence(s) or objection(s) below.

Document reason for finding:

✓ No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

Adverse Effect

Screen Summary

Compliance Determination

Based on Section 106 consultation there are No Historic Properties Affected because there are no historic properties present. The project is in compliance with Section 106. See Attachment 11.

Supporting documentation

[11. Attachment 11 - Historical.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Noise Abatement and Control

General requirements	Legislation	Regulation
HUD's noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: "Compatible Land Uses at Federal Airfields"	Title 24 CFR 51 Subpart B

1. What activities does your project involve? Check all that apply:

- ☒ New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

- ☒ Rehabilitation of an existing residential property

NOTE: For modernization projects in all noise zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details. The definition of "modernization" is determined by program office guidance.

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster
None of the above

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. Complete the Preliminary Screening to identify potential noise generators in the

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

- ✓ Unacceptable: (Above 75 decibels)

This project requires completion of an Environmental Impact Statement pursuant to 24 CFR §51.104(b)(1)(i). You may either complete an EIS or provide a waiver signed by the appropriate authority.

Convert to an EIS

- ✓ Upload Waiver

Indicate noise level here: 80

Document and upload noise analysis, including noise level and data used to complete the analysis below.

Document and upload an Environmental Impact Statement waiver from the Certifying Officer or the Assistant Secretary for Community Planning and Development per 24 CFR 51.104(b)(2) below.

6. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review.

✓ Mitigation as follows will be implemented:

The developer will utilize the following mitigation efforts: 1. Using noise-reducing design and construction techniques to attenuate noise in interior spaces, including: a. Energy efficient double paned 34 STC windows 2. Wall Construction Detail: a. 5/8" x 10" redwood siding; 1/2" insulation board; 2x4" wood studs b. Resilient channels between the studs and gyp board will be added for additional attenuation 3. Door Construction Detail: a. 3'x7' solid-core wood 27 STC door 13/4" thick 4. Sealing air leaks around wall penetrations such as windows, doors, and electrical outlet boxes 5. And improving sound-attenuating properties of walls, windows, doors, roofs, etc.

Based on the response, the review is in compliance with this section. Document and upload drawings, specifications, and other materials as needed to describe the project's noise mitigation measures below.

No mitigation is necessary.

Screen Summary

Compliance Determination

A Noise Assessment was conducted. The noise level was unacceptable: 80.0 db. See noise analysis. The project is new construction. The noise mitigating techniques will reduce the noise level to an acceptable 40 db. An EIS is required, however an EIS waiver has been obtained from the Certifying Officer per 24 CFR 51.104(b)(2). The project is in compliance with HUD's Noise regulation with mitigation. See Attachment 12.

Supporting documentation

[12. Attachment 12 - Noise.pdf](#)

Are formal compliance steps or mitigation required?

✓ Yes

No

Sole Source Aquifers

General requirements	Legislation	Regulation
The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.	Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)	40 CFR Part 149

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

✓ No

2. Is the project located on a sole source aquifer (SSA)?

A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

< No

✓

Based on the response, the review is in compliance with this section. Document and upload documentation used to make your determination, such as a map of your project (or jurisdiction, if appropriate) in relation to the nearest SSA and its source area, below.

Yes

3. Does your region have a memorandum of understanding (MOU) or other working agreement with Environmental Protection Agency (EPA) for HUD projects impacting a sole source aquifer?

Yes

No

Screen Summary

Compliance Determination

The project is not located on a sole source aquifer area. The project is in compliance with Sole Source Aquifer requirements. See Attachment 13.

Supporting documentation

[13. Attachment 13 - Sole Source Aquifers.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wetlands Protection

General requirements	Legislation	Regulation
Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service's National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed. Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.	Executive Order 11990	24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

No

✓ Yes

2. Will the new construction or other ground disturbance impact an on- or off-site wetland? The term "wetlands" means those areas that are inundated by surface or ground water with a frequency sufficient to support, and under normal circumstances does or would support, a prevalence of vegetative or aquatic life that requires saturated or seasonally saturated soil conditions for growth and reproduction. Wetlands generally include swamps, marshes, bogs, and similar areas such as sloughs, potholes, wet meadows, river overflows, mud flats, and natural ponds.

"Wetlands under E.O. 11990 include isolated and non-jurisdictional wetlands."

✓ No, a wetland will not be impacted in terms of E.O. 11990's definition of new construction.

Based on the response, the review is in compliance with this section. Document and upload a map or any other relevant documentation below which explains your determination

Yes, there is a wetland that be impacted in terms of E.O. 11990's definition of new construction.

Screen Summary

Compliance Determination

The project will not impact on- or off-site wetlands. The project is in compliance with Executive Order 11990. See Attachment #14.

Supporting documentation

[14. Attachment 14 - Wetlands.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

1. Is your project within proximity of a NWSRS river?

✓ No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

Screen Summary

Compliance Determination

This project is not within proximity of a NWSRS river. The project is in compliance with the Wild and Scenic Rivers Act. See Attachment #15.

Supporting documentation

[15. Attachment 15 - Wild and Scenic River.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project's total environmental review?

Yes

✓ No

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898. See Attachments 1-15.

Supporting documentation

[16. Attachment 16 - Environmental Justice.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Attachment 1

Airport Hazards - Sources and Distances

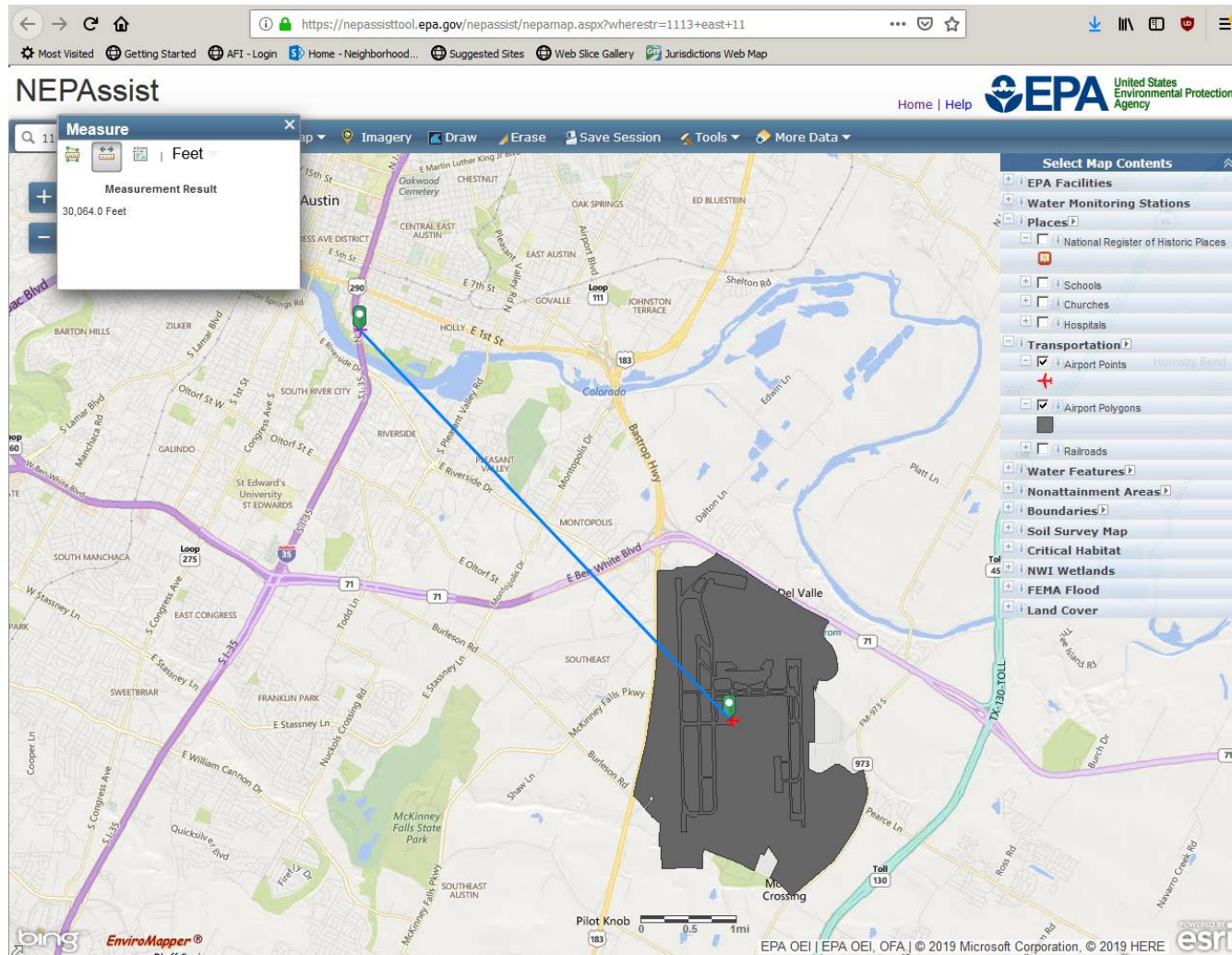
Civilian Airport - Austin Bergstrom International Airport (ABIA)

Military Airport - Randolph Air Force Base

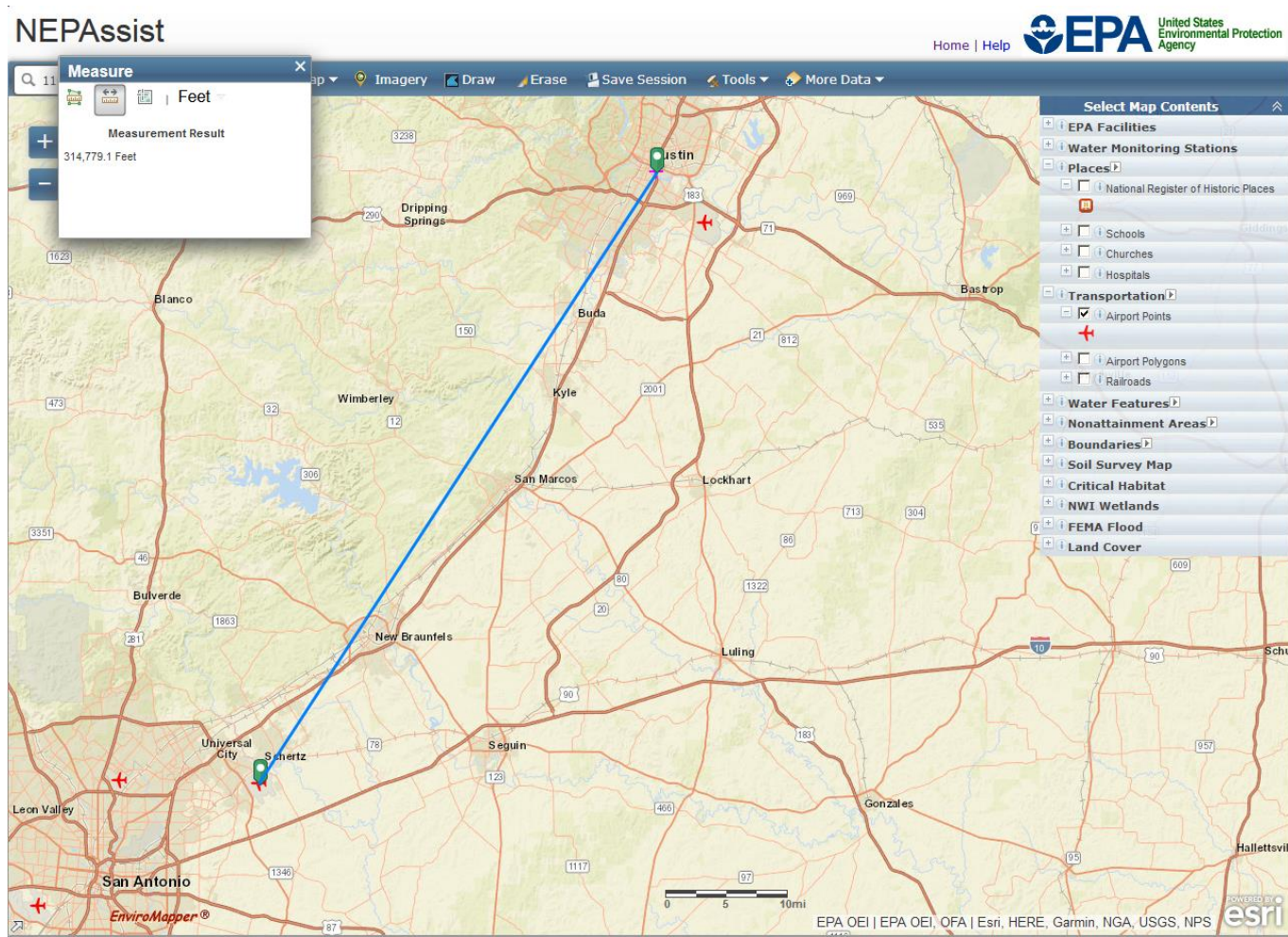
RHDA-OHDA Infill Project #2

1103 Clermont, Austin TX 78747

1103 Clermont – 30,064 Feet from ABIA



1103 Clermont – 314,779 Feet from Randolph Air Force Base

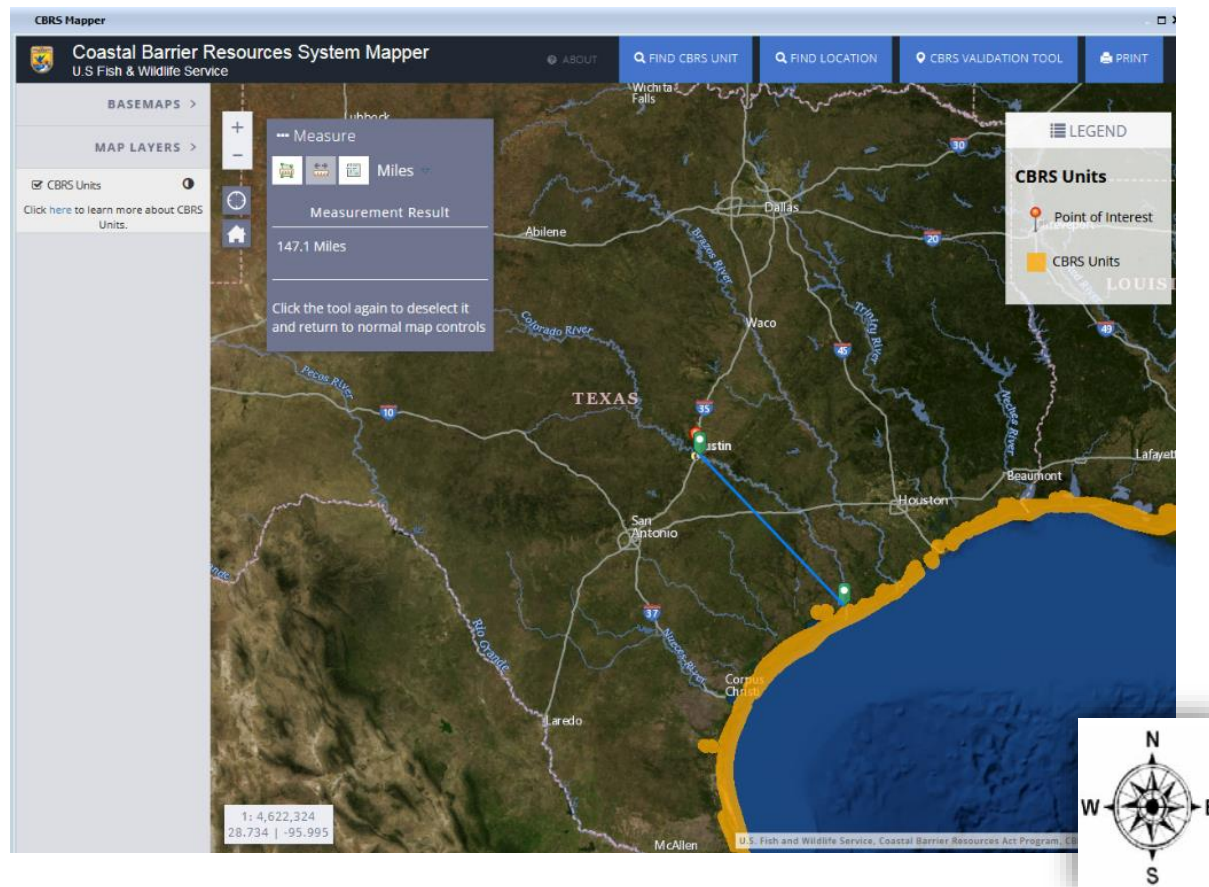


Attachment 2

Coastal Barrier Resources System (CBRS) Map – Sources and Distances

U.S. Fish & Wildlife Services
RHDA-OHDA Infill Project #2
1103 Clermont, Austin TX 78747

Approximately 147.1 Miles to Closest CBRS



Attachment 3

Flood Insurance

Flood Disaster Protection Act of 1973 and National Flood
Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]

FEMA Flood Insurance Rate Map

RHDA-OHDA Infill Project #2

1103 Clermont, Austin TX 78747

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/14/2019 at 5:34:44 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

30°15'31.98"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

30°15'0.90"N

97°43'50.65"W



FLOODPLAIN INFORMATION REQUEST FORM

Tax Parcel ID: 0201040803	Date Processed: 05/20/2019
Property Address: 1103 CLERMONT AVE	
FEMA Flood Insurance Information:	City of Austin Regulatory Information:
Flood Zone*: 0.2 PCT ANNUAL CHANCE FLOOD	25-Year Flood Elevation**: N/A
Community Number: 480624	100-Year Flood Elevation**: N/A
Panel Number: 48453C0465J	All elevations are in feet above mean sea level; Datum for all elevations is NAVD88.
Effective Date: 1/6/2016	
FEMA 100-Year Elevation*: N/A	
FEMA 500-Year Elevation*: N/A	

Additional Questions? Please contact the Floodplain Office

Phone Hotline: 512-974-2843

Fax: 512-974-3584

E-mail: floodpro@austintexas.gov

Mailing Address: Attention: Floodplain Office, Watershed Protection Department-12th Floor, PO BOX 1088
Austin, TX 78767-1088

- * The flood zone determination is based solely on a graphical interpretation of the FEMA Flood Insurance Rate Map (FIRM). Parcels with flood zones **A**, **AE**, **AO**, or **AH** are located or partially located within the FEMA Special Flood Hazard Area designated 1% annual chance flood hazard (100-year floodplain). Parcels with flood zone **0.2% annual chance flood hazard** (500-year floodplain) are located or partially located within the shaded zone X portion of the FIRM. Parcels with flood zone **X Protected by Levee** are located within in an area protected by a levee from the 1% annual chance flood hazard. Parcels with flood zone **X** are located outside the 0.2% annual chance flood hazard. The 1% annual chance flood hazard is the base flood and is used to determine the base flood elevation (BFE) for flood insurance purposes. BFEs must be determined using the flood profiles contained in the effective Flood Insurance Study (FIS). The FEMA 1% annual chance floodplains *may differ* from the City of Austin regulatory floodplains.
- * * The City of Austin uses the fully developed 25-year and 100-year floodplains to regulate development within the full purpose and extra territorial jurisdiction (ETJ) as established in the Land Development Code. The City of Austin regulatory floodplains *may differ* from the FEMA 1% annual chance floodplains.

The City provides the information on this form using the best available engineering and topographic data. Floodplain elevations to be used for development applications must be determined by a Texas Registered Professional Engineer. The official determination of a parcel's floodplain status may necessitate a comparison of the floodplain elevations to an on-the-ground topographic survey by a registered design professional.

DISCLAIMER: The City of Austin provides this information on request as a courtesy to our citizens. Any use of this information is at the sole discretion of the user. The City of Austin makes no warranty, expressed or implied, for the accuracy, completeness, or applicability of the information provided in this form.

THIS FORM IS NOT A PERMIT FOR DEVELOPMENT. For information about development permitting, call the City of Austin Development Assistance Center at 512-974-6370. THIS FORM IS NOT A SUBSTITUTE FOR FEMA FORM 81-93, STANDARD FLOOD HAZARD DETERMINATION. Private flood hazard determination companies may provide Form 81-93. For more information on the National Flood Insurance Program and how to find a flood insurance agent, please visit <http://www.floodsmart.gov/floodsmart/>

ATLAS 14 QUICK REFERENCE SHEET

What is Atlas 14?

The National Weather Service, in partnership with many other federal, state, and local agencies, is in the process of reassessing historic rainfall intensities for Texas with a study called Atlas 14. Rainfall intensities tell us the likelihood of rainfall events of different sizes. Rainfall intensities are used by FEMA and local communities to determine flood risk and to make floodplain maps. Rainfall intensities for the State of Texas have not been assessed since 1994. Atlas 14 is an update of this data meant to incorporate almost a quarter century of rainfall data collected statewide since the last study, up to and including Hurricane Harvey. The graphic to the right indicates in green the areas of Texas where rainfall intensities are increasing.

How Does Atlas 14 Affect Austin?

The Atlas 14 draft study shows the Austin area to be one of the most significantly impacted areas in the State of Texas. In general, this means that, in Austin, what had been considered a 500-year rainfall is in fact a 100-year rainfall. This indicates that many homes and businesses in Austin may be expected to flood more frequently than had been previously thought. However, only 9% of the land area in Austin is projected to be in the new 100-year floodplain.

How Is the City of Austin Responding?

The **Watershed Protection Department** is acting quickly to respond to this more accurate assessment of flood risk. It is critical that we continue to ensure that future development is built to be sufficiently resilient to protect lives and properties of our residents. To that end, we have initiated a code amendment process to adopt this new rainfall information as well as other changes meant to enable properties to redevelop in a safer fashion.

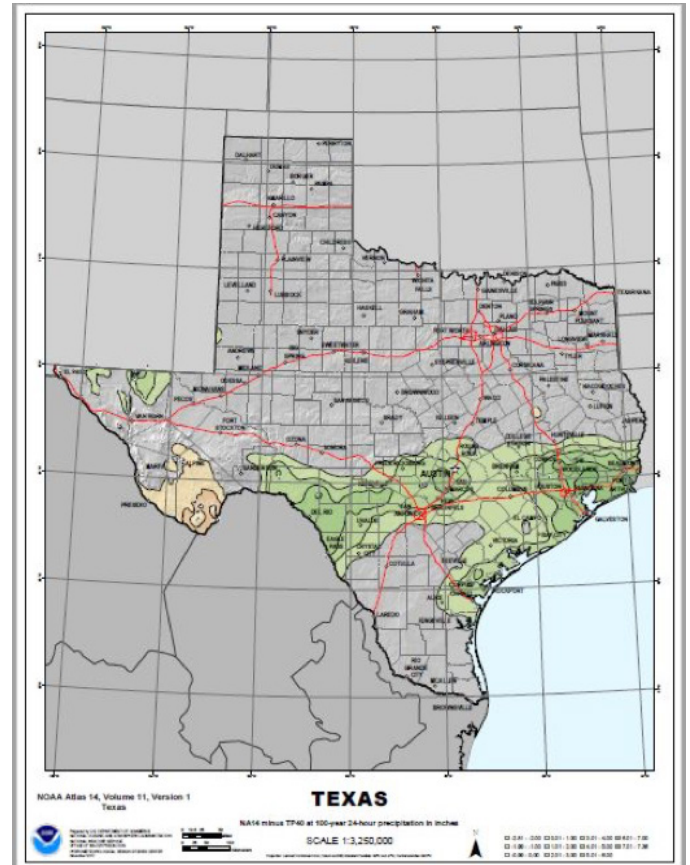
How Do I Get More Information?

Website: www.AustinTexas.gov/Atlas14

Email: Atlas14@AustinTexas.gov



MAP CHANGES TO RAINFALL INTENSITY



IMPACTS TO HOMEOWNERS

How does this affect my property?

Visit our website www.austintexas.gov/atlas14 to access maps of floodplain changes in Austin.

Do I need to buy flood insurance?

While FEMA flood insurance rate maps will not be immediately affected, property owners shown in the 500-year floodplain on the current FEMA maps should consider purchasing flood insurance as soon as possible to best protect their property.

How does this impact development regulations?

Properties located in the City's regulatory floodplain are subject to additional development restrictions. Please visit www.austintexas.gov/floodplainrules to learn more.

Attachment 5

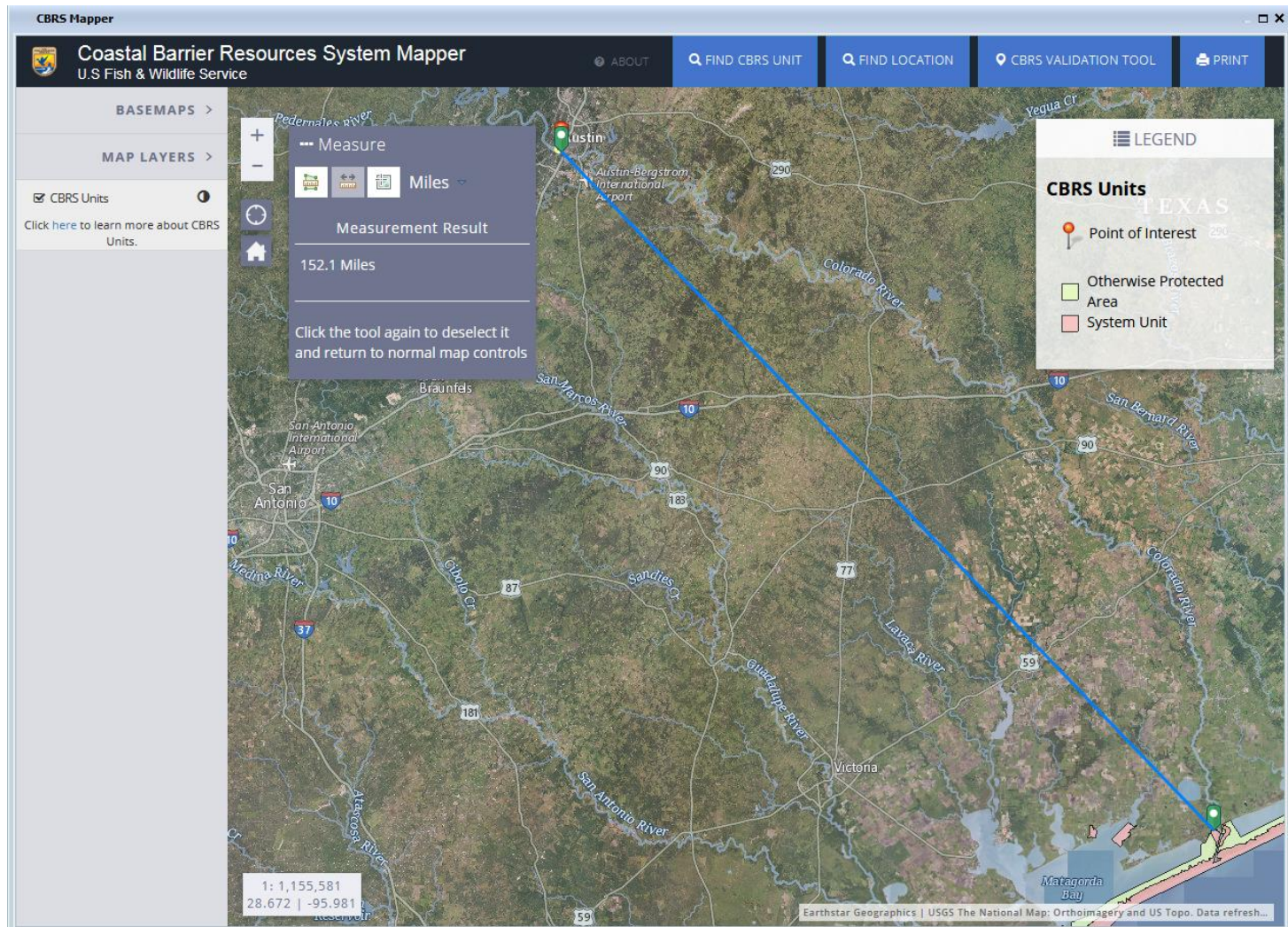
Coastal Barrier Resources System (CBRS) Map – Sources and Distances

U.S. Fish & Wildlife Services

RHDA-OHDA Infill Project #2

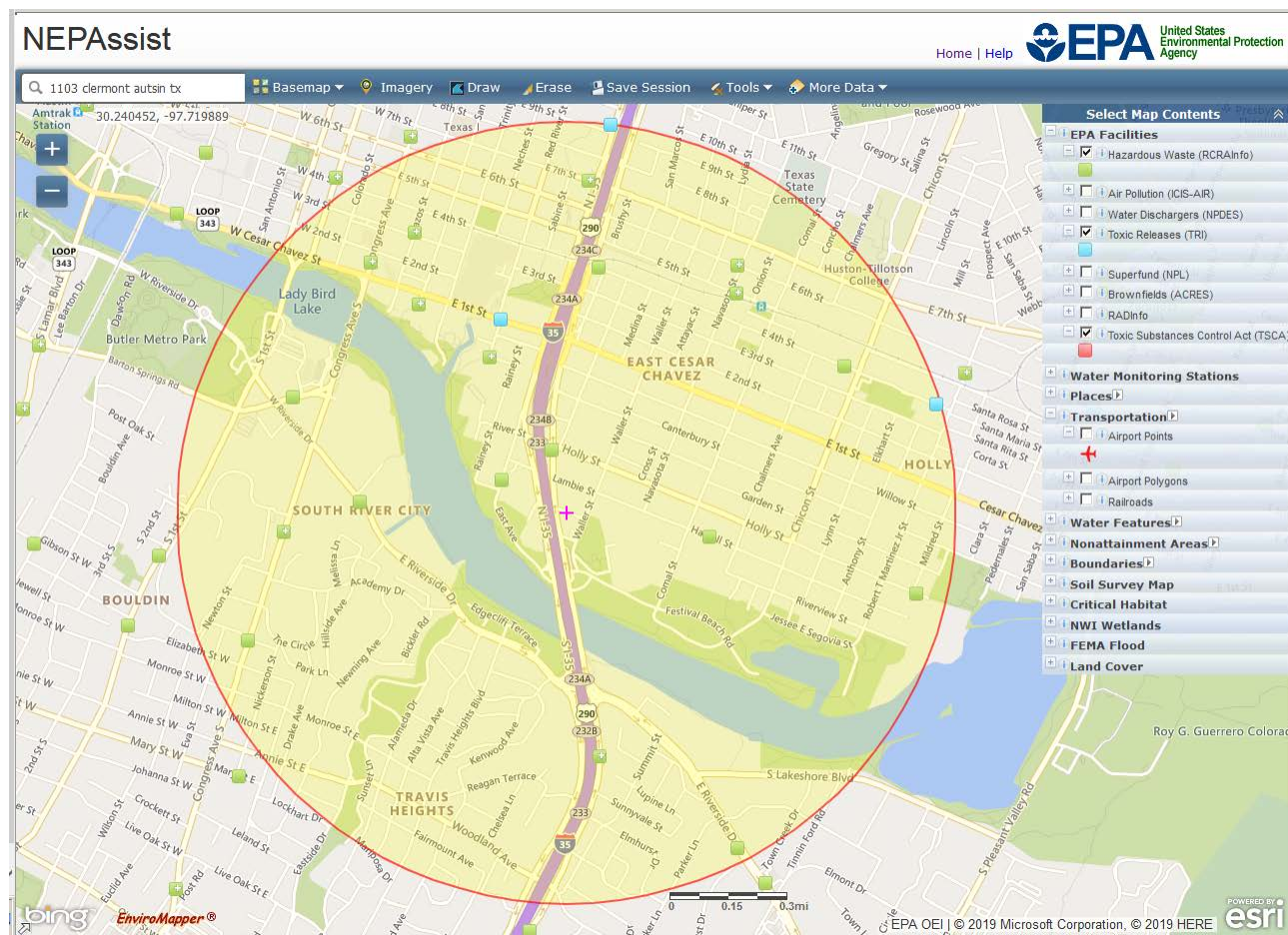
1103 Clermont Ave, Austin, TX 78702

Approximately 152.1 Miles to Closest CRBS



Attachment 6

Contamination and Toxic Substances
24 CFR Part 50.3(i) & 58.5(i)(2)
US Environmental Protection Agency, NEPAssist Map
RHDA-OHDA Infill Project #2
1103 Clermont Ave, Austin, TX 78702



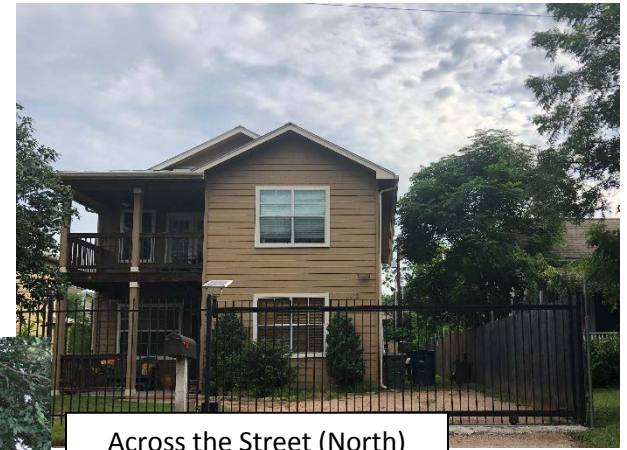
Photos of 1103 Clermont – No Hazards Detected



Front of House



Front of House (West Side)



Across the Street (North)



Neighbor (West)



Neighbor (East)



P.O. Box 1088, Austin, TX 78767
www.cityofaustin.org/housing

Neighborhood Housing and Community Development Department

Dawn Perkins, Business Process Specialist

(512) 974-6001, Fax: (512) 974-3161, dawn.perkins@austintexas.gov

Date: September 10, 2019
To: ERR – Memo to File
RE: Environmental Conclusions under Part 58.5(i)(2)(i-iv) Contamination
and Toxic Substances [24 CFR 58.5(i)(2)]


Project Addresses: 1103 Clermont Street
Austin, Travis County, Texas 78702

All property proposed for HUD program shall be free of hazardous materials, contamination, toxic chemicals, gases and radioactive substances where the hazard could affect the health and safety of occupants or conflict with the intended utilization of the property.

Evaluation must be conducted on any proposed site to determine whether it is the general proximity of dumps, landfills, industrial sites, or other locations that contain, or may have contained, hazardous wastes.

Review of the Environmental Protection Agency's (EPA) NEPAassist viewer has provided the following conclusions:

1. There are twenty-nine (29) Hazardous Waste sites found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site.
2. There are three (3) Toxic Release facilities found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site.


Signature

9/10/19
Date

Detailed Facility Report

Facility Summary

BORDEN INC DAIRY DIV

600 E 1ST ST, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110002135010

EPA Region: 06

Latitude: 30.26176

Longitude: -97.73878

Locational Data Source: TRIS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violations	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
No data records returned										

Regulatory Information

Clean Air Act (CAA): No
Information

Clean Water Act (CWA): No
Information

Resource Conservation and
Recovery Act (RCRA): No
Information

Safe Drinking Water Act (SDWA):
No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No
Information

Toxic Releases (TRI): 78701BRDNN600EA

Compliance and Emissions Data Reporting
Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

INDUSTRIAL LAMINATES CORP

1806 E 4TH STREET, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005037913

EPA Region: 06

Latitude: 30.26001

Longitude: -97.72401

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

State	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	0	0	No Violation Identified	0	0	0	0	0	0	0

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD008099749)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CONCRETE CHEMICAL CORPORATION
411 COMAL ST, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005062270
EPA Region: 06
Latitude: 30.26187
Longitude: -97.72709
Locational Data Source: FRS
Industry: No description found
Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive (TXD076924091)
Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

FRS (Facility Registry Service) ID:
EPA Region:
Latitude:
Longitude:
Locational Data Source:
Industry:
Indian Country:

Enforcement and Compliance Summary

Status	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)

Regulatory Information

Clean Air Act (CAA):
Clean Water Act (CWA):
Resource Conservation and
Recovery Act (RCRA):
Safe Drinking Water Act (SDWA):

Other Regulatory Reports

Air Emissions Inventory (EIS):
Greenhouse Gas Emissions (eGGRT):
Toxic Releases (TRI):
Compliance and Emissions Data Reporting
Interface (CEDRI):

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	State	Identifier	Universe	Status	Area	Permit Expiration Date	Indian Country	Latitude	Longitude

Facility Address

System	State	Identifier	Facility Name	Facility Address

Detailed Facility Report

Facility Summary

**CMC STEEL FABRICATORS INC (DBA CMC
CAPITOL CITY STEEL)**
900 I-35 N, BUDA, TX 78610

FRS (Facility Registry Service) ID: 110000465265
EPA Region: 06
Latitude: 30.268978
Longitude: -97.734037
Locational Data Source: FRS
Industry:
Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
#CRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No
Information
Clean Water Act (CWA): No
Information
Resource Conservation and
Recovery Act (RCRA): Inactive
(TXD988060141)
Safe Drinking Water Act (SDWA):
No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No
Information
Toxic Releases (TRI): 78610CPTLC900NO
Compliance and Emissions Data Reporting
Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Detailed Facility Report

Facility Summary

WHITLEY COMPANY#
301-05 BRAZOS, AUSTIN, TX 78767

FRS (Facility Registry Service) ID: 110005038324
EPA Region: 06
Latitude: 30.26498
Longitude: -97.74247
Locational Data Source: FRS
Industry:
Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Active (TXD008116857)
Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

WHITLEY COMPANY#

301-05 BRAZOS, AUSTIN, TX 78767

FRS (Facility Registry Service) ID: 110005038324

EPA Region: 06

Latitude: 30.26498

Longitude: -97.74247

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	0	0	No Violation Identified	0	0	0	0	0	0	0

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXD008116857)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

AUSTIN AMERICAN STATESMAN

305 CONGRESS AVE, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005104083

EPA Region: 06

Latitude: 30.265308

Longitude: -97.743846

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
CAA	--	--	--	--	--	--	--	--	--	--
RCRA	--	01/23/2009	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXD982291569)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): 9071811

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CVS PHARMACY 7483

500 CONGRESS AVE, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110046406947

EPA Region: 06

Latitude: 30.26728

Longitude: -97.74311

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXR000081081)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

PLAZA SALTILLO

800 E 4TH ST, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110069639626

EPA Region: 06

Latitude: 30.2637

Longitude: -97.73458

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	0	0	No Violation Identified	0	0	0	0	0	0	0

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXP490352566)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

ATLAS CLEANERS 1

1107 E 6TH, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005046002

EPA Region: 06

Latitude: 30.26461

Longitude: -97.73109

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	0	---	No Violations Identified	0	0	---	---	---	---	---

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD030910806)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

AUSTIN BODY WORKS

1310 E 6TH ST, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005066338

EPA Region: 06

Latitude: 30.26376

Longitude: -97.72859

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD091693168)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

NATIONAL COATINGS & SUPPLIES

1400 E. 5TH ST., STE. A, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110061058849

EPA Region: 06

Latitude: 30.26274

Longitude: -97.72863

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Ins (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	0		No Violation Identified	0	0	0	0	0	0	0

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXR000081953)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics



City of Austin

MEMO

P.O. Box 1088, Austin, TX 78767
www.cityofaustin.org/housing

Neighborhood Housing and Community Development Department

Dawn Perkins, Business Process Specialist

(512) 974-6001, Fax: (512) 974-3161, dawn.perkins@austintexas.gov

Date: September 10, 2019
To: ERR – Memo to File
RE: Environmental Conclusions under Part 58.5(i)(2)(i-iv) Contamination
and Toxic Substances [24 CFR 58.5(i)(2)]

Project Addresses: 1103 Clermont Street
Austin, Travis County, Texas 78702

All property proposed for HUD program shall be free of hazardous materials, contamination, toxic chemicals, gases and radioactive substances where the hazard could affect the health and safety of occupants or conflict with the intended utilization of the property.

Evaluation must be conducted on any proposed site to determine whether it is the general proximity of dumps, landfills, industrial sites, or other locations that contain, or may have contained, hazardous wastes.

Review of the Environmental Protection Agency's (EPA) NEPAAssist viewer has provided the following conclusions:

1. There are twenty-nine (29) Hazardous Waste sites found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site.
2. There are three (3) Toxic Release facilities found within a one mile radius of project location. Review of these sites note all are in compliance, therefore no significant impacts are expected to project site.

Signature

Date

Detailed Facility Report

Facility Summary

INDUSTRIAL LAMINATES CORP
1806 E 4TH STREET, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005037913
 EPA Region: 06
 Latitude: 30.26001
 Longitude: -97.72401
 Locational Data Source: FRS
 Industry: No description found
 Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
 Clean Water Act (CWA): No Information
 Resource Conservation and Recovery Act (RCRA): Inactive (TXD008099749)
 Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
 Greenhouse Gas Emissions (eGGRT): No Information
 Toxic Releases (TRI): No Information
 Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

FRS (Facility Registry Service) ID:
EPA Region:
Latitude:
Longitude:
Locational Data Source:
Industry:
Indian Country:

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)

Regulatory Information

Clean Air Act (CAA):
Clean Water Act (CWA):
Resource Conservation and
Recovery Act (RCRA):
Safe Drinking Water Act (SDWA):

Other Regulatory Reports

Air Emissions Inventory (EIS):
Greenhouse Gas Emissions (eGGRT):
Toxic Releases (TRI):
Compliance and Emissions Data Reporting
Interface (CEDRI):

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	Statute	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude

Facility Address

System	Statute	Identifier	Facility Name	Facility Address
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Detailed Facility Report

Facility Summary

AUSTIN ISD

1601 HASKELL ST, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005090631

EPA Region: 06

Latitude: 30.25367

Longitude: -97.72982

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD981585151)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

FAMILY DOLLAR #1700

1917 E. RIVERSIDE DR., AUSTIN, TX 78741

FRS (Facility Registry Service) ID: 110063679318

EPA Region: 06

Latitude: 30.24213

Longitude: -97.72862

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXR000082290)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CVS PHARMACY 6863

1105 N IH 35, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110046406233

EPA Region: 06

Latitude: 30.245554

Longitude: -97.734541

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Invp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXR000080905)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

GENERAL SERVICE COMMISSION

1107 IH-35 N, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110008159535

EPA Region: 06

Latitude: 30.245549

Longitude: -97.734541

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD987989464)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

EXXON MOBIL CORPORATION

619 N IH 35, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005132542

EPA Region: 06

Latitude: 30.246761

Longitude: -97.734687

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Invp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD988032124)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CFJ BARGE REFINING

210 BARTON SPRINGS #319, AUSTIN, TX

78704

FRS (Facility Registry Service) ID: 110005080250

EPA Region: 06

Latitude: 30.25886

Longitude: -97.7477

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXD980865067)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Detailed Facility Report

Facility Summary

**BUMPER-TO-BUMPER CAR PARTS AND
201 SAN JACINITO, AUSTIN, TX 78701**

FRS (Facility Registry Service) ID: 110005097661
EPA Region: 06
Latitude: 30.26389
Longitude: -97.74169
Locational Data Source: FRS
Industry: No description found
Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	---	---	No Violations Identified	0	0	---	---	---	---	---

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive (TXD981902612)
Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

FOUR SEASONS HOTEL

98 SAN JACINTO BLVD, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005133667

EPA Region: 06

Latitude: 30.26232

Longitude: -97.74228

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	---	---	No Violations Identified	0	0	---	---	---	---	---

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Active (TXD988033759)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

AUSTIN CONVENTION CENTER

500 E CESAR CHAVEZ ST, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110062912497

EPA Region: 06

Latitude: 30.262007

Longitude: -97.739616

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years) Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXR000082023)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

COMMUNICATION SPECIALISTS INC

603 DAVIS ST, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005152271

EPA Region: 06

Latitude: 30.26037

Longitude: -97.73926

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD988075248)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CITY OF AUSTIN FLEET SERVICES

600 RIVER ST, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005097448

EPA Region: 06

Latitude: 30.25794

Longitude: -97.7396

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD981901523)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

AEGIS ASSOCIATES INC

44 EAST AVE STE 100, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005108971

EPA Region: 06

Latitude: 30.25579

Longitude: -97.73875

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD982557167)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

AEGIS ASSOCIATES INC

44 EAST AVE STE 100, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005108971

EPA Region: 06

Latitude: 30.25579

Longitude: -97.73875

Locational Data Source: FRS

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

State	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	—	—	No Violation Identified	0	0	—	—	—	—	—

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXD982557167)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

US DEPARTMENT OF JUSTICE

55 N IH 35, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110005025294

EPA Region: 06

Latitude: 30.256908

Longitude: -97.73658

Locational Data Source: RCRAINFO

Industry: No description found

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TX0981903305)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

PLAZA SALTILLO

800 E 4TH ST, AUSTIN, TX 78702

FRS (Facility Registry Service) ID: 110069639626

EPA Region: 06

Latitude: 30.2637

Longitude: -97.73458

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXP490352566)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CASTRO'S CLEANERS

502 EAST 6TH STREET, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110001875052

EPA Region: 06

Latitude: 30.26672

Longitude: -97.738

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
CAA	--	--	No Violation Identified	0	0	--	--	--	--	--
RCRA	--	--	No Violation Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): Operating

Minor (06000000484536E021)

Clean Water Act (CWA): No

Information

Resource Conservation and

Recovery Act (RCRA): Inactive

(TXD981610827)

Safe Drinking Water Act (SDWA):

No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No

Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Detailed Facility Report

Facility Summary

CVS PHARMACY 7483

500 CONGRESS AVE, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110046406947

EPA Region: 06

Latitude: 30.26728

Longitude: -97.74311

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	—	—	No Violations Identified	0	0	—	—	—	—	—

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TXR000081081)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

MOBIL OIL CORPORATION
717 E 7TH, AUSTIN, TX 78701

FRS (Facility Registry Service) ID: 110005136209
EPA Region: 06
Latitude: 30.26692
Longitude: -97.735
Locational Data Source: FRS
Industry: No description found
Indian Country: N

Enforcement and Compliance Summary

State	Insps (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	--	--	No Violations Identified	0	0	--	--	--	--	--

Regulatory Information

Clean Air Act (CAA): No Information
Clean Water Act (CWA): No Information
Resource Conservation and Recovery Act (RCRA): Inactive (TXD988038402)
Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information
Greenhouse Gas Emissions (eGGRT): No Information
Toxic Releases (TRI): No Information
Compliance and Emissions Data Reporting Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

Detailed Facility Report

Facility Summary

FRS (Facility Registry Service) ID:
EPA Region:
Latitude:
Longitude:
Locational Data Source:
Industry:
Indian Country:

Enforcement and Compliance Summary

State	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)

Regulatory Information

Clean Air Act (CAA):
Clean Water Act (CWA):
Resource Conservation and
Recovery Act (RCRA):
Safe Drinking Water Act (SDWA):

Other Regulatory Reports

Air Emissions Inventory (EIS):
Greenhouse Gas Emissions (eGGRT):
Toxic Releases (TRI):
Compliance and Emissions Data Reporting
Interface (CEDRI):

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

System	State	Identifier	Universe	Status	Areas	Permit Expiration Date	Indian Country	Latitude	Longitude

Facility Address

System	State	Identifier	Facility Name	Facility Address

Detailed Facility Report

Facility Summary

TWOMEY AUTO WORKS

1009 S CONGRESS AVE, AUSTIN, TX 78704

FRS (Facility Registry Service) ID: 110005015321

EPA Region: 06

Latitude: 30.25388

Longitude: -97.7481

Locational Data Source: FRS

Industry:

Indian Country: N

Enforcement and Compliance Summary

Statute	Insp (5 Years)	Date of Last Inspection	Compliance Status	Qtrs with NC (Noncompliance) (of 12)	Qtrs with Significant Violation	Informal Enforcement Actions (5 years)	Formal Enforcement Actions (5 years)	Penalties from Formal Enforcement Actions (5 years)	EPA Cases (5 years)	Penalties from EPA Cases (5 years)
RCRA	—	—	No Violations Identified	0	0	—	—	—	—	—

Regulatory Information

Clean Air Act (CAA): No Information

Clean Water Act (CWA): No Information

Resource Conservation and Recovery Act (RCRA): Inactive (TX0000241430)

Safe Drinking Water Act (SDWA): No Information

Other Regulatory Reports

Air Emissions Inventory (EIS): No Information

Greenhouse Gas Emissions (eGGRT): No Information

Toxic Releases (TRI): No Information

Compliance and Emissions Data Reporting

Interface (CEDRI): No Information

Known Data Problems

Facility/System Characteristics

Facility/System Characteristics

**Environmental Assessment Compliance Support Documentation
Hazards, Nuisances and Site Safety Checklist**

EMC Infil lots
Project Name:

1103 Clement Ave
Location Address

Austin, TX 78702
City, State, Zip

A. Will the project be affected by natural hazards?

	Yes	No		Yes	No
1. Faults, fracture		✓	1. Fire hazard materials		✓
2. Cliffs, bluffs, crevices		✓	2. Wind/sand storm concerns		✓
3. Slope-failures from rains		✓	3. Poisonous plants, insects, animals		✓
4. Unprotected water bodies		✓	4. Hazardous terrain features		✓

B. Will the project be affected by built hazards and nuisances?

	Yes	No		Yes	No
1. Hazardous street		✓	1. Inadequate screened drainage catchments		✓
2. Dangerous intersection		✓	2. Hazards in vacant lots		✓
3. Through traffic		✓	3. Chemical tank-car terminals		✓
4. Inadequate separation of pedestrian/vehicle traffic		✓	4. Other hazardous chemical storage		✓
5. Children's play areas located next to freeway or other high traffic way		✓	5. High-pressure gas or liquid petroleum transmission lines on site		✓
6. Inadequate street lighting		✓	6. Overhead transmission lines		✓
7. Quarries or other excavations		✓	7. Hazardous cargo transportation routes		✓
8. Dumps/sanitary landfills or mining		✓	8. Oil or gas wells		✓
9. Railroad crossing		✓	9. Industrial operations		✓

C. Will the project be affected by nuisances?

	Yes	No		Yes	No
1. Gas, smoke, fumes		✓	1. Unsightly land uses		✓
2. Odors		✓	2. Front-lawn parking		✓
3. Vibration		✓	3. Abandoned vehicle		✓
4. Glare from parking area		✓	4. Vermin infestation		✓
5. Vacant/boarded-up buildings		✓	5. Industrial nuisances		✓
			6. Other (specify)		

Dawn Perkins
Preparer's Name

Business Process specialist 9/9/19
Preparer's Title Date

NHCD
Preparer Agency Name

dawn.perkins@austintexas.gov
Email

974-6001
Phone

SITE-SPECIFIC FIELD CONTAMINATION CHECKLIST

Completing the form requires a site visit by the preparer. The preparer should be sure to observe the property by walking through the property and the building(s) and other structures on the property to the extent possible and observing all adjoining* properties.

PREPARER MUST COMPLETE CHECKLIST IN ITS ENTIRETY

Date of Visit:	9/9/19	Time:	11:47	Weather Conditions:	Sunny/clear
Program Name:	GNDC Infil Lot				
Project Location/Address:	6103 Claremont				
Property Owner:	GNDC				

Attach the following, as appropriate:

☒ Photographs of site and surrounding areas ☒ Maps (street, topographic, aerial, site map, etc.)

QUESTION	OBSERVATION	
	SUBJECT PROPERTY	ADJOINING PROPERTIES
Is there evidence of any of the following?		
Is the property or any adjoining property currently used, or has evidence of prior use, as a <i>gasoline station, motor vehicle repair facility, printing facility, dry cleaners, photo developing laboratory, junkyard, or as a waste treatment, storage, disposal, processing or recycling facility?</i>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Are there any damaged or discarded <i>automobile(s), automotive or industrial batteries, pesticides, paints, or other chemicals</i> in individual containers greater than 5 gal in volume or 50 gal in the aggregate, stored on or used at the property or adjoining properties?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Are there any industrial <i>drums</i> (typically 55 gal) or sacks of <i>chemicals, herbicides or pesticides</i> located on the property or adjoining properties?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Has <i>fill dirt</i> been brought onto the property or adjoining properties that originated from a suspicious site or that is of an unknown origin?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Are there any <i>pits, ponds, or lagoons</i> located on the property or adjoining properties in connection with waste treatment or waste disposal?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Is there any <i>stained soil, distressed vegetation and/or discolored water</i> on the property or adjoining properties?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Are there any <i>storage tanks</i> , aboveground or underground (other than residential), located on the property or adjoining properties?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>

*Adjoining properties: Any real property or properties the border of which is contiguous or partially contiguous with that of the property, or that would be contiguous or partially contiguous with that of the property but for a street, road, or other public thoroughfare separating them.

QUESTION	SUBJECT PROPERTY	ADJOINING PROPERTIES
Are there any <i>vent pipes, fill pipes, or underground tank access ways</i> visible on the property or adjoining properties?	YES <input type="checkbox"/> NO <input type="checkbox"/> UNKNOWN <input checked="" type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> UNKNOWN <input checked="" type="checkbox"/>
Are any flooring, drains, walls, ceilings, or grounds on the property or adjoining properties <i>stained by substances</i> (other than water) or emitting <i>noxious or foul odors or odors of a chemical nature</i> ?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Is the property served by a <i>private well or non-public water system</i> ? (If yes, a follow-up investigation is required to determine if contaminants have been identified in the well or system that exceed guidelines applicable to the water system, or if the well has been designated contaminated by any government environmental/health agency.)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Has the owner or occupant of the property been informed of the existence of past or current <i>hazardous substances or petroleum products or environmental violations</i> with respect to the property or adjoining properties?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input checked="" type="checkbox"/>
Do the property or adjoining properties <i>discharge wastewater</i> (not including sanitary waste or storm water) onto the property or adjoining properties and/or into a storm water system?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
Is there a <i>transformer, capacitor, or any hydraulic equipment</i> on the property or adjoining properties that are not marked as "non-PCB"?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNKNOWN <input type="checkbox"/>
<p>If answering "YES" or UNKNOWN" to any above items, describe the conditions: <i>There is a auto sales shop two doors down, but there are no known hazards.</i></p> <p>Use photographs and maps to mark and identify conditions. Attach more information as needed.</p> <p>Is further evaluation warranted? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> UNCERTAIN <input type="checkbox"/></p>		
Preparer of this form must complete the following required information.		
This inspection was completed by:		
Name: <i>Dawn Penning</i>	Phone Number: <i>512-974-6001</i>	
	Email: <i>dawn.penning@austintexas.gov</i>	
Title: <i>Business Process Specialist</i>	Agency: <i>Noted</i>	
Address: <i>1000 East 11th St, Austin, TX 78702</i>		
Preparer represents that to the best of his/her knowledge the above statements and facts are true and correct and to the best of his/her actual knowledge no material facts have been suppressed, omitted or misstated.		
Signature: <i>dawn</i>	Date: <i>9/9/19</i>	

Attachment 7

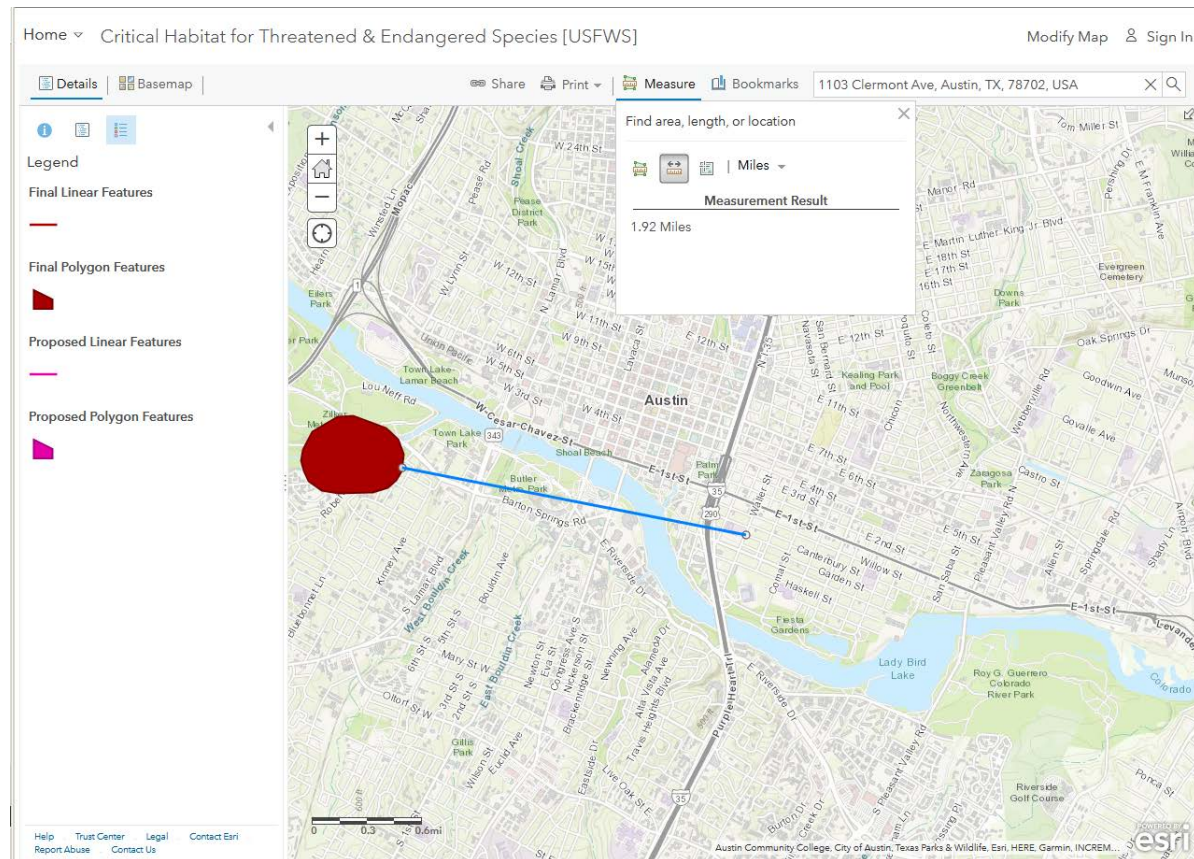
Endangered Species

Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402
Critical Habitat for Threatened and Endangered Species Map - U.S. Fish & Wildlife Service
RHDA-OHDA Infill Project #2
1103 Clermont, Austin TX 78747

Upon reviewing the attached IPAC list, we have determined that there are no habitats suitable or conducive to any of the species listed:

1. Birds:
 - a. Golden-cheeked Warbler: The project site/action area does not contain any habitat appropriate for the Golden-cheeked Warbler (see site survey – site contains Hackberry, Crepe Myrtle, and Elm trees, not Juniper Oak)
 - b. Least Tern, Piping Plover, Red Knot = this is not a wind energy project, therefore these species are not considered
 - c. Whooping Crane: the project site/action area is outside this species' critical habitat
2. Amphibians: The project site is not located within critical habitat for the listed species. The project site does not contain habitat for the listed species, as it contains no water features or caves.
3. Clams: The project site is not located within critical habitat for the listed species. The project site does not contain habitat for the listed species, as it contains no water features.
4. Insects: The project site does not contain habitat for the listed species, as it contains no caves.
5. Flowering plants: Bracted Twist flower is mostly found in thinner soils overlaying limestone formations, which is not our site.
6. Critical habitats: There are no critical habitats within the project area under USFWS jurisdiction (see Fish and Wildlife Services Map)

1.94 Miles to Nearest Critical Habitat (Barton Springs Salamander Habitat)





United States Department of the Interior



FISH AND WILDLIFE SERVICE

Austin Ecological Services Field Office

10711 Burnet Road, Suite 200

Austin, TX 78758-4460

Phone: (512) 490-0057 Fax: (512) 490-0974

<http://www.fws.gov/southwest/es/AustinTexas/>

<http://www.fws.gov/southwest/es/EndangeredSpecies/lists/>

In Reply Refer To:

July 05, 2019

Consultation Code: 02ETAU00-2019-SLI-1399

Event Code: 02ETAU00-2019-E-02820

Project Name: 2019-RHDA-OHDA-Infill-#2

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that *may* occur within the county of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

Please note that new information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Also note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of federally listed as threatened

or endangered species and to determine whether projects may affect these species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

While a Federal agency may designate a non-Federal representative to conduct informal consultation or prepare a biological assessment, the Federal Agency must notify the Service in writing of any such designation. The Federal agency shall also independently review and evaluate the scope and content of a biological assessment prepared by their designated non-Federal representative before that document is submitted to the Service.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by a federally funded, permitted or authorized activity, the agency is required to consult with the Service pursuant to 50 CFR 402. The following definitions are provided to assist you in reaching a determination:

- *No effect* - the proposed action will not affect federally listed species or critical habitat. A “no effect” determination does not require section 7 consultation and no coordination or contact with the Service is necessary. However, if the project changes or additional information on the distribution of listed or proposed species becomes available, the project should be reanalyzed for effects not previously considered.
 - *May affect, but is not likely to adversely affect* - the project may affect listed species and/or critical habitat; however, the effects are expected to be discountable, insignificant, or completely beneficial. Certain avoidance and minimization measures may need to be implemented in order to reach this level of effect. The Federal agency or the designated non-Federal representative should consult with the Service to seek written concurrence that adverse effects are not likely. Be sure to include all of the information and documentation used to reach your decision with your request for concurrence. The Service must have this documentation before issuing a concurrence.
 - *Is likely to adversely affect* - adverse effects to listed species may occur as a direct or indirect result of the proposed action. For this determination, the effect of the action is neither discountable nor insignificant. If the overall effect of the proposed action is beneficial to the listed species but the action is also likely to cause some adverse effects to individuals of that species, then the proposed action “is likely to adversely affect” the listed species. The analysis should consider all interrelated and interdependent actions. An “is likely to adversely affect” determination requires the Federal action agency to initiate formal section 7 consultation with our office.
-

Regardless of the determination, the Service recommends that the Federal agency maintain a complete record of the evaluation, including steps leading to the determination of effect, the qualified personnel conducting the evaluation, habitat conditions, site photographs, and any other related information. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at: <http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>.

Migratory Birds

For projects that may affect migratory birds, the Migratory Bird Treaty Act (MBTA) implements various treaties and conventions for the protection of these species. Under the MBTA, taking, killing, or possessing migratory birds is unlawful. Migratory birds may nest in trees, brushy areas, or other areas of suitable habitat. The Service recommends activities requiring vegetation removal or disturbance avoid the peak nesting period of March through August to avoid destruction of individuals, nests, or eggs. If project activities must be conducted during this time, we recommend surveying for nests prior to conducting work. If a nest is found, and if possible, the Service recommends a buffer of vegetation remain around the nest until the young have fledged or the nest is abandoned.

For additional information concerning the MBTA and recommendations to reduce impacts to migratory birds please contact the U.S. Fish and Wildlife Service Migratory Birds Office, 500 Gold Ave. SW, Albuquerque, NM 87102. A list of migratory birds may be viewed at <https://www.fws.gov/birds/management/managed-species/migratory-bird-treaty-act-protected-species.php>. Guidance for minimizing impacts to migratory birds for projects including communications towers can be found at: <https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/communication-towers.php>. Additionally, wind energy projects should follow the wind energy guidelines

<https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/wind-energy.php>) for minimizing impacts to migratory birds and bats.

Finally, please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.), and projects affecting these species may require development of an eagle conservation plan <https://www.fws.gov/birds/management/project-assessment-tools-and-guidance/guidance-documents/eagles.php>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Austin Ecological Services Field Office

10711 Burnet Road, Suite 200

Austin, TX 78758-4460

(512) 490-0057

Project Summary

Consultation Code: 02ETAU00-2019-SLI-1399

Event Code: 02ETAU00-2019-E-02820

Project Name: 2019-RHDA-OHDA-Infill-#2

Project Type: DEVELOPMENT

Project Description: 1103 Clermont Ave, Austin TX

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/place/30.254567925586137N97.73586395896774W>



Counties: Travis, TX

Endangered Species Act Species

There is a total of 20 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 3 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.
-

Birds

NAME	STATUS
<p>Golden-cheeked Warbler (=wood) <i>Dendroica chrysoparia</i></p> <p>No critical habitat has been designated for this species.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/33</p>	Endangered
<p>Least Tern <i>Sterna antillarum</i></p> <p>Population: interior pop.</p> <p>No critical habitat has been designated for this species.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/8505</p>	Endangered
<p>Piping Plover <i>Charadrius melodus</i></p> <p>Population: [Atlantic Coast and Northern Great Plains populations] - Wherever found, except those areas where listed as endangered.</p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/6039</p>	Threatened
<p>Red Knot <i>Calidris canutus rufa</i></p> <p>No critical habitat has been designated for this species.</p> <p>This species only needs to be considered under the following conditions:</p> <ul style="list-style-type: none"> ▪ Wind Energy Projects <p>Species profile: https://ecos.fws.gov/ecp/species/1864</p>	Threatened
<p>Whooping Crane <i>Grus americana</i></p> <p>Population: Wherever found, except where listed as an experimental population</p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/758</p>	Endangered

Amphibians

NAME	STATUS
<p>Austin Blind Salamander <i>Eurycea waterlooensis</i></p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/5737</p>	Endangered
<p>Barton Springs Salamander <i>Eurycea sosorum</i></p> <p>No critical habitat has been designated for this species.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/1113</p>	Endangered
<p>Jollyville Plateau Salamander <i>Eurycea tonkawae</i></p> <p>There is final critical habitat for this species. Your location is outside the critical habitat.</p> <p>Species profile: https://ecos.fws.gov/ecp/species/3116</p>	Threatened

Clams

NAME	STATUS
Golden Orb <i>Quadrula aurea</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9042	Candidate
Smooth Pimpleback <i>Cyclonaias houstonensis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8967	Candidate
Texas Fatmucket <i>Lampsilis bracteata</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9041	Candidate
Texas Fawnsfoot <i>Truncilla macrodon</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8965	Candidate
Texas Pimpleback <i>Quadrula petrina</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8966	Candidate

Insects

NAME	STATUS
Kretschmarr Cave Mold Beetle <i>Texamaurops reddelli</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/3140	Endangered
Tooth Cave Ground Beetle <i>Rhadine persephone</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5625	Endangered

Arachnids

NAME	STATUS
Bee Creek Cave Harvestman <i>Texella reddelli</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2464	Endangered
Bone Cave Harvestman <i>Texella reyesi</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/5306	Endangered
Tooth Cave Pseudoscorpion <i>Tartarocreagris texana</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6667	Endangered
Tooth Cave Spider <i>Neoleptoneta myopica</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2360	Endangered

Flowering Plants

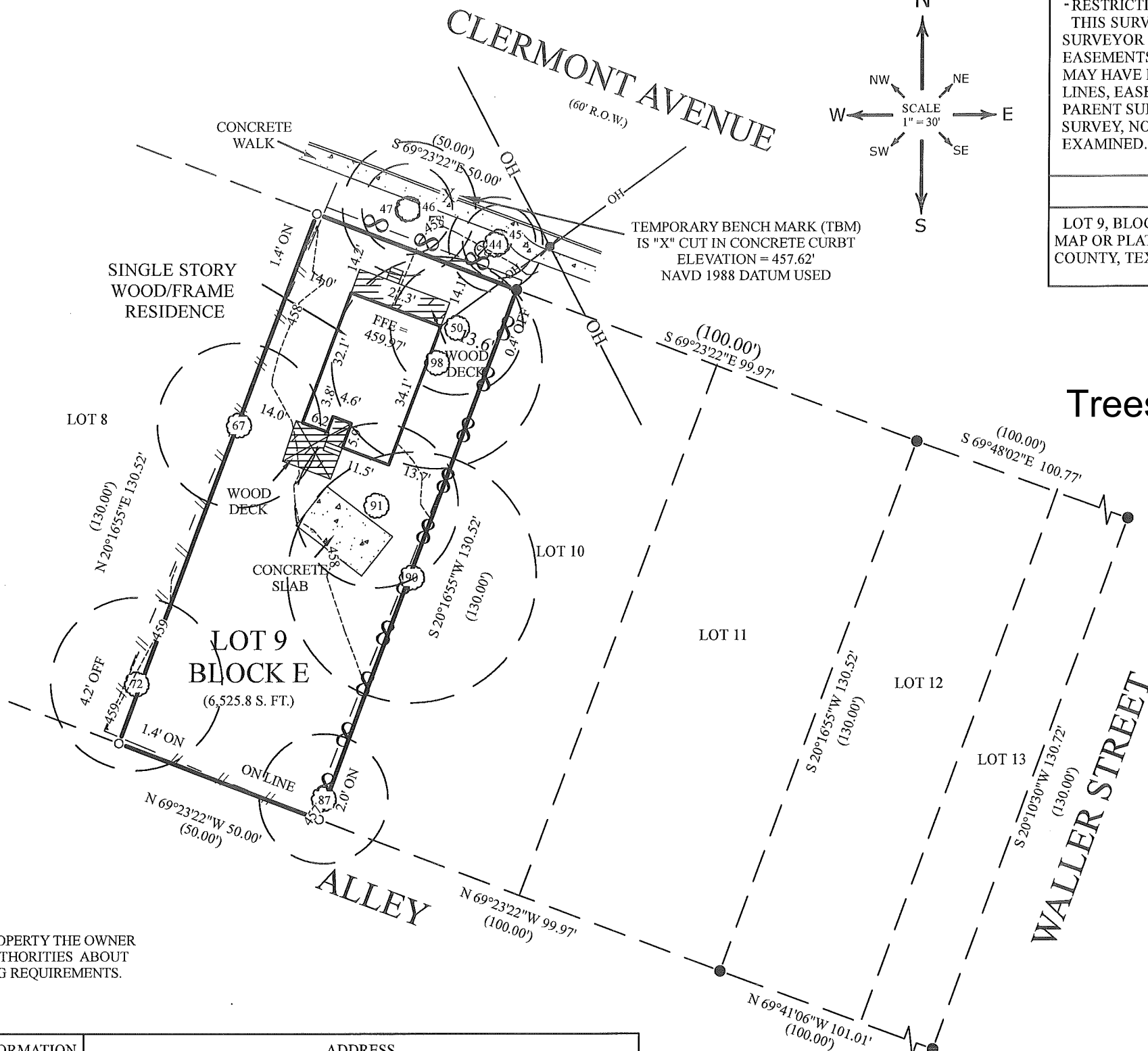
NAME	STATUS
Bracted Twistflower <i>Streptanthus bracteatus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2856	Candidate

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

LEGEND

- 1/2" ROD SET
1/2" ROD FOUND
() RECORD INFORMATION
WATER METER
CLEAN OUT
UTILITY POLE
OH OVERHEAD UTILITY LINE(S)
CHAIN LINK FENCE
WOOD FENCE
ON INSIDE OF SUBJECT BOUNDARY
OFF OUTSIDE OF SUBJECT BOUNDARY
(M) MULTI-STEM TREE
(P) PROTECTED TREE
(H) HERITAGE TREE
X "X" SCRIBE SET IN CONC. FOR TBM



RESTRICTIONS

-RESTRICTIONS:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

LOT 9, BLOCK A, R.C. LAMBIE'S RESUBDIVISION OF VOSS ADDITION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 85 PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

TREE LIST

11	11" CREPE MYRTLE (M)
45	8.5" CREPE MYRTLE (M)
46	10.5" CREPE MYRTLE (M)
47	15.5" CREPE MYRTLE (M)
50	15.2" HACKBERRY
67	19" CHINABERRY
72	20" ELM (P)
87	15" CHINABERRY
90	29" HACKBERRY
91	19" HACKBERRY
98	24.5" ELM (H)

Trees at Site --->

BEARING BASIS:

BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL.

NOTICE

BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

ALLSTAR
Land surveying

9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

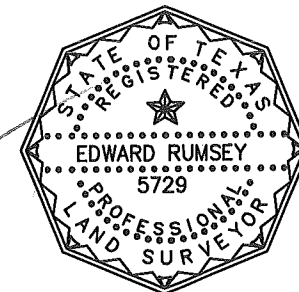
F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 48453C0465J PANEL: 0465J DATED: 01/06/2016 THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

ADDRESS

GUADELUPE NEIGHBORHOOD
DEVELOPMENT CORPORATION
1103 CLERMONT AVENUE
AUSTIN, TRAVIS COUNTY, TEXAS.

SURVEY DATE:	FEBRUARY 13, 2019	FIELD BY:	DERICK SOLOMON	02/12/2019
TITLE CO.:	-	CALC. BY:	CHRIS ZOTTER	02/13/2019
G.F. NO.:	-	DRAWN BY:	ADRIEL LOPEZ	02/13/2019
JOB NO.:	A0207119	RPLS CHECK:	EDWARD RUMSEY	02/13/2019

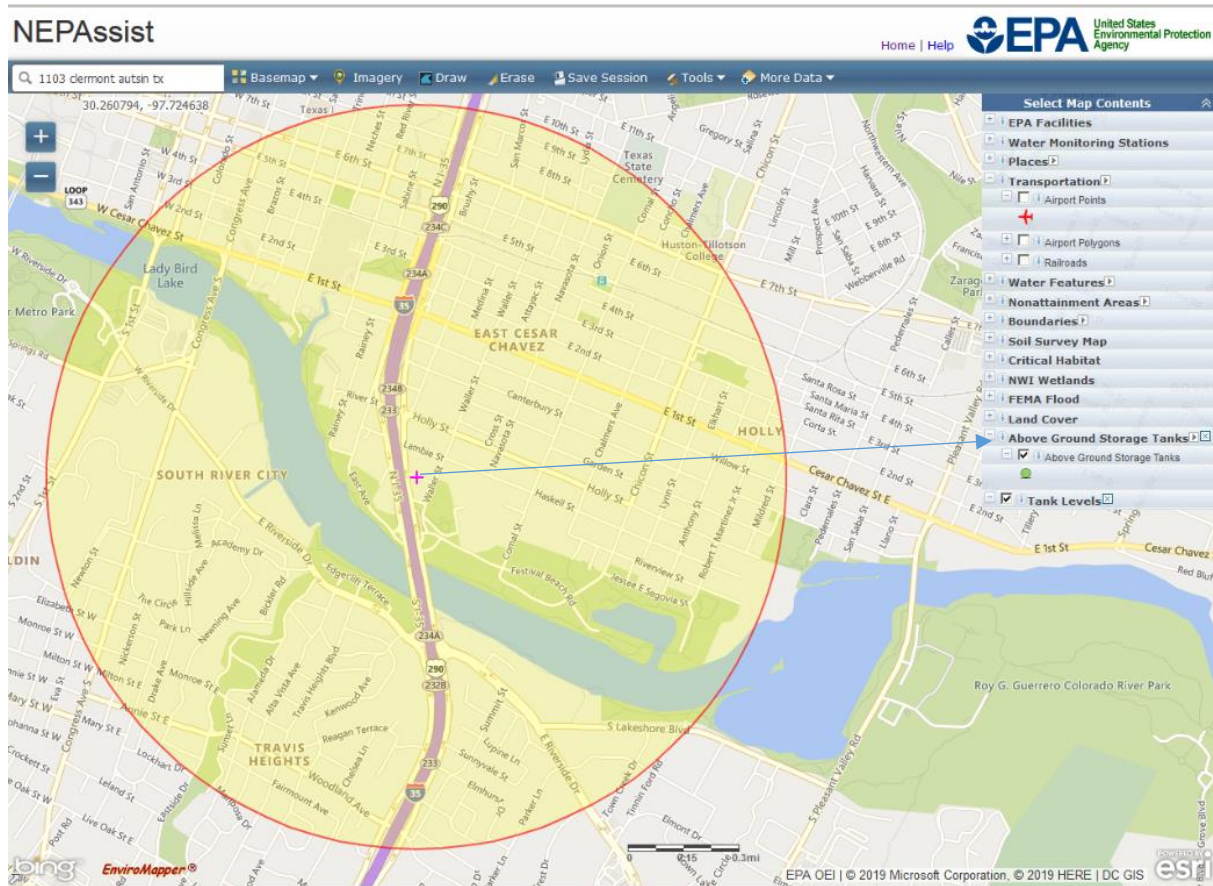


TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

Attachment 8

Explosive and Flammable Hazards
24 CFR Part 51 Subpart C
See Attachment 6 Documentation
RHDA-OHDA Infill Project #2
1103 Clermont Ave, Austin, TX 78702

No Above Ground Storage Tanks Located Via NEPAassist



Attachment 9

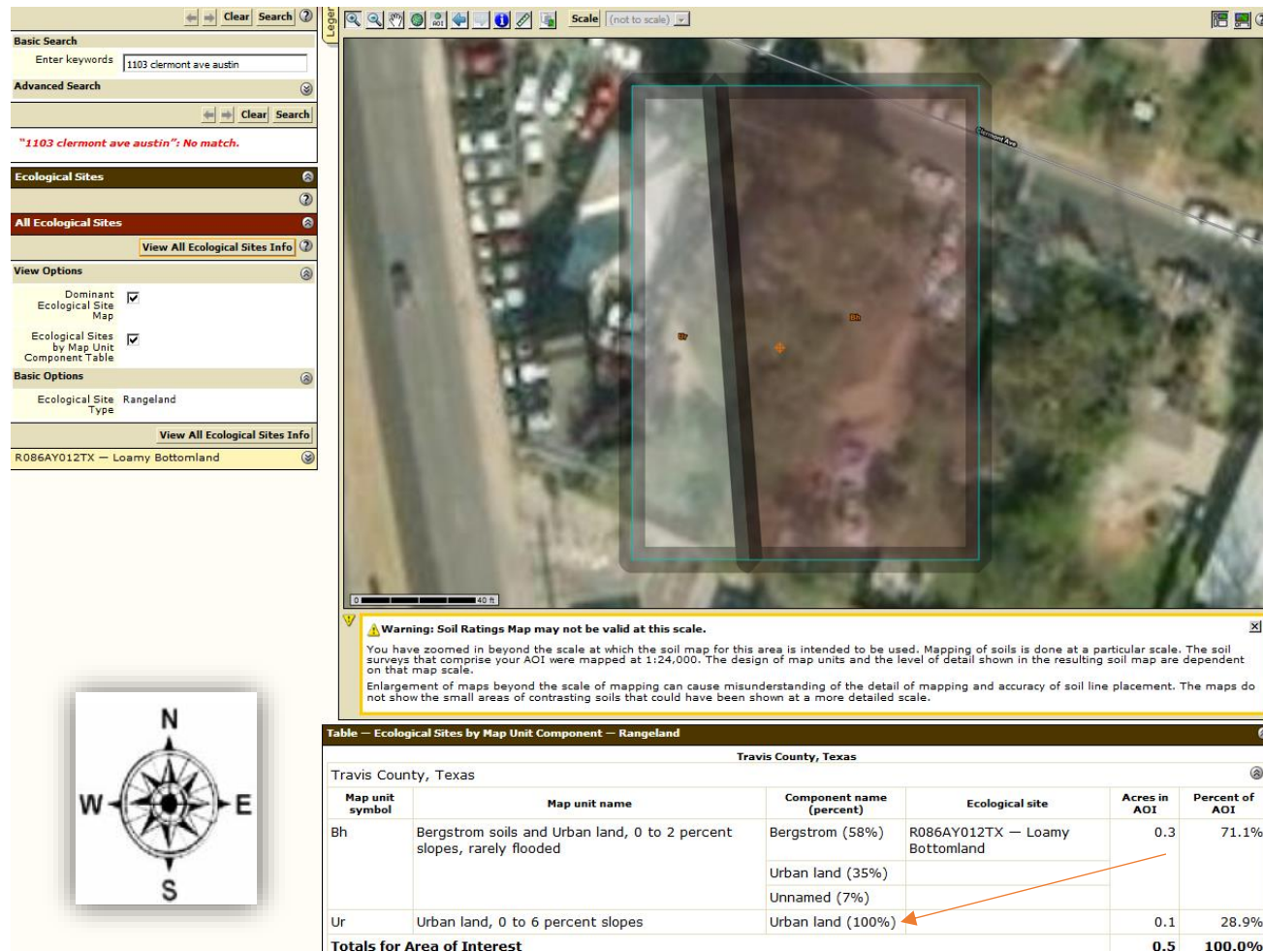
Farmland Classification – U.S. Department of Agriculture

RHDA-OHDA Infill Project #2

1103 Clermont Ave, Austin, TX 78702

<https://websoilsurvey.sc.egov.usda.gov/App/WebSoiSurvey.aspx>

Site is located on Urban Land



Travis County, Texas

Travis County, Texas



Map unit symbol	Map unit name	Component name (percent)	Ecological site	Acres in AOI	Percent of AOI
TuD	Travis soils and urban land, 1 to 8 percent slopes	Travis (45%)	R087AY001TX — Gravelly	35.6	90.0%
		Urban land (35%)			
		Unnamed (20%)			
Ur	Urban land, 0 to 6 percent slopes	Urban land (100%)		2.6	6.6%
UtD	Urban land, Austin, and Whitewright soils, 1 to 8 percent slopes	Urban land (40%)		1.3	3.4%
		Austin (30%)	R086AY007TX — Southern Clay Loam		
		Whitewright (25%)	R086AY007TX — Southern Clay Loam		
		Unnamed (5%)			
Totals for Area of Interest				39.5	100.0%

Attachment 10

Flood Plain Management
FEMA Firmette Flood Map
RHDA-OHDA Infill Project #2
1103 Clermont Ave, Austin TX 78702

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/14/2019 at 5:34:44 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

30°15'31.98"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

30°15'0.90"N

97°43'50.65"W



FLOODPLAIN INFORMATION REQUEST FORM

Tax Parcel ID: 0201040803	Date Processed: 05/20/2019
Property Address: 1103 CLERMONT AVE	
FEMA Flood Insurance Information:	City of Austin Regulatory Information:
Flood Zone*: 0.2 PCT ANNUAL CHANCE FLOOD	25-Year Flood Elevation**: N/A
Community Number: 480624	100-Year Flood Elevation**: N/A
Panel Number: 48453C0465J	All elevations are in feet above mean sea level; Datum for all elevations is NAVD88.
Effective Date: 1/6/2016	
FEMA 100-Year Elevation*: N/A	
FEMA 500-Year Elevation*: N/A	

Additional Questions? Please contact the Floodplain Office

Phone Hotline: 512-974-2843

Fax: 512-974-3584

E-mail: floodpro@austintexas.gov

Mailing Address: Attention: Floodplain Office, Watershed Protection Department-12th Floor, PO BOX 1088
Austin, TX 78767-1088

- * The flood zone determination is based solely on a graphical interpretation of the FEMA Flood Insurance Rate Map (FIRM). Parcels with flood zones **A**, **AE**, **AO**, or **AH** are located or partially located within the FEMA Special Flood Hazard Area designated 1% annual chance flood hazard (100-year floodplain). Parcels with flood zone **0.2% annual chance flood hazard** (500-year floodplain) are located or partially located within the shaded zone X portion of the FIRM. Parcels with flood zone **X Protected by Levee** are located within in an area protected by a levee from the 1% annual chance flood hazard. Parcels with flood zone **X** are located outside the 0.2% annual chance flood hazard. The 1% annual chance flood hazard is the base flood and is used to determine the base flood elevation (BFE) for flood insurance purposes. BFEs must be determined using the flood profiles contained in the effective Flood Insurance Study (FIS). The FEMA 1% annual chance floodplains *may differ* from the City of Austin regulatory floodplains.
- * * The City of Austin uses the fully developed 25-year and 100-year floodplains to regulate development within the full purpose and extra territorial jurisdiction (ETJ) as established in the Land Development Code. The City of Austin regulatory floodplains *may differ* from the FEMA 1% annual chance floodplains.

The City provides the information on this form using the best available engineering and topographic data. Floodplain elevations to be used for development applications must be determined by a Texas Registered Professional Engineer. The official determination of a parcel's floodplain status may necessitate a comparison of the floodplain elevations to an on-the-ground topographic survey by a registered design professional.

DISCLAIMER: The City of Austin provides this information on request as a courtesy to our citizens. Any use of this information is at the sole discretion of the user. The City of Austin makes no warranty, expressed or implied, for the accuracy, completeness, or applicability of the information provided in this form.

THIS FORM IS NOT A PERMIT FOR DEVELOPMENT. For information about development permitting, call the City of Austin Development Assistance Center at 512-974-6370. THIS FORM IS NOT A SUBSTITUTE FOR FEMA FORM 81-93, STANDARD FLOOD HAZARD DETERMINATION. Private flood hazard determination companies may provide Form 81-93. For more information on the National Flood Insurance Program and how to find a flood insurance agent, please visit <http://www.floodsmart.gov/floodsmart/>

ATLAS 14 QUICK REFERENCE SHEET

What is Atlas 14?

The National Weather Service, in partnership with many other federal, state, and local agencies, is in the process of reassessing historic rainfall intensities for Texas with a study called Atlas 14. Rainfall intensities tell us the likelihood of rainfall events of different sizes. Rainfall intensities are used by FEMA and local communities to determine flood risk and to make floodplain maps. Rainfall intensities for the State of Texas have not been assessed since 1994. Atlas 14 is an update of this data meant to incorporate almost a quarter century of rainfall data collected statewide since the last study, up to and including Hurricane Harvey. The graphic to the right indicates in green the areas of Texas where rainfall intensities are increasing.

How Does Atlas 14 Affect Austin?

The Atlas 14 draft study shows the Austin area to be one of the most significantly impacted areas in the State of Texas. In general, this means that, in Austin, what had been considered a 500-year rainfall is in fact a 100-year rainfall. This indicates that many homes and businesses in Austin may be expected to flood more frequently than had been previously thought. However, only 9% of the land area in Austin is projected to be in the new 100-year floodplain.

How Is the City of Austin Responding?

The **Watershed Protection Department** is acting quickly to respond to this more accurate assessment of flood risk. It is critical that we continue to ensure that future development is built to be sufficiently resilient to protect lives and properties of our residents. To that end, we have initiated a code amendment process to adopt this new rainfall information as well as other changes meant to enable properties to redevelop in a safer fashion.

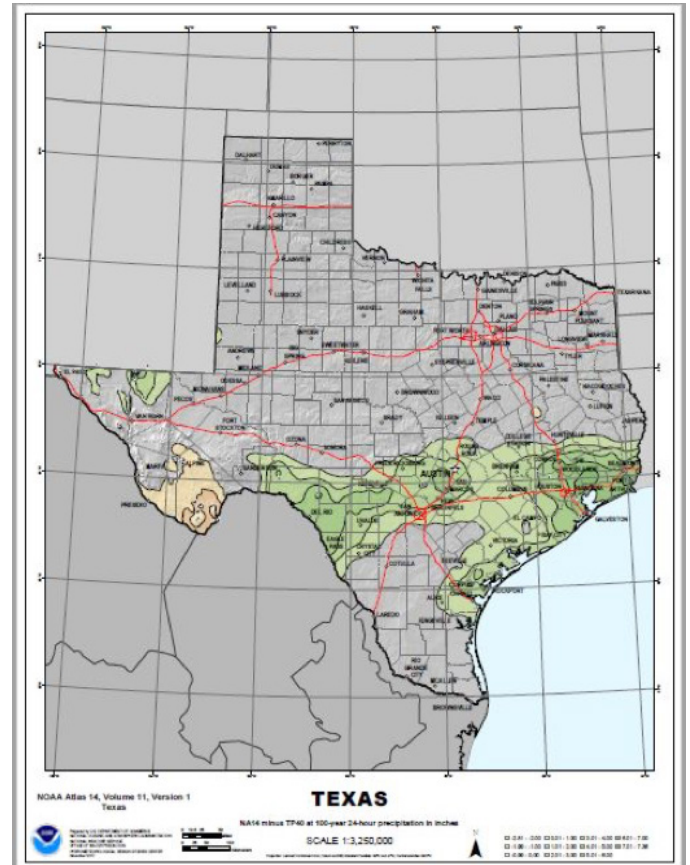
How Do I Get More Information?

Website: www.AustinTexas.gov/Atlas14

Email: Atlas14@AustinTexas.gov



MAP CHANGES TO RAINFALL INTENSITY



IMPACTS TO HOMEOWNERS

How does this affect my property?

Visit our website www.austintexas.gov/atlas14 to access maps of floodplain changes in Austin.

Do I need to buy flood insurance?

While FEMA flood insurance rate maps will not be immediately affected, property owners shown in the 500-year floodplain on the current FEMA maps should consider purchasing flood insurance as soon as possible to best protect their property.

How does this impact development regulations?

Properties located in the City's regulatory floodplain are subject to additional development restrictions. Please visit www.austintexas.gov/floodplainrules to learn more.

Attachment 11

Section 106 of the National Historic Preservation Act
36 CFR 800 "Protection of Historic Properties"

SHPO Request from City of Austin

SHPO Response – No historic properties are present or affected by the project as proposed

List of Tribes to Consult

Letters to Tribes

Tribal Response to Request

RHDA-OHDA Infill Project #2
1103 Clermont, Austin TX 78747



City of Austin

P.O. Box 1088, Austin, TX 78767-1088
www.cityofaustin.org/housing

May 13, 2019

Mark Wolfe
State Historic Preservation Officer
Texas Historical Commission
P.O. Box 12276
Austin, Texas 78711-2276

RE: Rehabilitation of One Unit and New Construction of a 2-bedroom secondary ADU
1103 Clermont Avenue
Austin, Travis County, Texas 78702

Dear Mr. Wolfe:

The City of Austin's Austin Housing Finance Corporation (AHFC) received a proposal for the activity above. AHFC proposes to assist Guadalupe Neighborhood Development Corporation ("GNDC"), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to demolish a 2-bedroom unit and will replace it with a 3-bedroom primary unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below. The required attachments are included. Should you need additional information, please call me at (512) 974-6001.

Sincerely,

Dawn Perkins, MA

Business Process Specialist
Neighborhood Housing and Community Development Department
P.O. Box 1088
Austin, Texas 78767
512-974-6001

The City of Austin is committed to compliance with the American with Disabilities Act and will provide reasonable modifications and equal access to communications upon request.

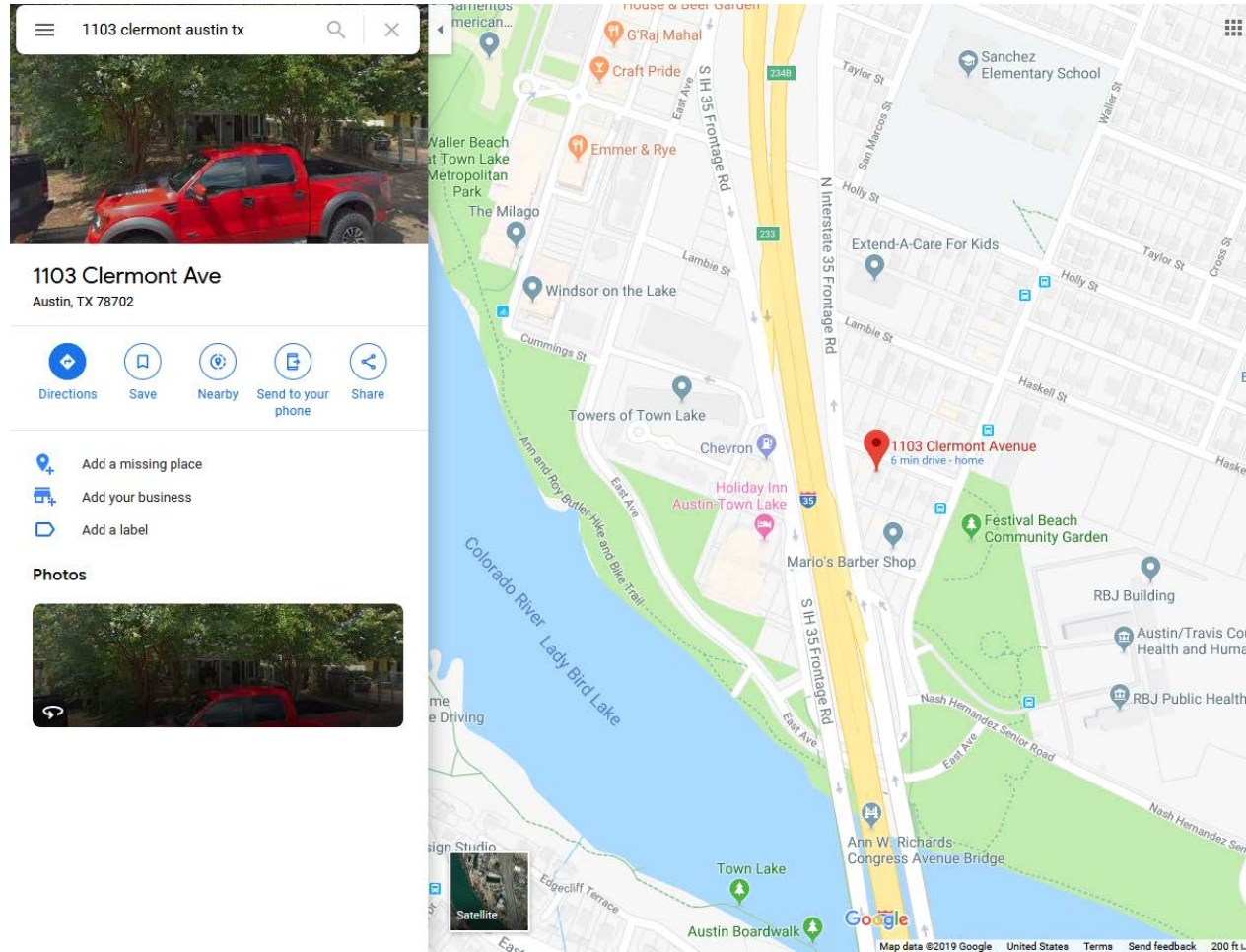
1103 Clermont, Austin, TX 78702

1. Project Work Description

Guadalupe Neighborhood Development Corporation is requesting funds to demolish a 2-bedroom unit and replace it with a 3-bedroom primary unit that will be sold to a first-time home buyer with an income at or below 80% MFI in a Community Land Trust. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

1103 Clermont Ave, Austin, TX 78702

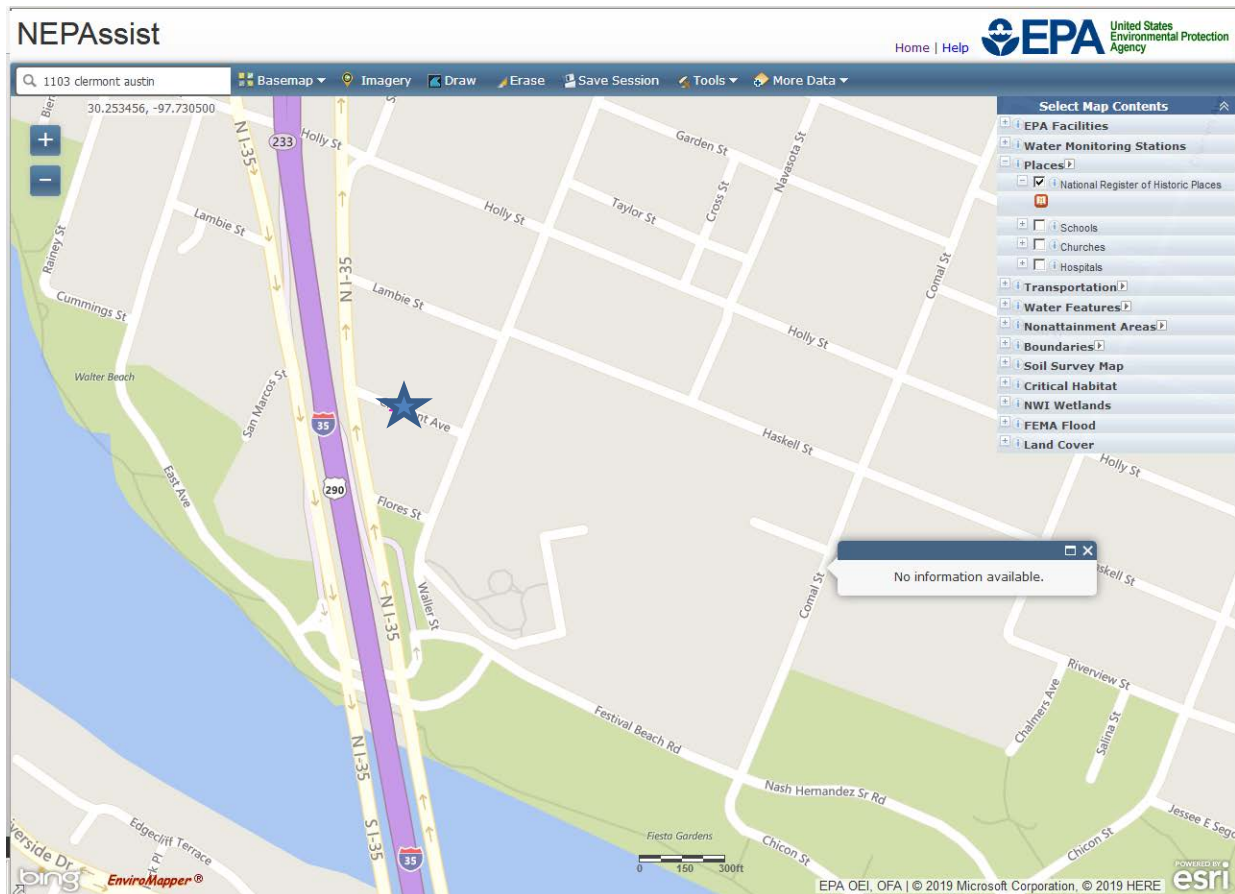
2. Map



1103 Clermont St, Austin, TX 78702

3. National Register of Historic Places - NEPAassist

Project site is not listed on the National Register of Historic Places and there are no registered sites in the near vicinity.



1103 Clermont Ave, Austin, TX 78702

4. Photographs



#1 Front of House, Facing South



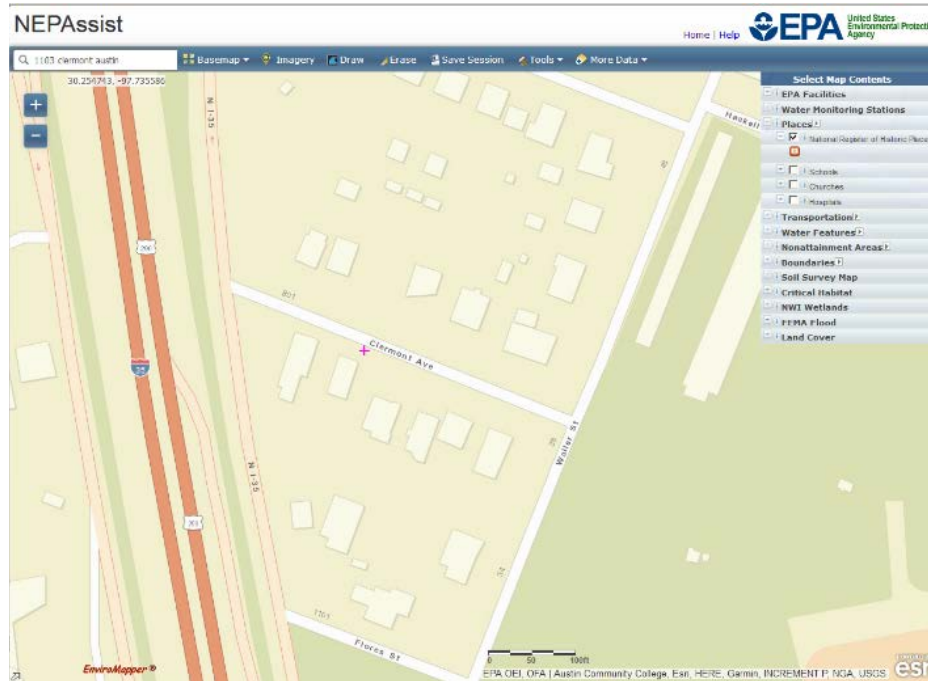
Photograph Legend



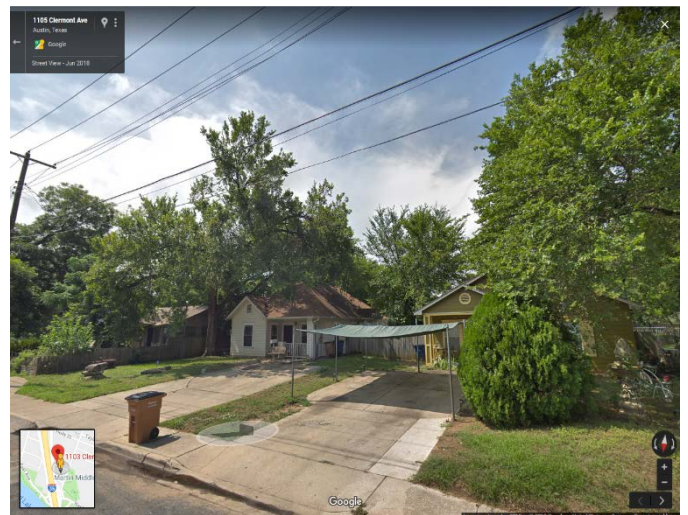
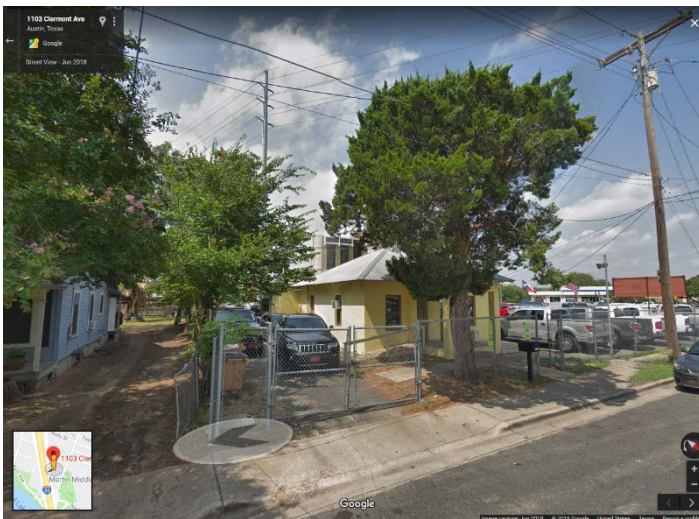
1103 Clermont, Austin, TX 78702

5. Area of Potential Effect

The area for potential effect is located on Clermont Ave, between IH 35 and Waller Street and includes the entire lot of 1103 Clermont Ave.



Surrounding Homes and Structures – These WILL NOT be Affected by Project.



1103 Clermont Ave, Austin, TX 78702

6 & 7. Determination of Eligibility and Effect

According to TCAD, the structure at 1103 Clermont Ave Street was built in 1936. It may have replaced an earlier house, but that is unknown. Little else is known about this property. Clermont Avenue originally ran on both sides of what is now Interstate 35 and one can assume housing existed on the now severely reduced 1000 block of Clermont. After I-35 was constructed, commercial uses, notable auto sales occurred adjacent to the north bound frontage road on the 1000-addressed lots.

No other historic properties in the Area of Potential Effect. A professional was not involved in completing the form and attachments, but we anticipate that there will be no Adverse Effect on historic properties.

Consulting Parties/Public Notification

The tribes have been invited to consult on this project. On April 22, 2019, after utilizing the Tribal Directory Assessment Tool, letters were sent to eleven tribal representatives. Please see attached spread list of contacts and an example of the letter sent to the tribes.

Tribal Name	Date Emailed	First Name	Last Name	Title
Coushatta Tribe of Louisiana	4/22/2019	Linda	Langley	THPO
Coushatta Tribe of Louisiana	4/22/2019	David	Sickey	Chairman
Comanche Nation, Oklahoma	4/22/2019	Martina	Callahan	THPO
Comanche Nation, Oklahoma	4/22/2019	William	Nelson	Chairman
Apache Tribe of Oklahoma	4/22/2019	Lyman	Guy	Chairman
Alabama-Coushatta Tribe of Texas	4/22/2019	Bryant	Celestine	THPO
Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma	4/22/2019	Terri	Parton	President
Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma	4/22/2019	Gary	McAdams	THPO
Alabama-Coushatta Tribe of Texas	4/22/2019	Nita	Battise	Chairperson
Tonkawa Tribe of Indians of Oklahoma	4/22/2019	Lauren	Norman-Brown	THPO
Tonkawa Tribe of Indians of Oklahoma	4/22/2019	Russell	Martin	President



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 22, 2019

Terri Parton, President

Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma

PO Box 729

Anadarko, OK 73005

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit

1103 Clermont Avenue

Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

AHFC proposes to assist Guadalupe Neighborhood Development Corporation (“GNDC”), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to demolish a 2-bedroom unit and will replace it with a 3-bedroom primary unit that will be sold to a first-time home buyer, in a Community Land Trust, with an income at or below 80% MFI. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

The required attachments are included. Should you need additional information, please call me at (512) 974-3121

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

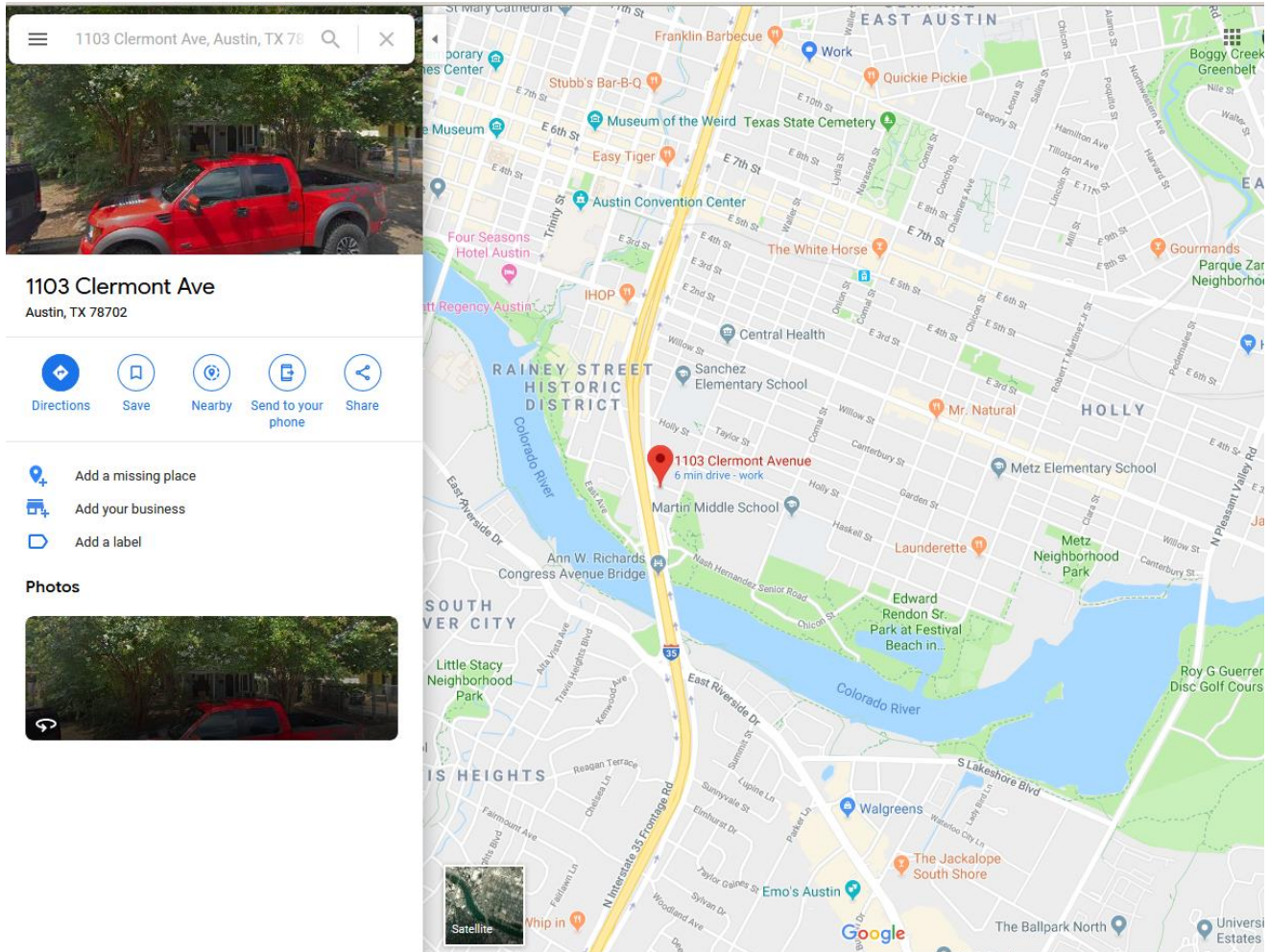
Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

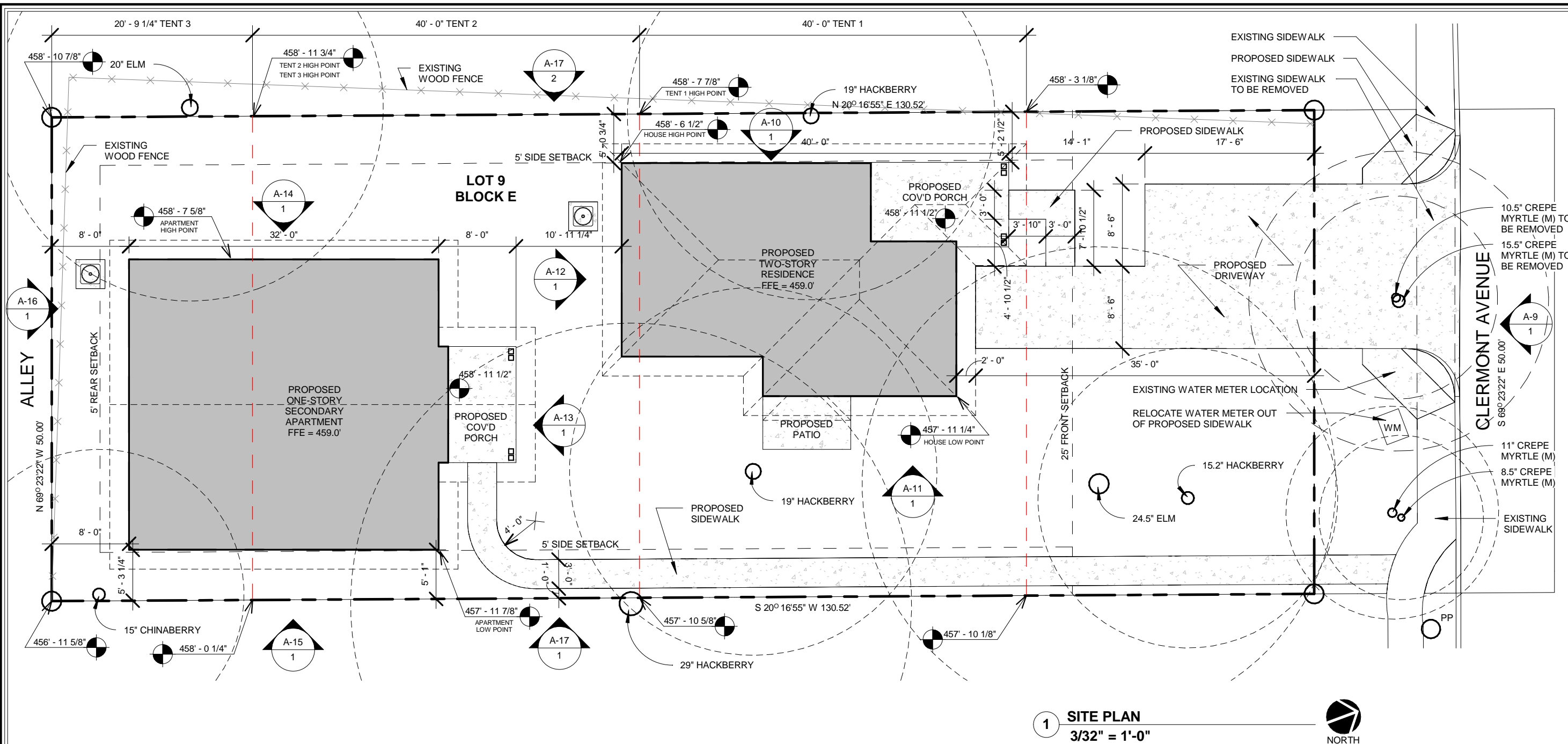
Dawn A. Perkins

Business Process Specialist
Phone: (512) 974-6001
E-mail: dawn.perkins@austintexas.gov
Fax: (512) 974-3161

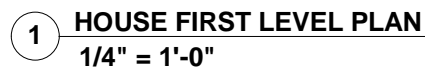
Enclosures: Google Map

Google Map: 1103 Clermont Ave Austin, TX 78702

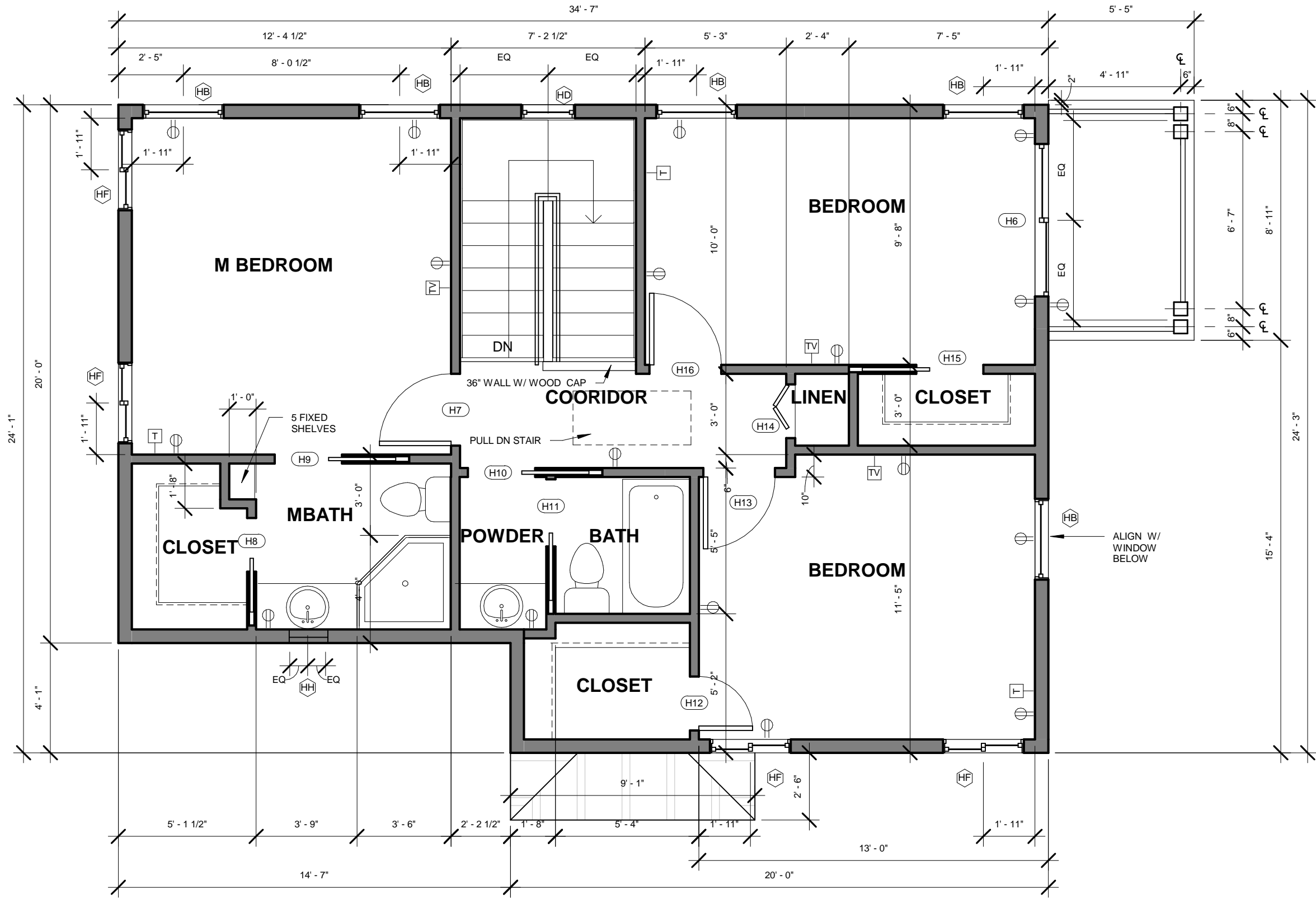




6. ALL DIMENSIONS ARE TO FINISHED SURFACES



A-1

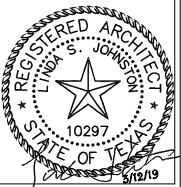


1 HOUSE SECOND LEVEL PLAN
1/4" = 1'-0"

L.S.
Johnston
ARCHITECTS / AIA

ARCHITECTURE
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phone 512 478-4952
fax 512 478-4972



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DATE: 3/12/19

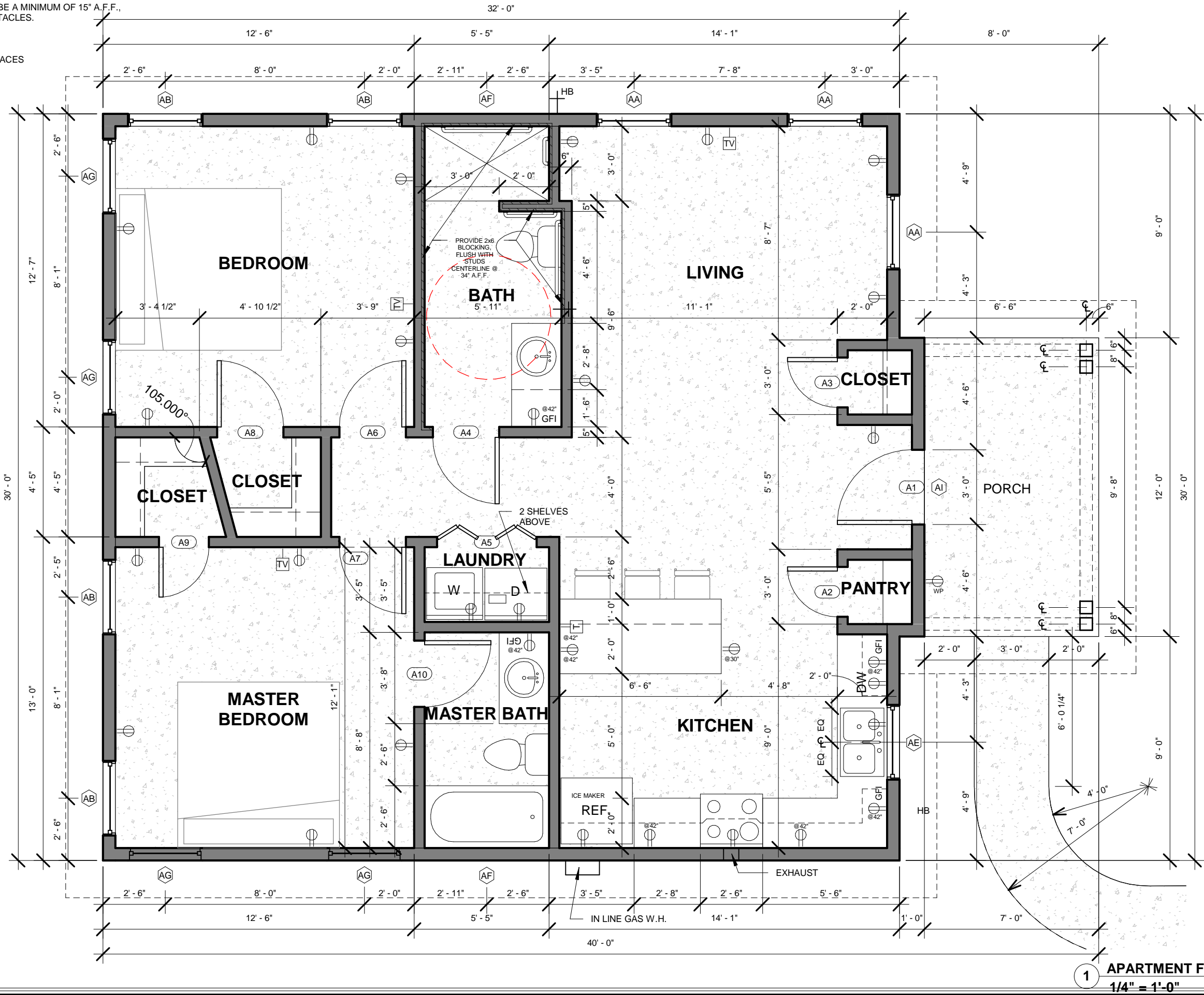
REVISIONS:

HOUSE SECOND
LEVEL FLOOR
PLAN

A-2

GENERAL NOTES (APARTMENT):

1. ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.
3. ALL FLOORS TO BE STAINED CONCRETE
4. ALL DIMENSIONS ARE TO FINISHED SURFACES

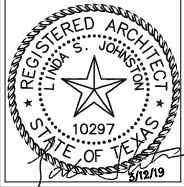


1 APARTMENT FLOOR PLAN
1/4" = 1'-0"

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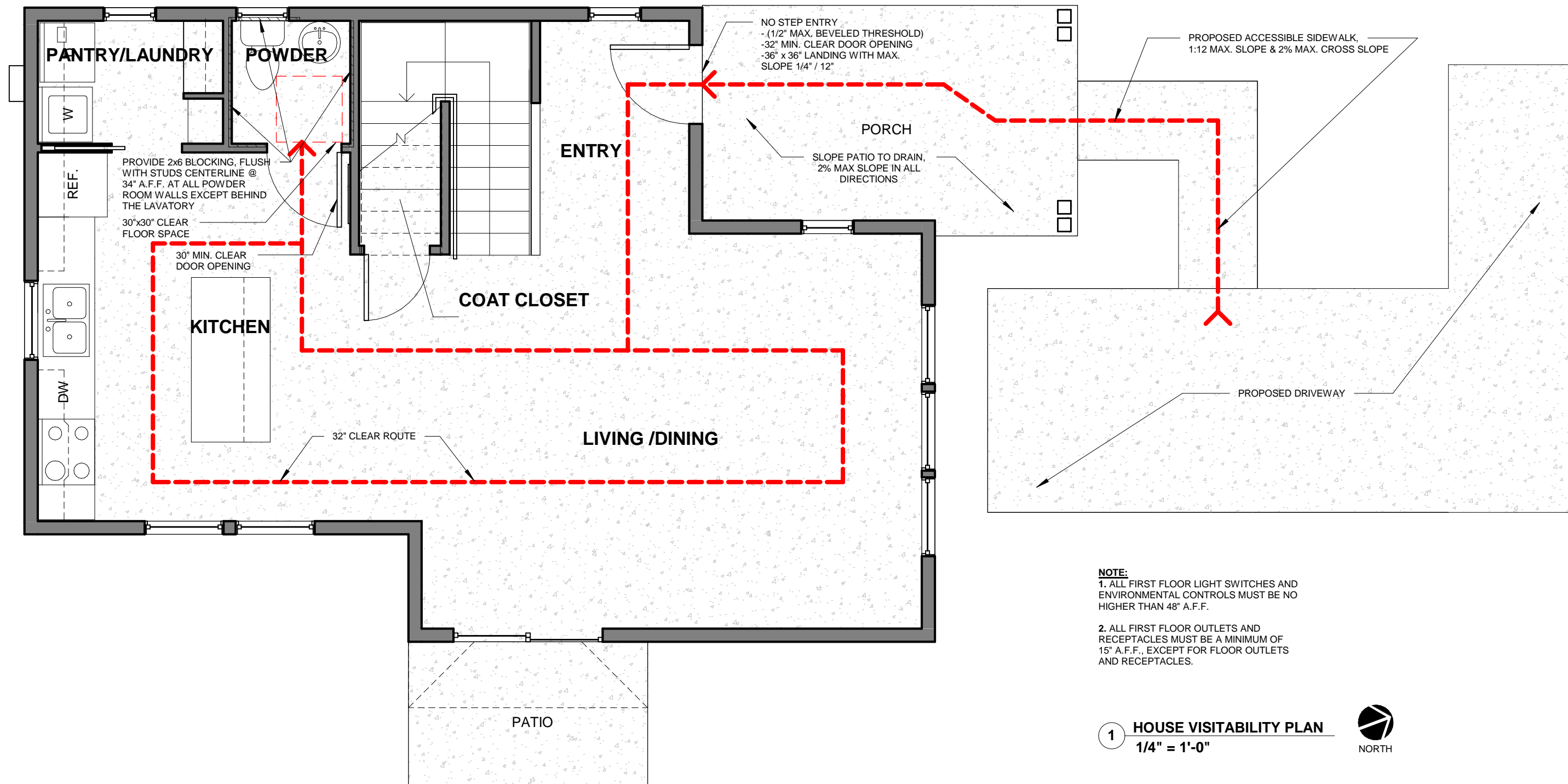
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AUSTIN, TEXAS 78702

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CHECKED BY: LSJ
DATE: 3/12/19

REVISIONS:

APARTMENT
FLOOR PLAN

A-3



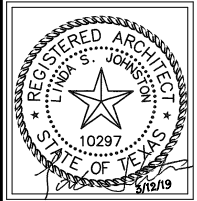
NOTE:
1. ALL FIRST FLOOR LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL FIRST FLOOR OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.

1 HOUSE VISITABILITY PLAN
1/4" = 1'-0"



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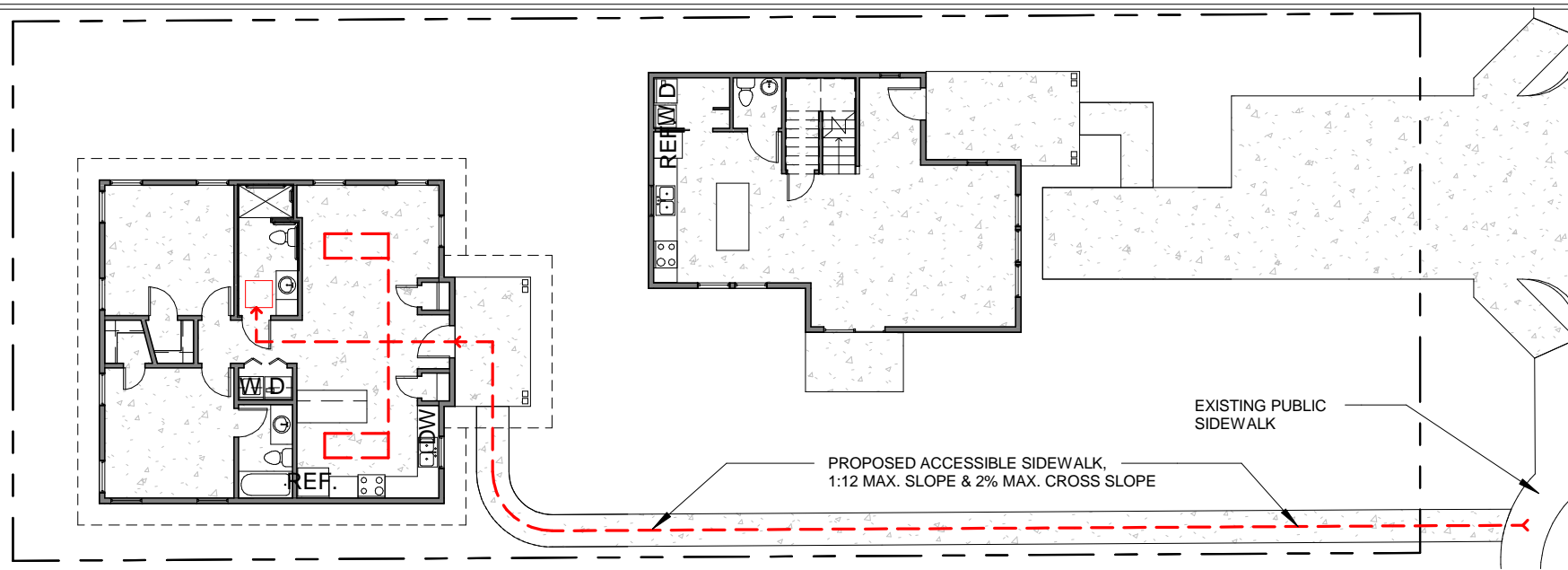
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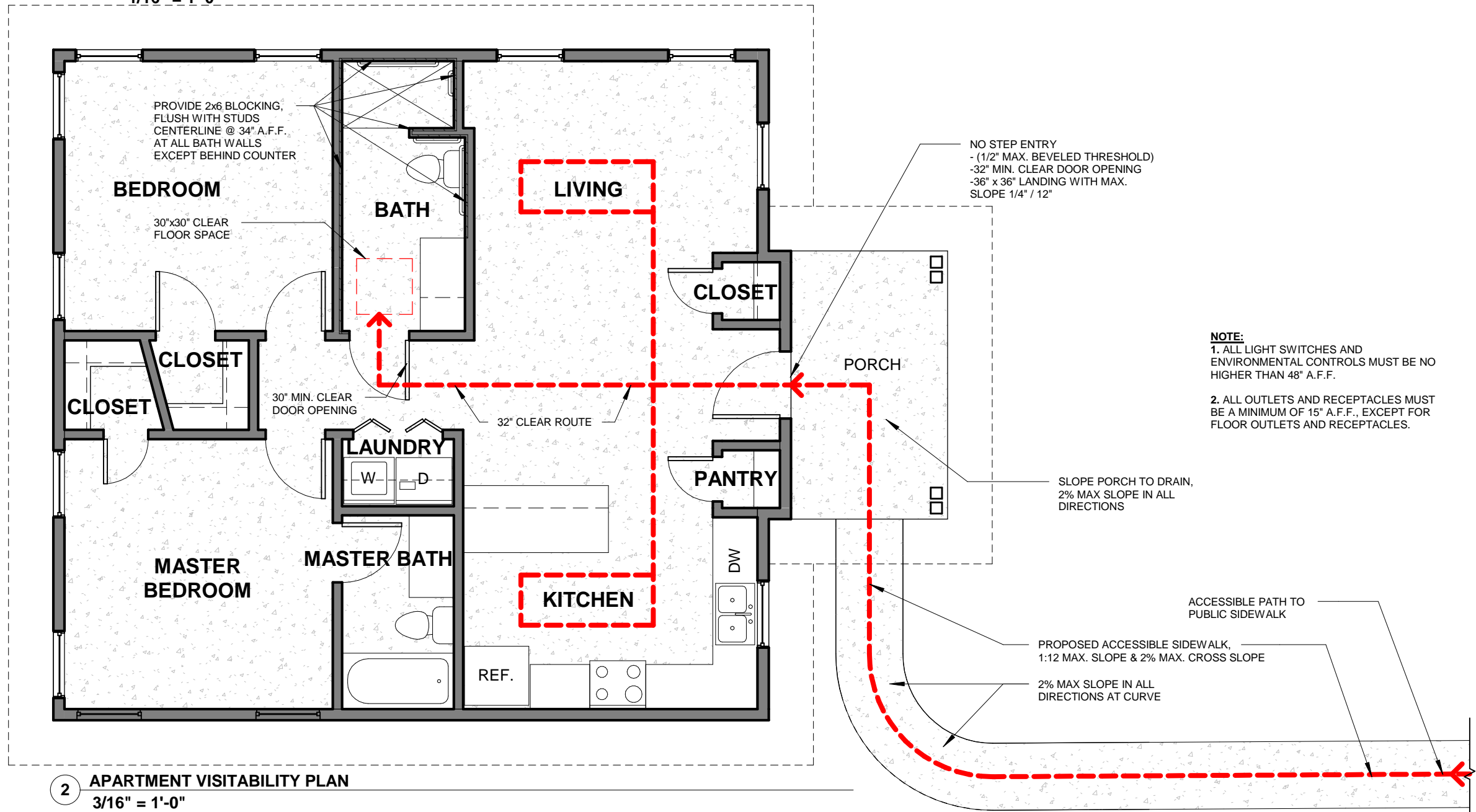
REVISIONS:

HOUSE VISITABILITY PLAN

A-4



1 APARTMENT VISITABILITY PLAN - FULL SITE
1/16" = 1'-0"



2 APARTMENT VISITABILITY PLAN
3/16" = 1'-0"

NOTE:
1. ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15" A.F.F., EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES.

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ARCHITECTURE PLANNING

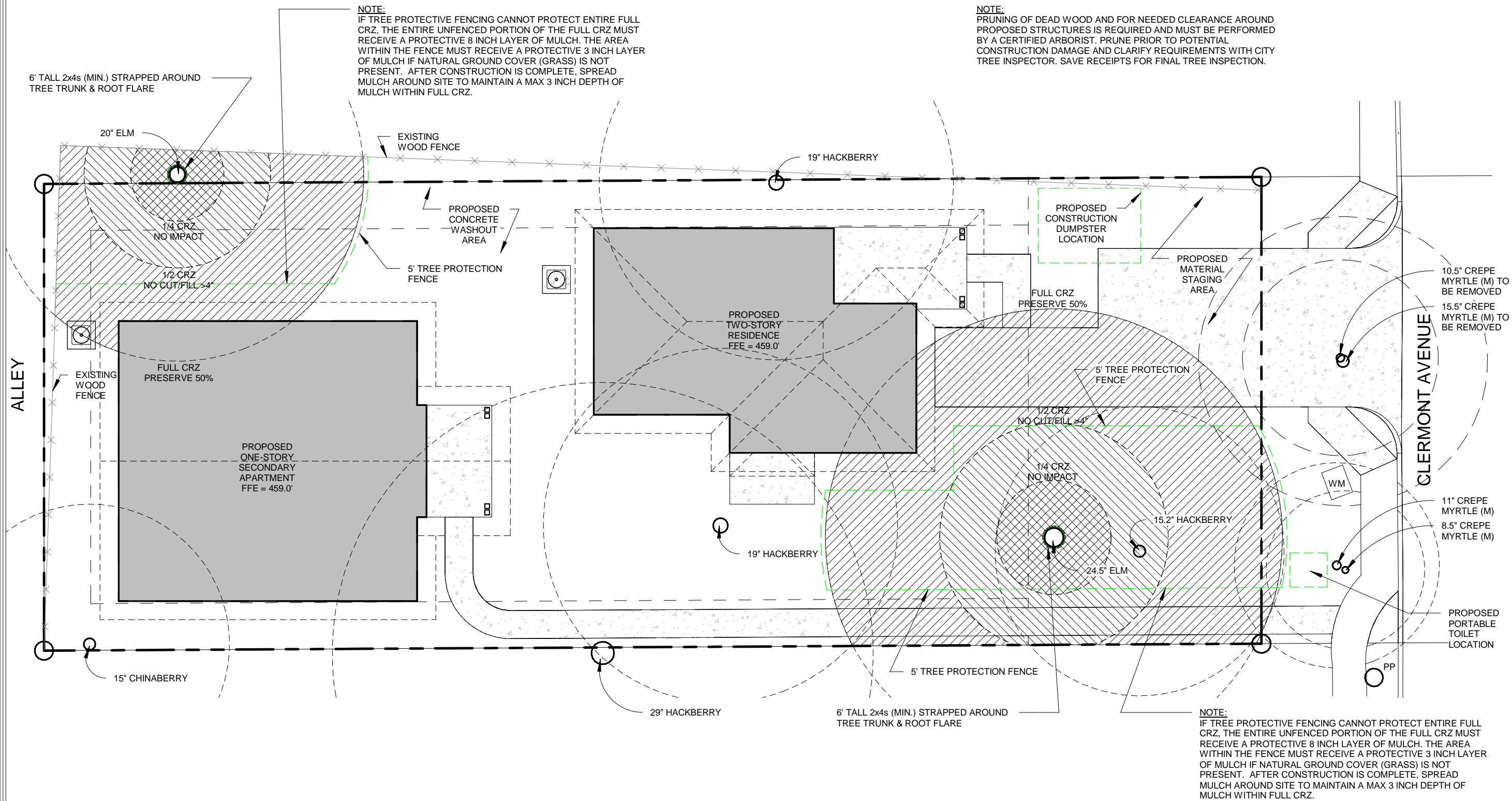
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 REVISIONS:

APARTMENT VISITABILITY PLAN

A-5



NOTE:
IF TREE PROTECTIVE FENCING CANNOT PROTECT ENTIRE FULL CRZ, THE ENTIRE UNFENCED PORTION OF THE FULL CRZ MUST RECEIVE A PROTECTIVE 8 INCH LAYER OF MULCH. THE AREA WITHIN THE FENCE MUST RECEIVE A PROTECTIVE 3 INCH LAYER OF MULCH IF NATURAL GROUND COVER (GRASS) IS NOT PRESENT. AFTER CONSTRUCTION IS COMPLETE, SPREAD MULCH AROUND SITE TO MAINTAIN A MAX 3 INCH DEPTH OF MULCH WITHIN FULL CRZ.

NOTE:
PRUNING OF DEAD WOOD AND FOR NEEDED CLEARANCE AROUND PROPOSED STRUCTURES IS REQUIRED AND MUST BE PERFORMED BY A CERTIFIED ARBORIST. PRUNE PRIOR TO POTENTIAL CONSTRUCTION DAMAGE AND CLARIFY REQUIREMENTS WITH CITY TREE INSPECTOR. SAVE RECEIPTS FOR FINAL TREE INSPECTION.

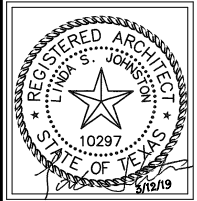
1 TREE PROTECTION PLAN
3/32" = 1'-0"



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REVISIONS:

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TREE PROTECTION PLAN

A-6

HOUSE DOOR SCHEDULE			
MARK	SIZE	TYPE	COMMENTS
H1	36" x 84"	SINGLE - ENTRY	
H2	30" x 80"	SINGLE - PANEL	
H3	34" x 80"	SINGLE - PANEL	30" MIN. CLEAR OPENING
H4	32" x 80"	SINGLE - POCKET - PANEL	
H5	68" x 80"	SLIDING - FULL GLASS	32" MIN. CLEAR OPENING - NO STEP ENTRY
H6	68" x 80"	SLIDING - FULL GLASS	
H7	32" x 80"	SINGLE - PANEL	
H8	24" x 80"	SINGLE - POCKET - PANEL	
H9	30" x 80"	SINGLE - POCKET - PANEL	
H10	30" x 80"	SINGLE - POCKET - PANEL	
H11	30" x 80"	SINGLE - POCKET - PANEL	
H12	24" x 80	SINGLE - PANEL	
H13	32" x 80"	SINGLE - PANEL	
H14	24" x 80"	BIFOLD - PANEL - 2 LEAVES	
H15	30" x 80"	SINGLE - POCKET - PANEL	
H16	32" x 80"	SINGLE - PANEL	

HOUSE WINDOW SCHEDULE						
MARK	COUNT	ROUGH OPENING		TYPE	HEAD HEIGHT	COMMENTS
		WIDTH	HEIGHT			
HA	3	3' - 0"	6' - 0"	DOUBLE HUNG WITH TRIM	8' - 0"	
HB	7	3' - 0"	5' - 0"	DOUBLE HUNG WITH TRIM		8'-0" 1ST LEVEL, 6'-8" 2ND LEVEL
HC	2	2' - 0"	4' - 0"	DOUBLE HUNG WITH TRIM	8' - 0"	
HD	4	2' - 0"	3' - 0"	DOUBLE HUNG WITH TRIM		8'-3" 1ST LEVEL, 2'-6" & 7'-3" 2ND LEVEL AT STAIRS
HE	1	3' - 0"	4' - 0"	DOUBLE HUNG WITH TRIM	8' - 0"	
HF	4	3' - 0"	2' - 0"	SLIDER WITH TRIM	6' - 8"	
HH	1	1' - 4"	1' - 4"	FIXED WITH TRIM	8' - 1 1/2"	1X4 TRIM VERT AND AT HEAD

APARTMENT DOOR SCHEDULE			
MARK	SIZE	TYPE	COMMENTS
A1	36" x 84"	SINGLE - ENTRY	32" MIN. CLEAR OPENING - NO STEP ENTRY
A2	24" x 80	SINGLE - PANEL	
A3	24" x 80	SINGLE - PANEL	
A4	32" x 80"	SINGLE - PANEL	30" MIN. CLEAR OPENING
A5	48" x 84"	BIFOLD - PANEL - 4 LEAVES	
A6	32" x 80"	SINGLE - PANEL	
A7	32" x 80"	SINGLE - PANEL	
A8	32" x 80"	SINGLE - PANEL	
A9	24" x 80	SINGLE - PANEL	
A10	32" x 80"	SINGLE - PANEL	

APARTMENT WINDOW SCHEDULE						
MARK	COUNT	ROUGH OPENING		TYPE	HEAD HEIGHT	COMMENTS
		WIDTH	HEIGHT			
AA	3	3' - 0"	6' - 0"	DOUBLE HUNG WITH TRIM	7' - 8"	
AB	4	3' - 0"	5' - 0"	DOUBLE HUNG WITH TRIM	7' - 0"	
AE	1	3' - 0"	4' - 0"	DOUBLE HUNG WITH TRIM	7' - 8"	
AF	2	3' - 0"	2' - 0"	SLIDER WITH TRIM	7' - 0"	
AG	4	3' - 0"	3' - 0"	DOUBLE HUNG WITH TRIM	7' - 0"	
AI	1	3' - 1 1/2"	1' - 6"	FIXED WITH TRIM	8' - 11"	TRANSOM

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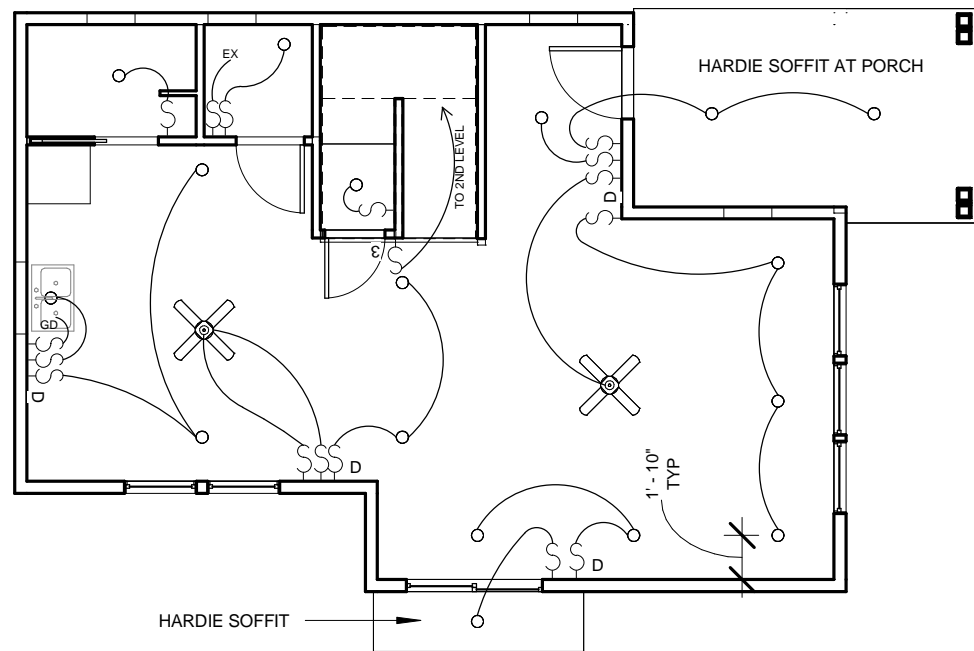
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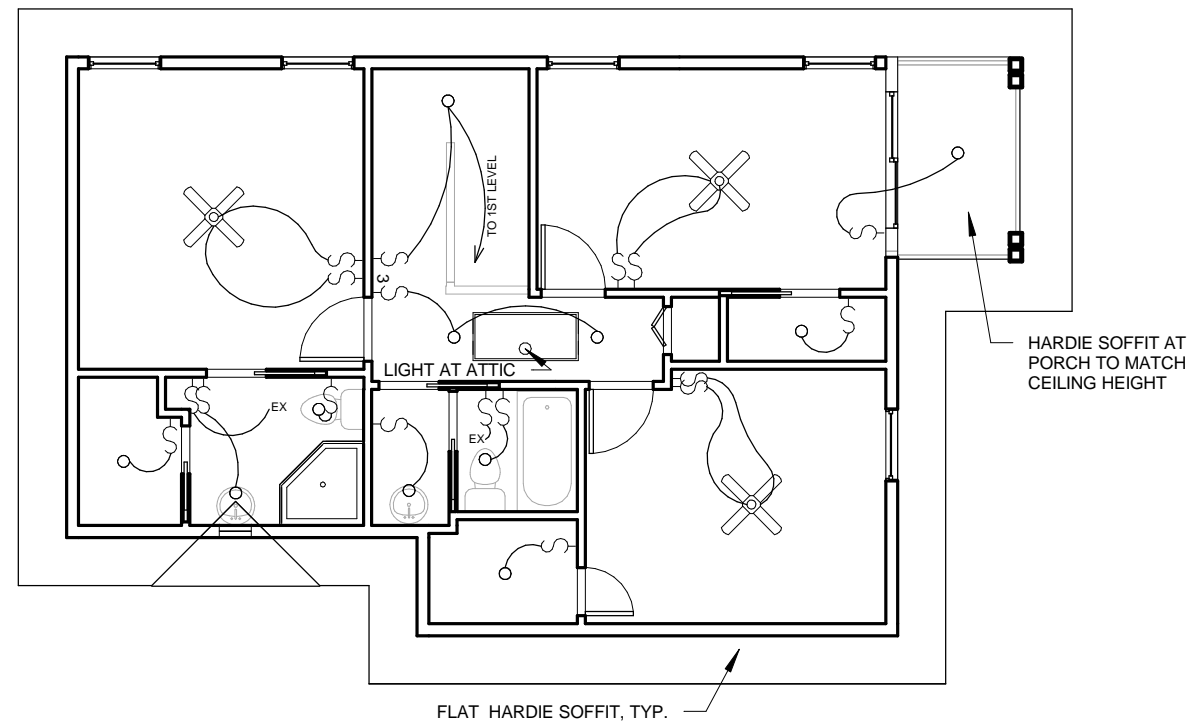
REVISIONS:

SCHEDULES

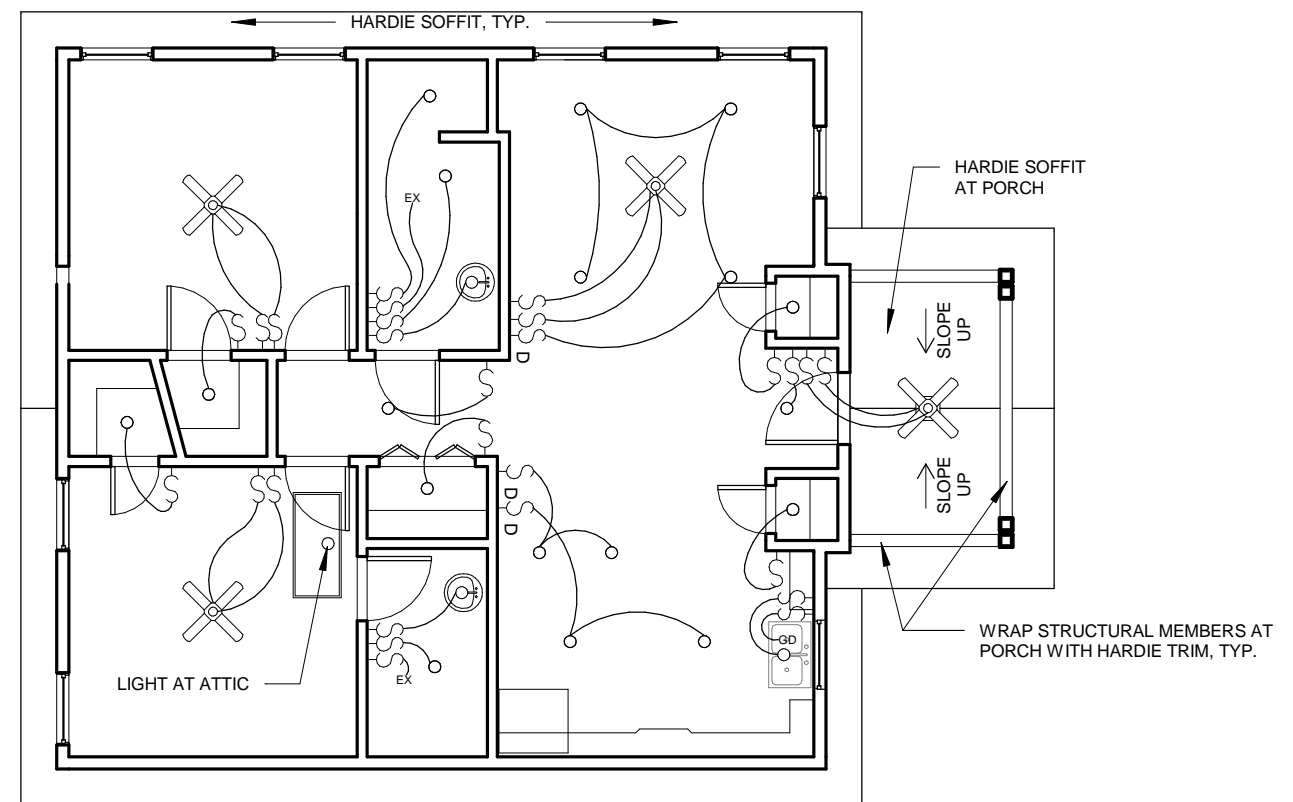


1 HOUSE FIRST LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"

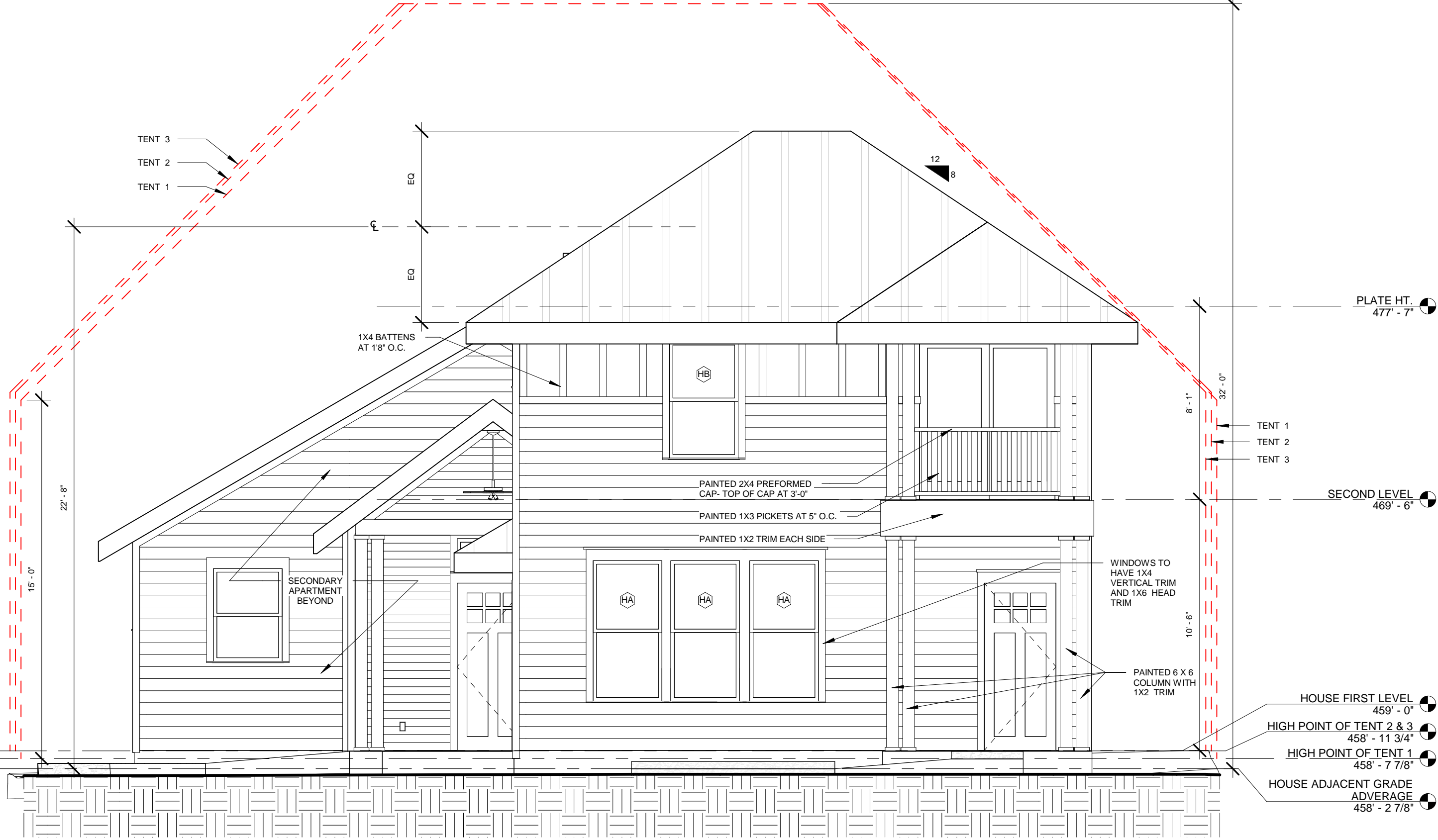
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2 HOUSE SECOND LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"



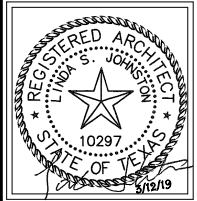
3 APARTMENT REFLECTED CEILING PLAN
1/8" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

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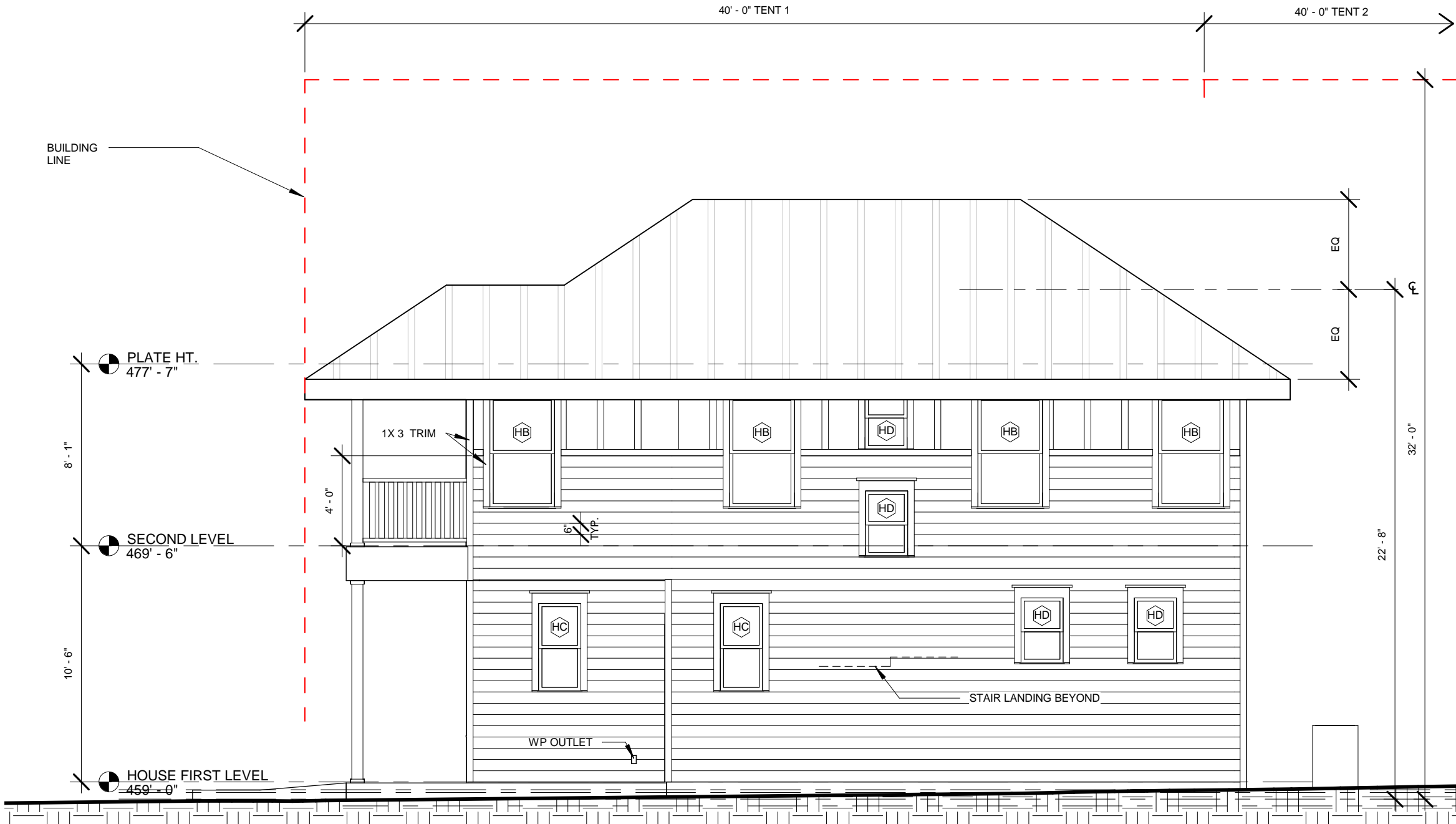
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REVISIONS:

HOUSE & SITE
NORTH
ELEVATION

A-9



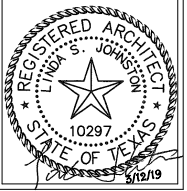
1 WEST HOUSE ELEVATION
3/16" = 1'-0"

- HOUSE HIGH POINT 458' - 6 3/8"
- HIGH POINT OF TENT 1 458' - 7 7/8"
- HOUSE ADJACENT GRADE ADVERAGE 458' - 2 7/8"
- HOUSE LOW POINT 457' - 11 1/4"

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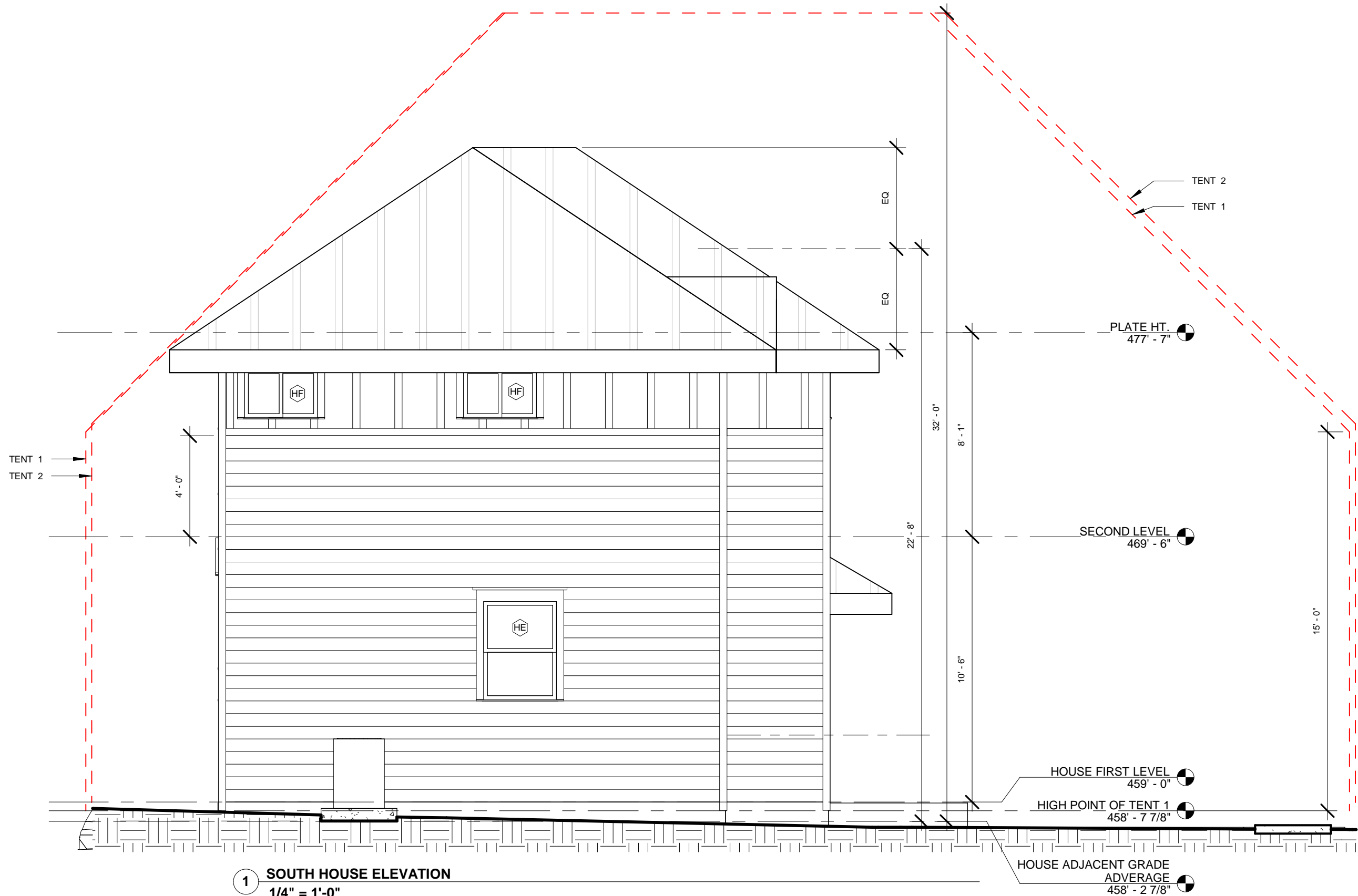
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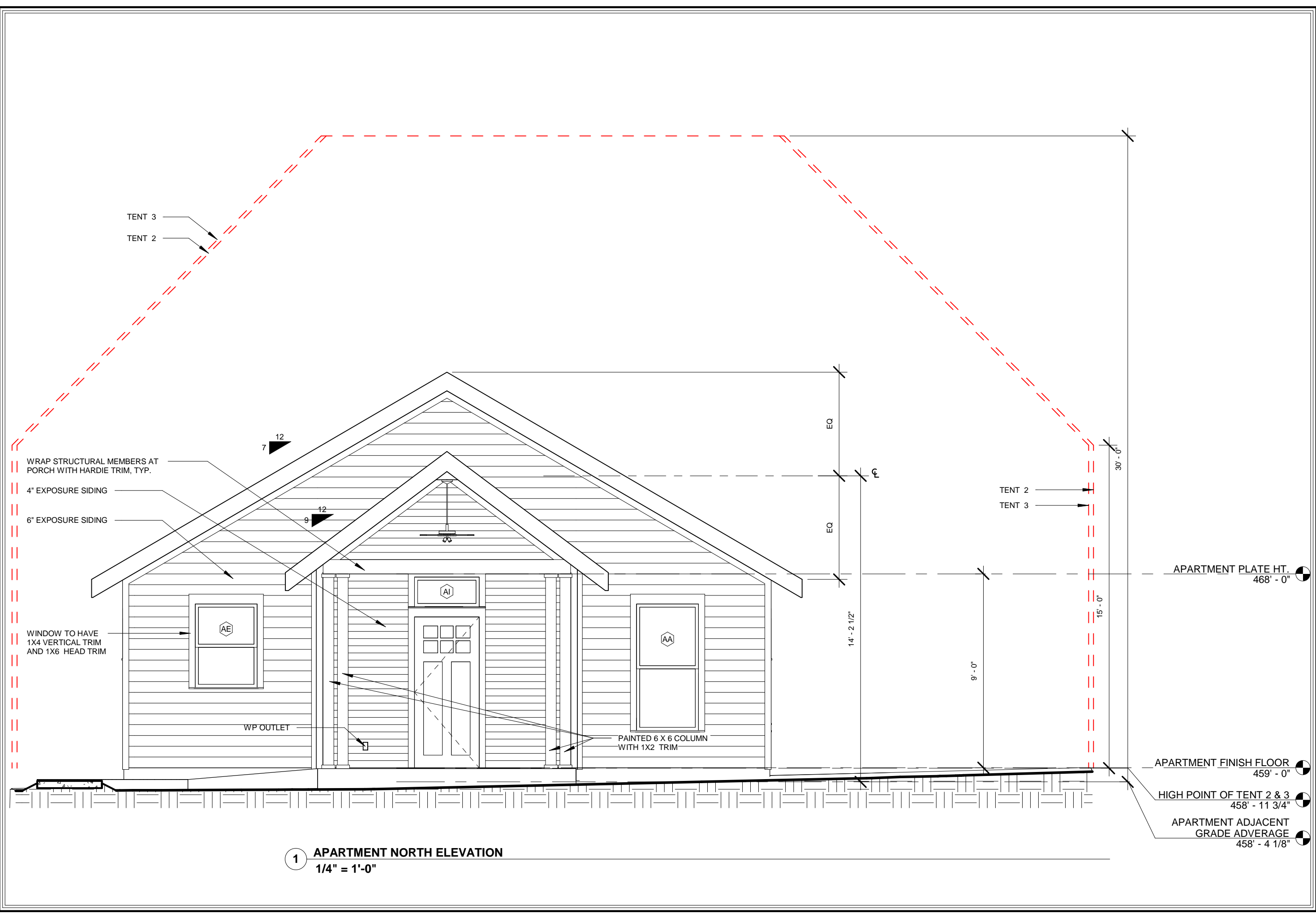
REVISIONS:

HOUSE WEST ELEVATION

A-10

1 EAST HOUSE ELEVATION
3/16" = 1'-0"





1 APARTMENT NORTH ELEVATION
1/4" = 1'-0"

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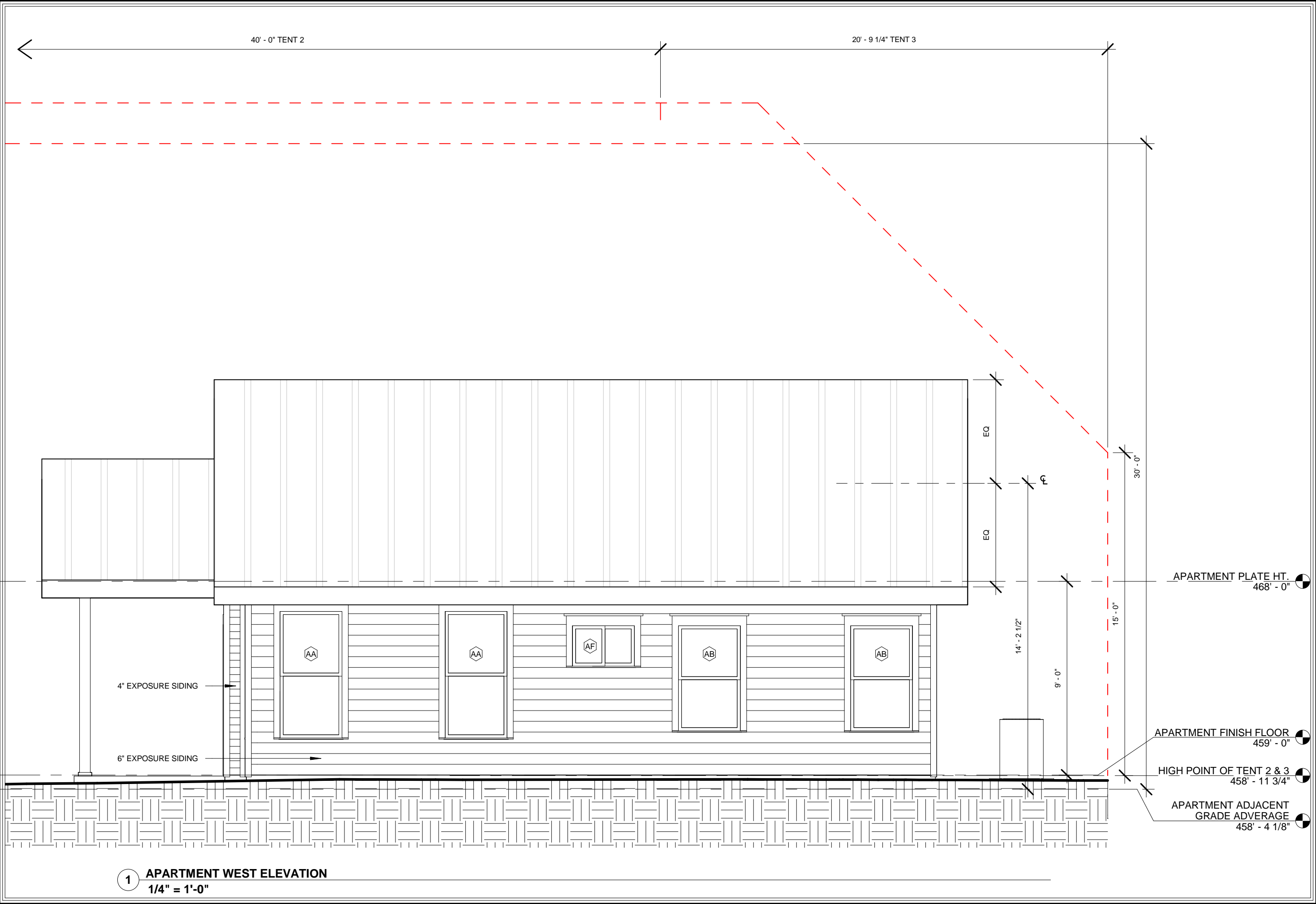
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REVISIONS:

APARTMENT
NORTH
ELEVATION

A-13



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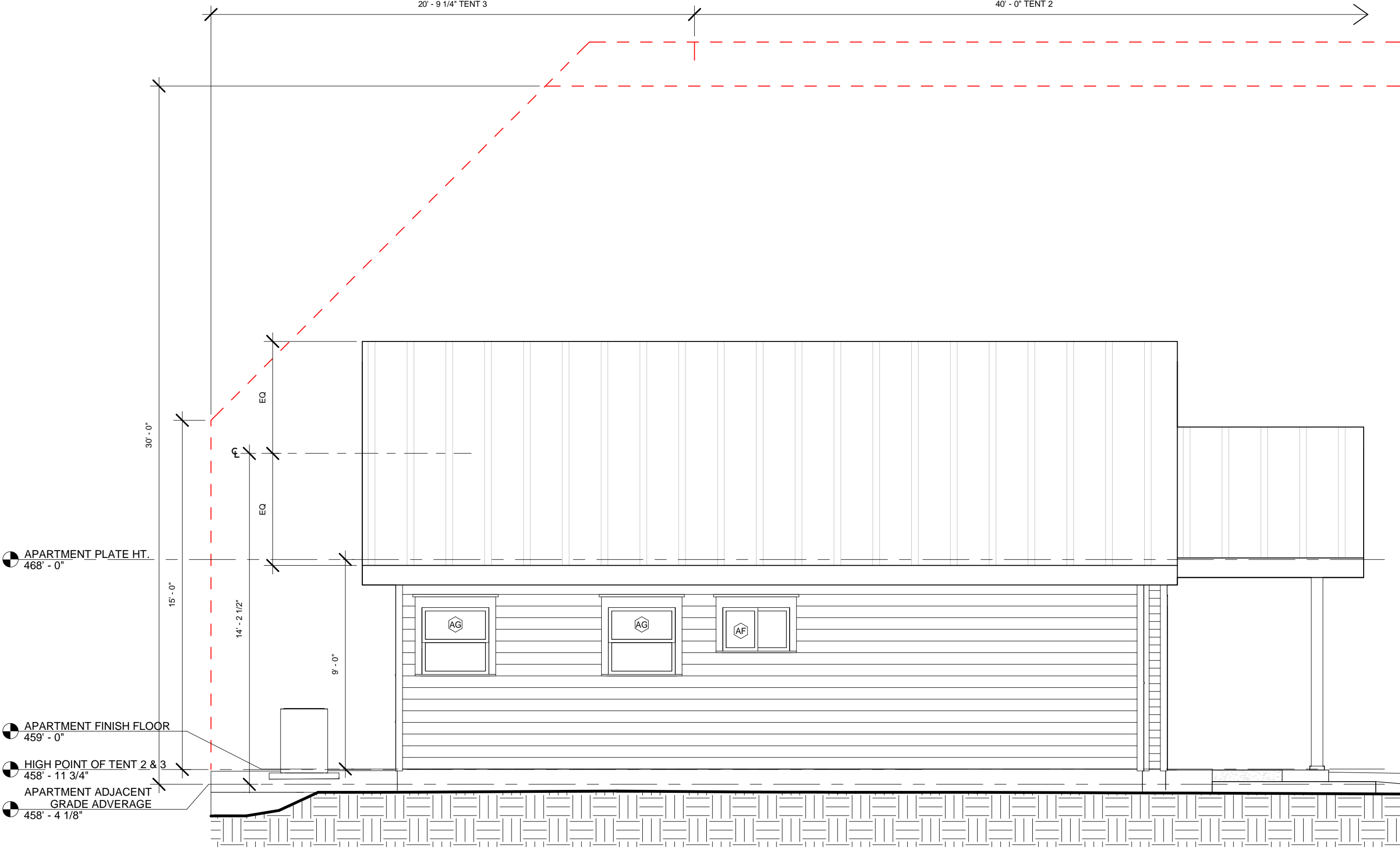
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DATE: 3/12/19

REVISIONS:

APARTMENT WEST
ELEVATION

A-14



APARTMENT PLATE HT.
468' - 0"

APARTMENT FINISH FLOOR
459' - 0"

HIGH POINT OF TENT 2 & 3
458' - 11 3/4"

APARTMENT ADJACENT
GRADE ADVERAGE
458' - 4 1/8"

1 APARTMENT EAST ELEVATION
1/4" = 1'-0"

**L.S.
Johnston**
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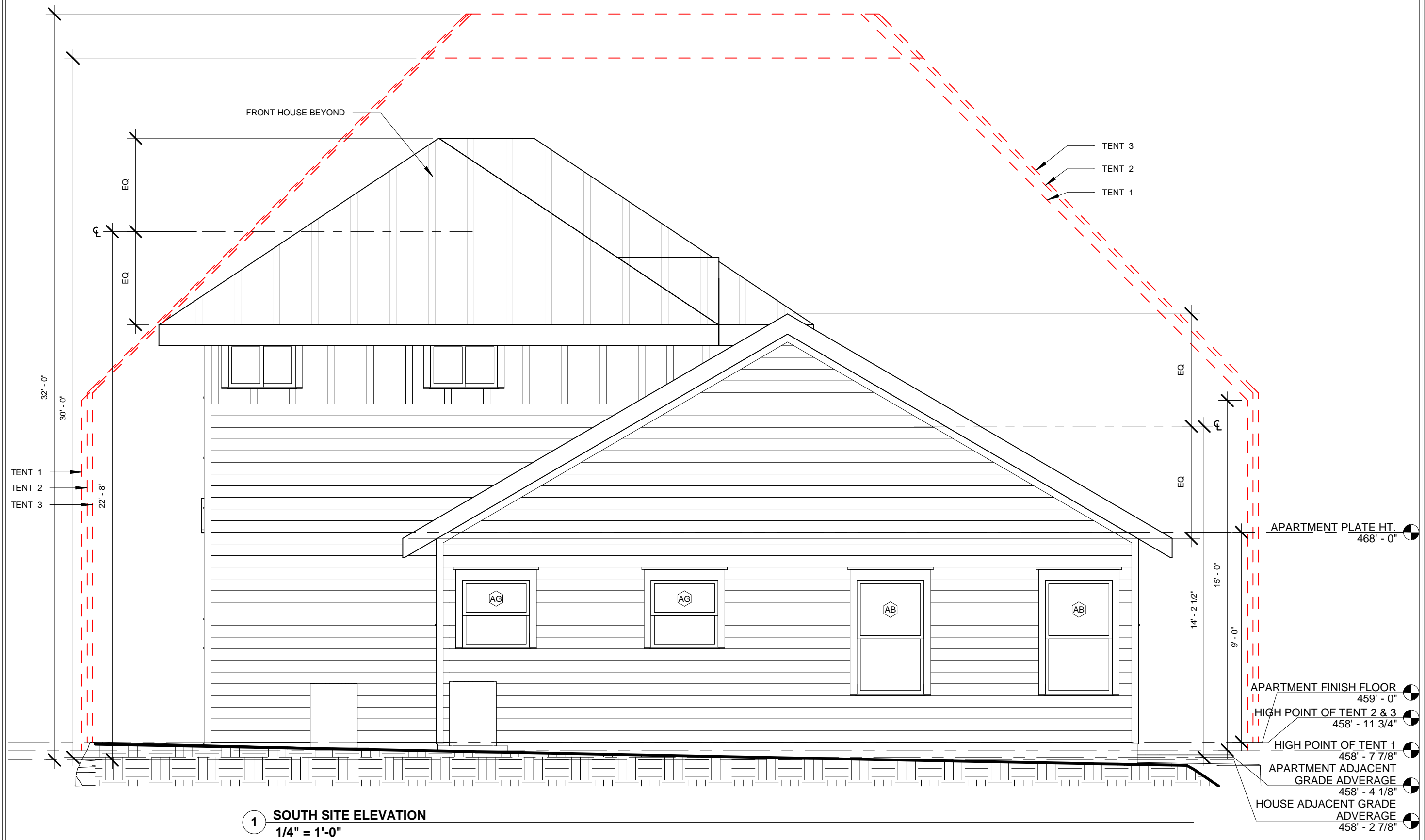
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DATE: 3/12/19

REVISIONS:

APARTMENT EAST
ELEVATION

A-15



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REGISTERED ARCHITECT
L.S. JOHNSTON
10297
STATE OF TEXAS
5/12/19

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AUSTIN , TEXAS 78702

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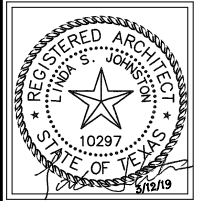
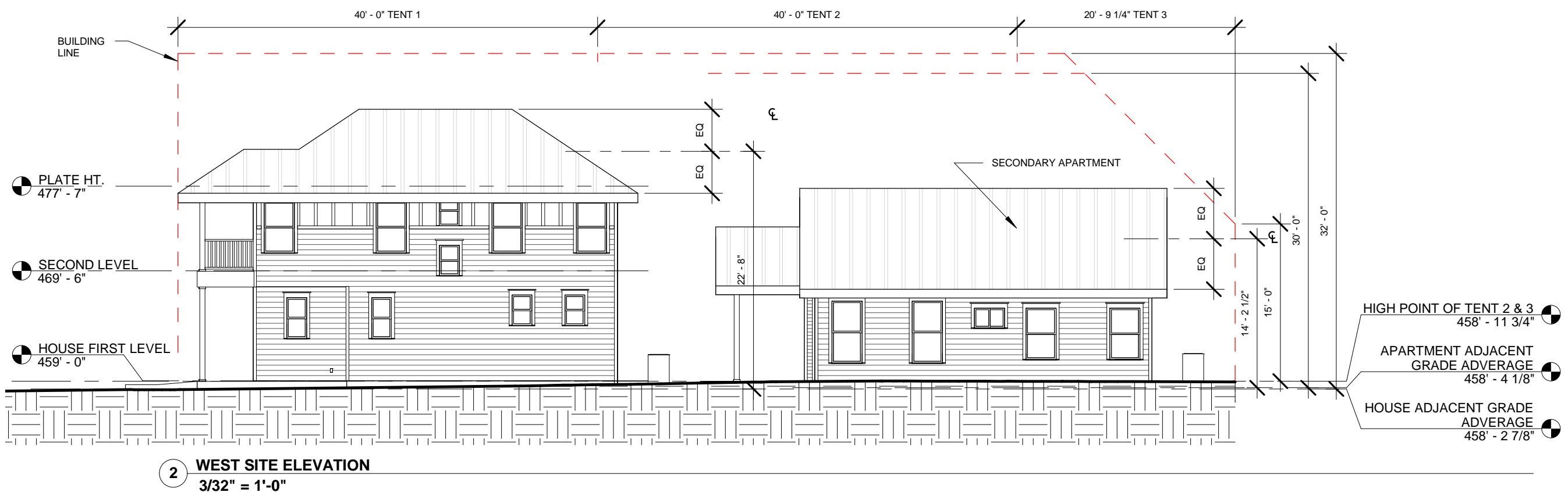
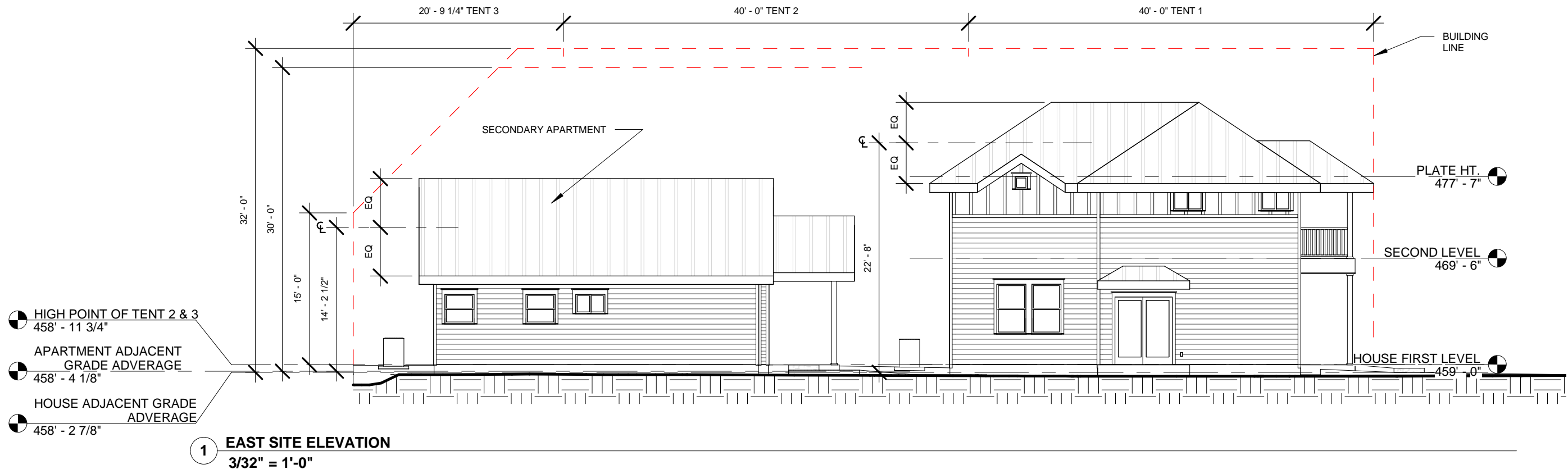
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DATE: 3/12/19

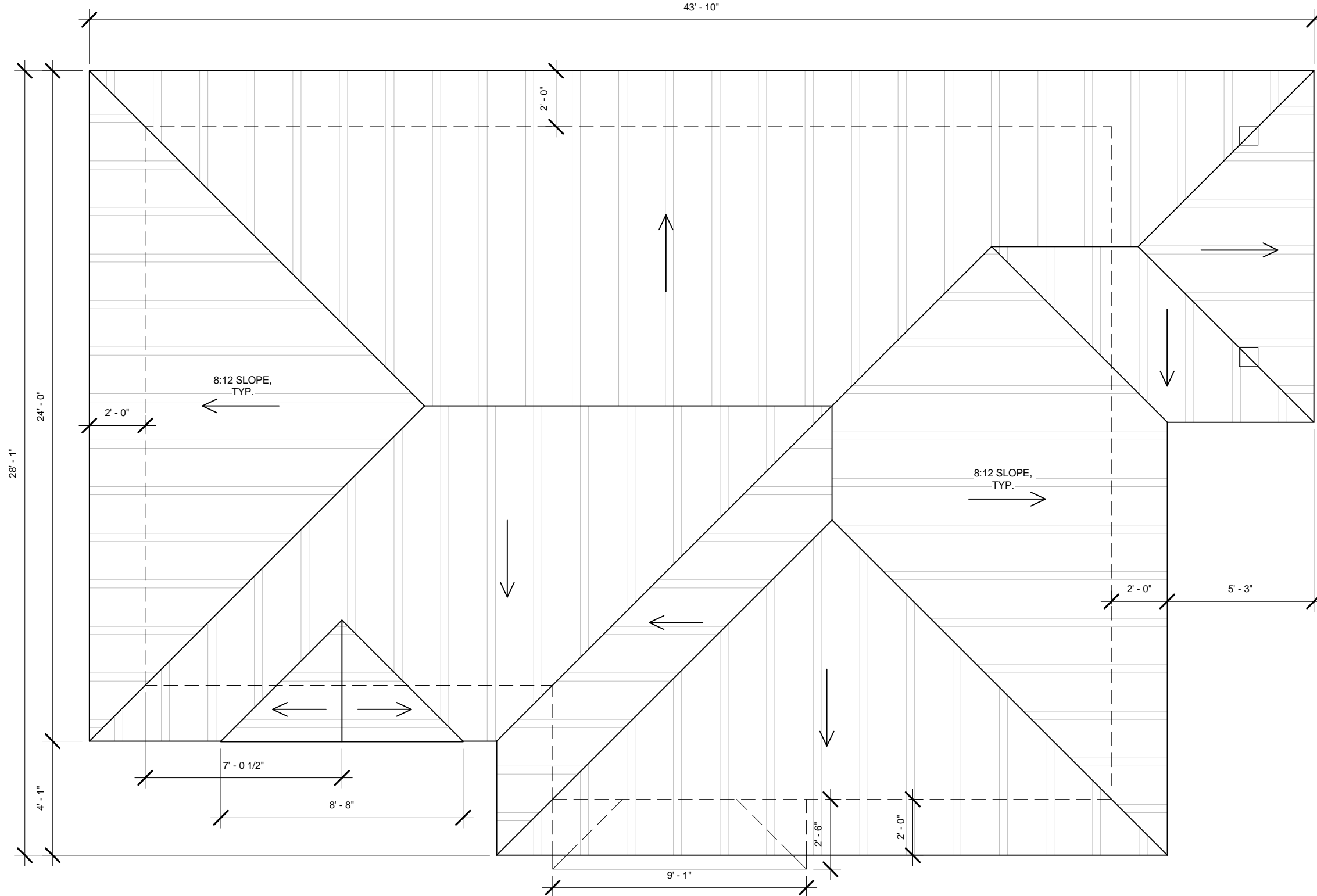
REVISIONS:

APARTMENT &
SITE SOUTH
ELEVATION

A-16



REVISIONS:

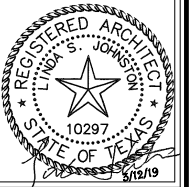


1 HOUSE ROOF PLAN
1/4" = 1'-0"

L.S. Johnston
ARCHITECTS / AIA

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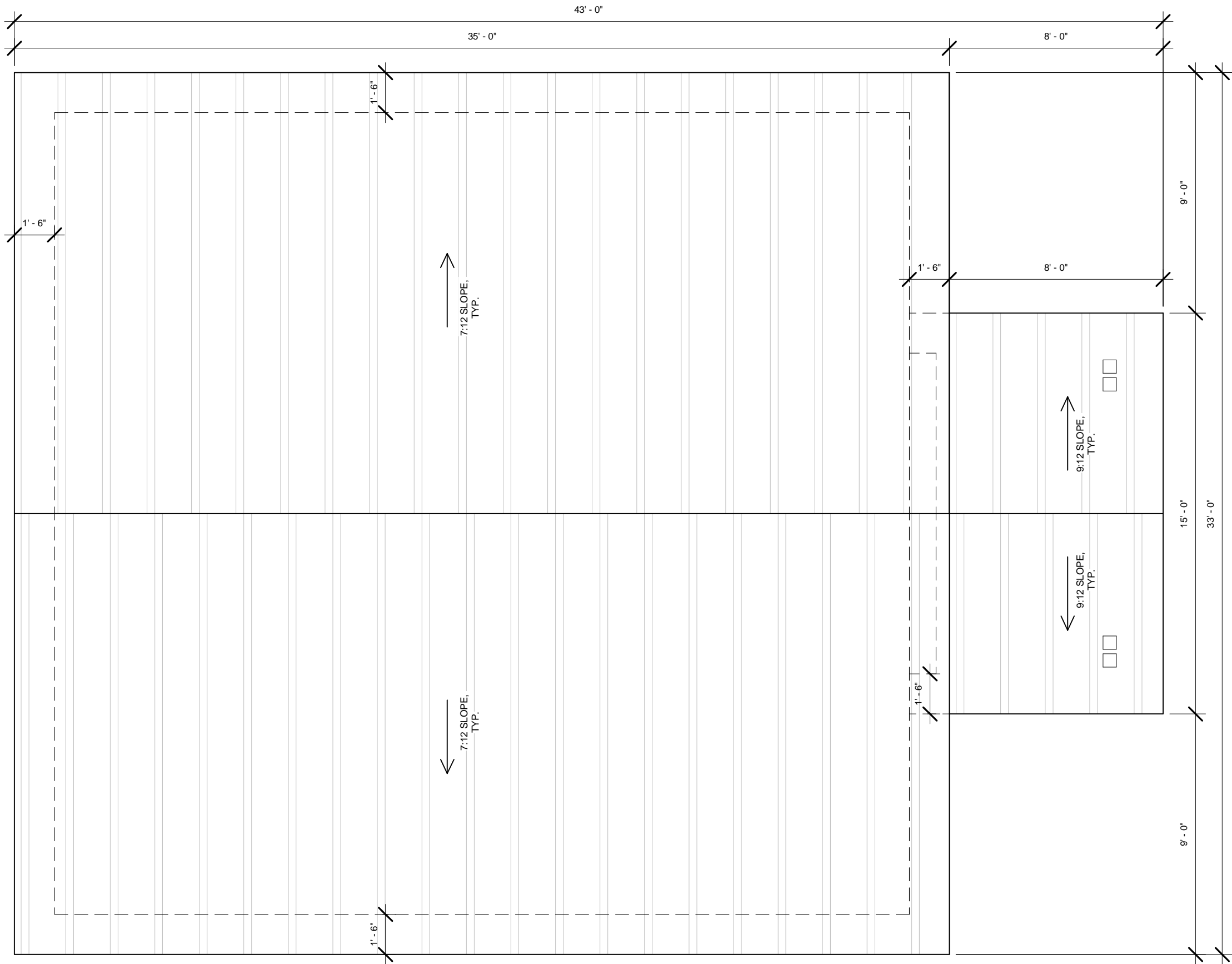
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REVISIONS:

HOUSE ROOF
PLAN

A-18



1 APARTMENT ROOF PLAN
1/4" = 1'-0"

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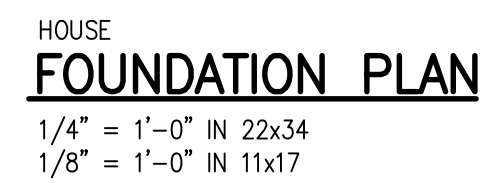
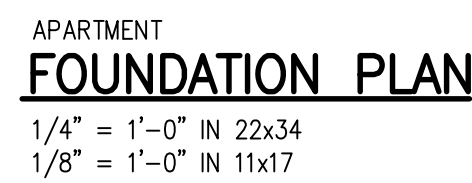


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REVISIONS:

APARTMENT ROOF
PLAN



1. VERIFY ALL DIMENSIONS, SLAB DROPS W/ ARCHITECTURAL DRAWINGS PRIOR TO STARTING WORK.
2. 4.5" SLAB OVER VAPOR RETARDER OVER COMPACTED STRUCTURAL FILL. REINF SLAB WITH #3 @ 12" O.C.E.W. AT MID DEPTH. SEE NOTES FOR STRUCTURAL REQUIREMENTS.
3. 2-#3x4'-0" CORNER BARS - TYPICAL AT ALL RE-ENTRANT CORNERS.
4. C1 = 6x6 WOOD COLUMN. PROVIDE SIMPSON CBSQ POST BASE.

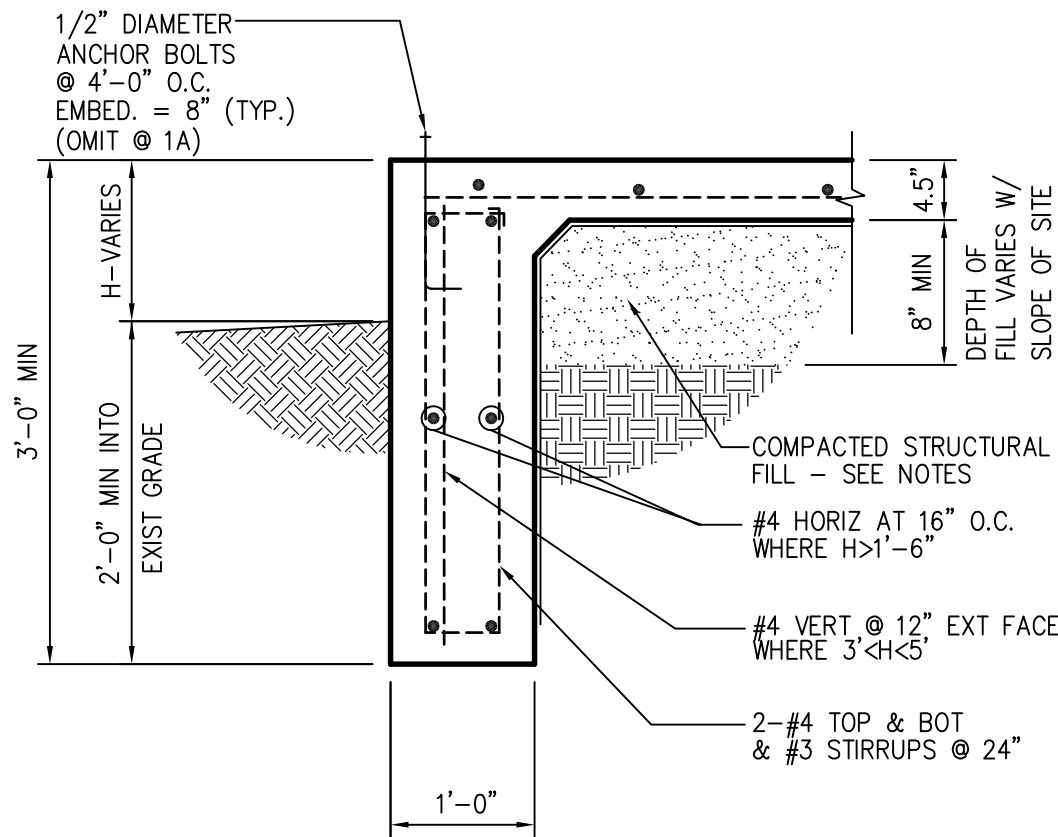
1103 CLERMONT AVE
AUSTIN, TEXAS

SHEET NO.

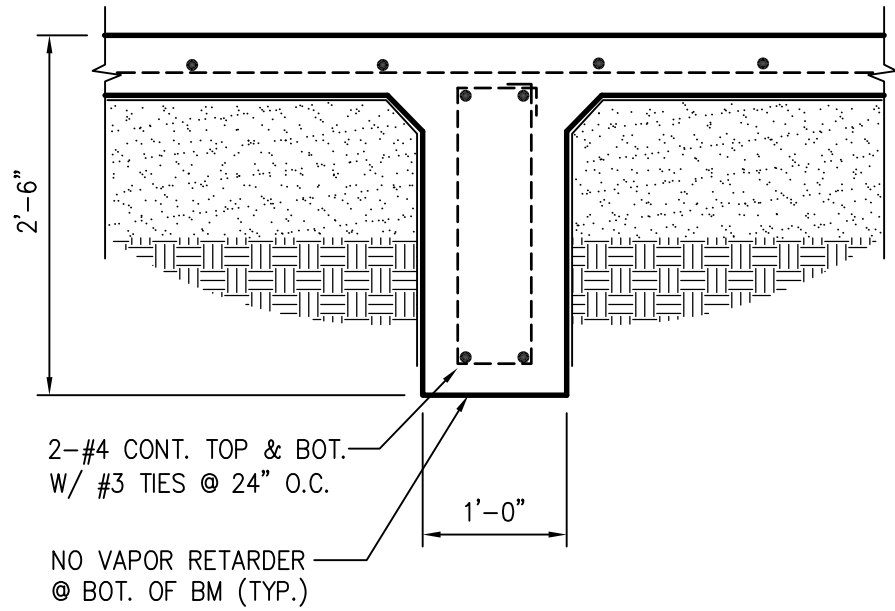
S100

OF

DETAILS SCALE TO 3/8"=1'-0" IN 11X17 SHEET

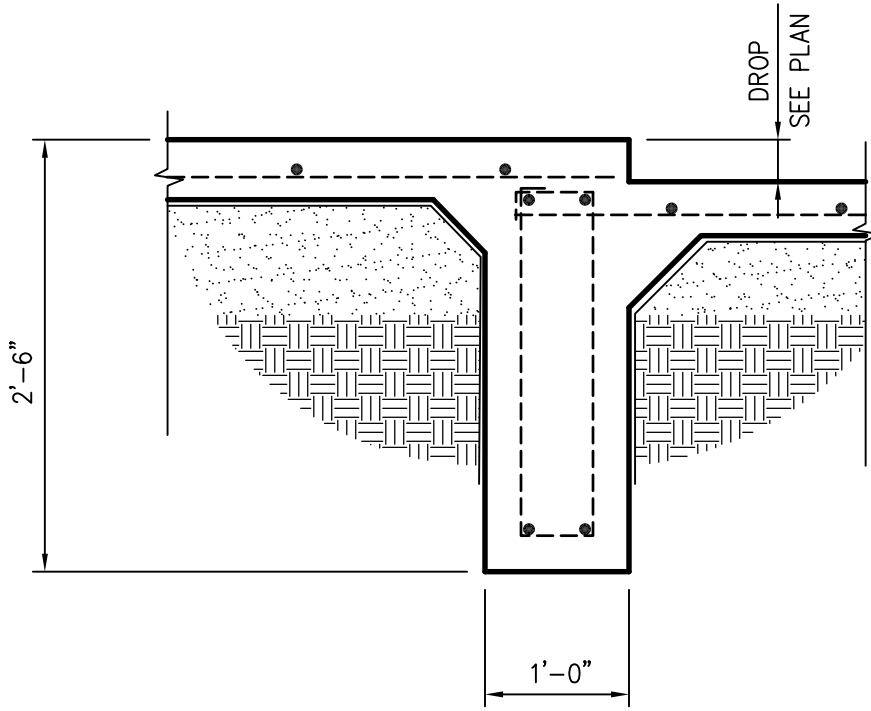


1A SECTION
3/4" = 1'-0"



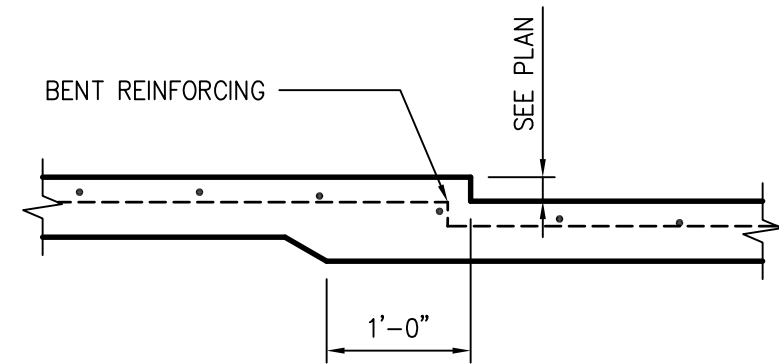
NOTE: SEE 1/THIS SHEET FOR INFORMATION NOT SHOWN.

2 SECTION
3/4" = 1'-0"



NOTE: SEE 1/THIS SHEET FOR INFORMATION NOT SHOWN.

3 SECTION
3/4" = 1'-0"



4 SECTION
3/4" = 1'-0"

BUILDING PAD PREPARATION

- Structural fill material shall consist of crushed limestone base material with the gradation as follows:

Retained on 2-1/2" screen	0%
Retained on 1-1/2" screen	0% - 25%
Retained on 3/4" screen	15% - 55%
Retained on 1/4" screen	45% - 75%
Retained on No. 40 mesh sieve	60% - 90%
- Prior to placing fill material, remove all organic and other deleterious material from the existing subgrade for the area within the building line. All exposed surfaces shall then be recompactd to a minimum of 95 percent of the maximum dry density as defined by TxDOT test method TEX 113-E or 114-E at a moisture content within 3 percent of the optimum moisture content.
This procedure does not apply to the protected tree's 50% CRZ.
- Structural fill shall be placed in 8 inch loose lifts, watered as required and compacted to a minimum of 95 percent of the maximum dry density as defined in TxDOT test method TEX 113-E at a moisture content within 3 percent of the optimum moisture content.
This procedure does not apply to the protested tree's 50% CRZ.
- Provide a 10 mil polyolefin Stego retarder. Place vapor barrier in accordance with manufacturer's recommendation on top of structural fill.

CAST IN PLACE CONCRETE

- Cast in place concrete shall meet the following requirements:

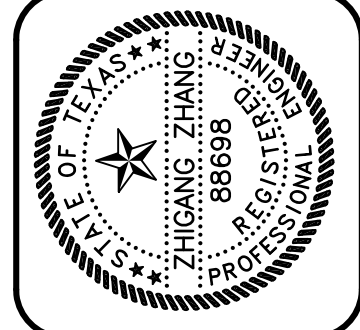
Class	28 Day Strength	Aggregate Type	Size	Slump	Use
A	3000 psi	C 33	1"	4" to 6"	Slab-on-grade & grade beams

The use of fly ash is recommended, but shall not exceed 25% of the total of the cement plus fly ash by weight.

CONCRETE REINFORCING

- Reinforcing steel shall be deformed new billet steel bars in accordance with ASTM A615 Grade 60.
- Detailing of reinforcing steel shall conform to the American Concrete Institute Detailing Manual.
- Provide 2-#4 bent bar with 2'-0" legs top and bottom in interior and exterior face of grade beams at corners and top and bottom in exterior face of grade beam at intersections.
- All hooks and bends in reinforcing bars shall conform to ACI detailing standards unless shown otherwise.
- Welding of reinforcing steel will not be permitted.
- Heat shall not be used in the fabrication or installation of reinforcement.
- Reinforcing steel clear cover shall be as follows:
 - Grade beams - 1 1/2" top, 3" bottom, 2" side (formed), 3" side (placed against earth)

Zhiyong Zhang
03/11/2019



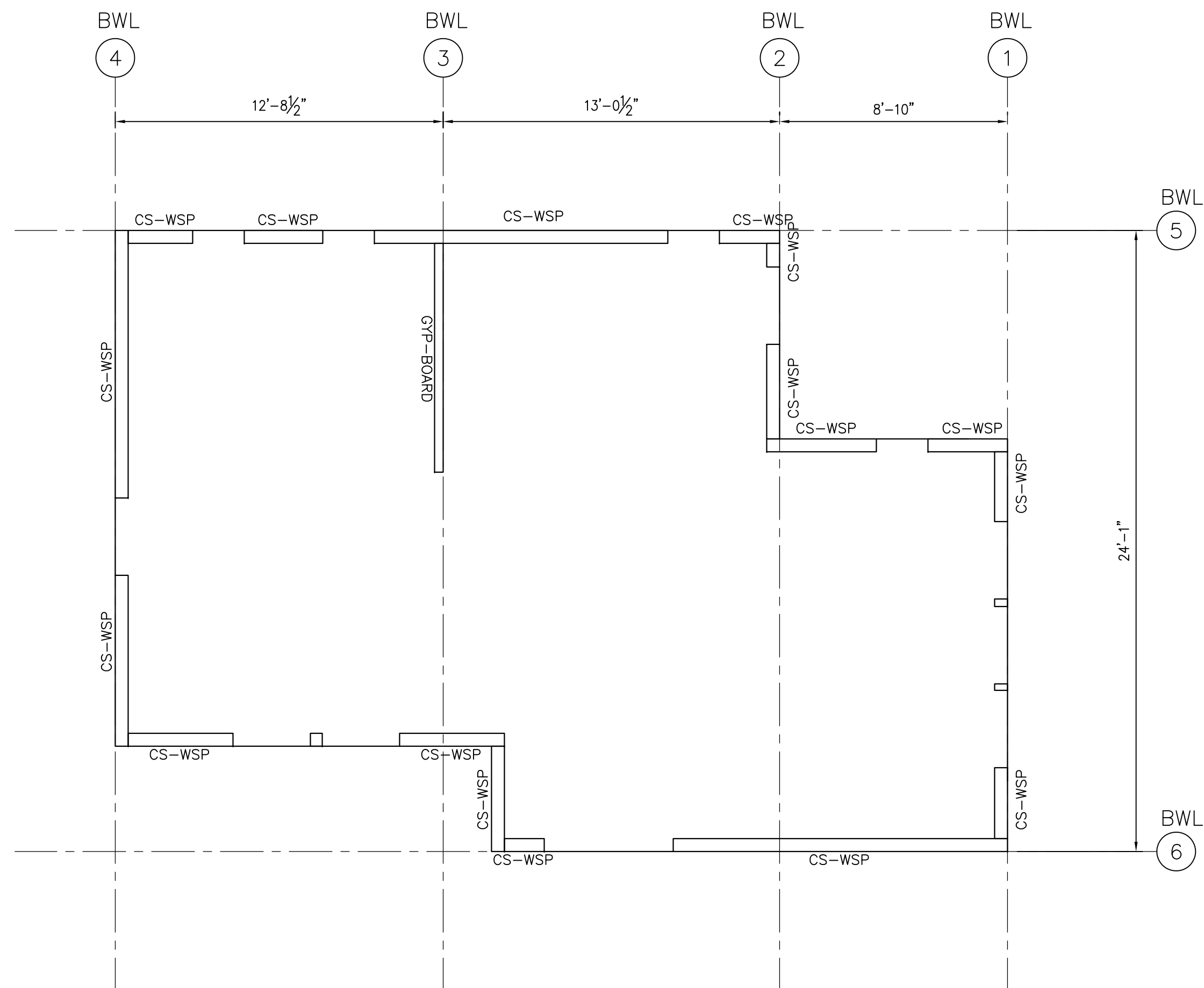
GREENEARTH ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2200 N. BRIDGES BLVD., SUITE 200
AUSTIN, TEXAS 78762
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19103

1103 CLERMONT AVE
AUSTIN, TEXAS

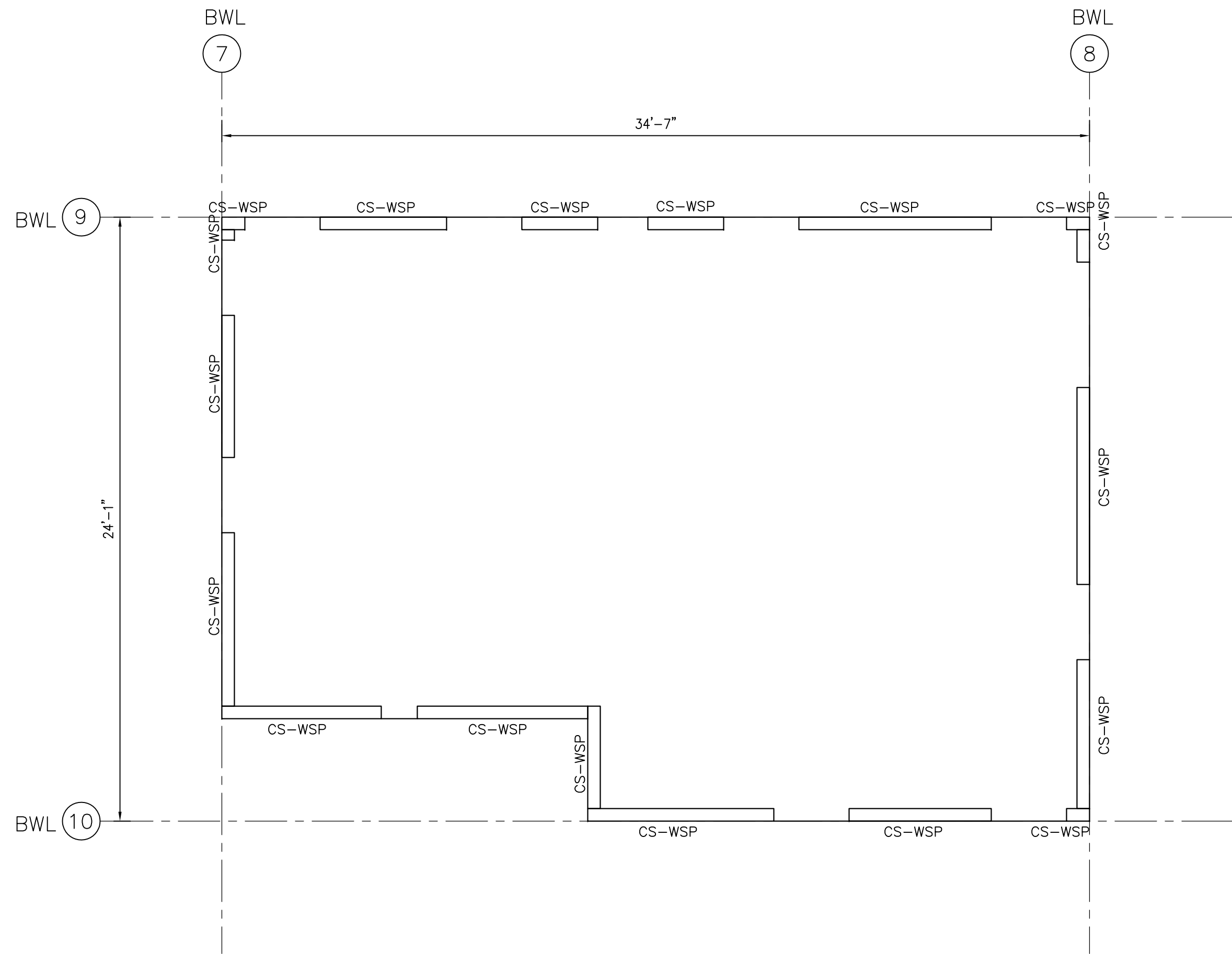
REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 03/11/2019

SHEET NO.
S200
OF



HOUSE
1ST FLOOR WALL BRACING PLAN
1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17



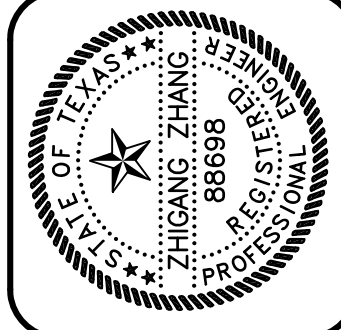
HOUSE
2ND FLOOR WALL BRACING PLAN
1/4" = 1'-0" IN 22x34
1/8" = 1'-0" IN 11x17

BRACE WALL LINE DATA				
BWL	STORY	BWL SPACING (FEET)	REQUIRED LENGTH (FT)	PROVIDED LENGTH (FT)
1	1 OF 2	9	3.5	6+
2	1 OF 2	14	5	5+
3	1 OF 2	14	10	10+
4	1 OF 2	13	5	15+
5	1 OF 2	25	7.8	10+
6	1 OF 2	25	7.8	15+
7	2 OF 2	35	5.5	10+
8	2 OF 2	35	5.5	10+
9	2 OF 2	25	4.3	10+
10	2 OF 2	25	4.3	10+

LEGENDS: BWL = BRACED WALL LINE; CS-WSP = CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL;
GB = GYPSUM BOARD; CS-PF = CONTINUOUS SHEATHED PORTAL FRAME.

- BRACED WALL LINE DATA BASED ON SEISMIC DESIGN CATEGORY A AND A WIND SPEED OF 115 MPH OR LESS.
- MAXIMUM BWL SPACING SHALL NOT EXCEED 60 FEET O.C.;
- WOOD STRUCTURAL PANEL SHALL BE 1/2" OSB (OR PLYWOOD) SHEATHING AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
(STAPLE OPTION: 16-GAGE STAPLES @ 3" O.C. AT PANEL EDGES AND 6" O.C. AT INTERMEDIATE FRAMING)
- ALL HORIZONTAL PANEL SPLICES SHALL BE BLOCKED WITH BLOCKING EQUAL TO WALL STUD SIZE AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C.
- THE FLOOR DECK SHALL BE 3/4" MIN OSB OR PLYWOOD DECK AND SHALL BE FASTENED WITH 8d COMMON NAILS. @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
- THE ROOF DECK SHALL BE 1/2" MIN OSB OR PLYWOOD DECK AND SHALL BE FASTENED WITH 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
- GYPSUM BOARD SHALL BE 1/2" THICK AND SHALL BE FASTENED WITH 6d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.

Zhiyong Zhang
03/11/2019



GREEN EARTH ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2200 W. BRUNNEN AVENUE, SUITE 100
AUSTIN, TEXAS 78703
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19103

1103 CLERMONT AVE
AUSTIN, TEXAS

REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 03/11/2019

SHEET NO.
S301
OF

Zhiqiang Zhang
03/11/2019

STRUCTURAL GENERAL NOTES

CODES

- Building Code: 2015 International Residential Code.
- Wood Framing: National Design Specifications For Wood Construction with Supplement, National Forest and Paper Products Association, Latest Edition.
- Structural Plywood: Plywood Design Specification, American Plywood Association, Latest Edition.
- Prefabricated Metal Plate Connected Wood Trusses: Design Standard for Metal Plate Connected Wood Truss Construction, ANSI/TPI 1-95.

DESIGN LOADS

- Live Loads
 - Roof 20 psf
 - Floor 40 psf
 - Stair 40 psf

TIMBER FRAMING

- Unless otherwise noted, all structural framing lumber shall be clearly marked no. 2 southern yellow pine or douglas fir, except that non-loadbearing interior walls may be stud grade southern yellow pine, douglas fir, or spruce-pine-fir.
- All wood headers, beams, and top plates shall be no. 2 Southern Yellow Pine or Douglas Fir.
- All load bearing walls shall have solid 2x blocking at 4'-0" o.c. maximum vertically. End nail with 2-16d nails or side toe nail with 2-16d nails.
- Provide double studs at all wall corners and on each side of all openings, unless noted or detailed otherwise.
- The entire exterior wall framing shall be braced by a 1/2" thick panel of APA rated sheathing with an exposure 1 rating extending from the top plate to the sill plate. Where wall is taller than 8'-0", provide multiple panels as required to extend from sill plate to top plate. Provide 2x blocking as required to support all panel edges. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports.
- Solid 2x blocking or bandboard shall be provided at supports and cantilever ends of all wood joists, and between supports in rows not exceeding 8'-0" apart.
- All framing members framing into the side of a header, hip, valley, ridge, truss or any other beams shall be attached using metal joist hangers manufactured by the Simpson Company or equal. The hanger shall be sized and installed in accordance with the manufacturers recommendations for the size of joist supported.
- Nailing and attachment of all framing members and sheathing shall be as specified in the International Residential Code Nailing Schedule (Table R602.3) unless noted otherwise in the drawings. Common wire nails or spikes, or galvanized box nails shall be used for all framing unless noted otherwise.
- Place a single plate at the bottom and a double plate at the top of all stud walls. Exterior sill plates shall be bolted to the foundation with 1/2" anchor bolts with a minimum embedment of 8" spaced at 4'-0" on center. Provide a minimum of two bolts per plate segment. Sill plates in contact with concrete or masonry shall be pressure treated with a preservative.
- Provide double joists under all interior partition walls oriented parallel to the joists.
- Provide triple studs (or cripples) at each end of any header, beam, ridge, valley, or hip spanning over 10'-0" unless noted otherwise. Provide double studs (or cripples) at each end of any header, beam, ridge, valley, or hip spanning 5'-0" to 10'-0" unless noted otherwise.
- The new generation of pressure treated lumber products are highly corrosive to metal connectors and fasteners. All fasteners and metal connectors used in conjunction with the new generation of pressure treated lumber shall be hot-dip galvanized or stainless steel. These locations include, but are not limited to the following:
 - Anchor bolts at sole plate to foundation.
 - Nails from sole plate to wall studs.
 - Nails at exterior plywood sheathing to sole plate.
 - Bolts at ledger to concrete.
 - Joist to treated ledger connections.
 - All hangers on treated joists.
 - Wood posts to concrete.
 - Deck board to treated joists.

PREFABRICATED METAL PLATE CONNECTED WOOD TRUSSES

- Trusses shall be designed by the Contractor in accordance with the Truss Plate Institute "Design Standard for Metal Plate Connected Wood Truss Construction" (ANSI/TPI 1-95).
- Truss members shall be clamped in a mechanical or hydraulic jig with sufficient pressure to bring members into reasonable contact at all joints during application of connector plates.
- Provide adequate erection bracing in accordance with Truss Plate Institute publication HIB-91.
- Truss Manufacturer shall provide permanent bracing as required by the design of the trusses. Erection bracing may remain in place as permanent bracing where it does not interfere with the architectural finishes.
- All timber truss members shall be Southern Yellow Pine with a maximum moisture content of 19%. Chord members shall be no. 2 or better and web members shall be no. 3 or better.
- Connection plates shall be manufactured by a WTCA member plate manufacturer. Plates shall be 20 gauge minimum, ASTM A446 grade A steel, with a G60 galvanized coating.
- Trusses shall be designed in accordance with the following requirements:
 - Top chords shall be designed to resist the local bending induced by the floor or roof uniform load on the top chord.
 - Limit live load deflection of floor trusses to L/480. Total load deflections shall be limited to L/360.

COMPOSITE WOOD MEMBERS

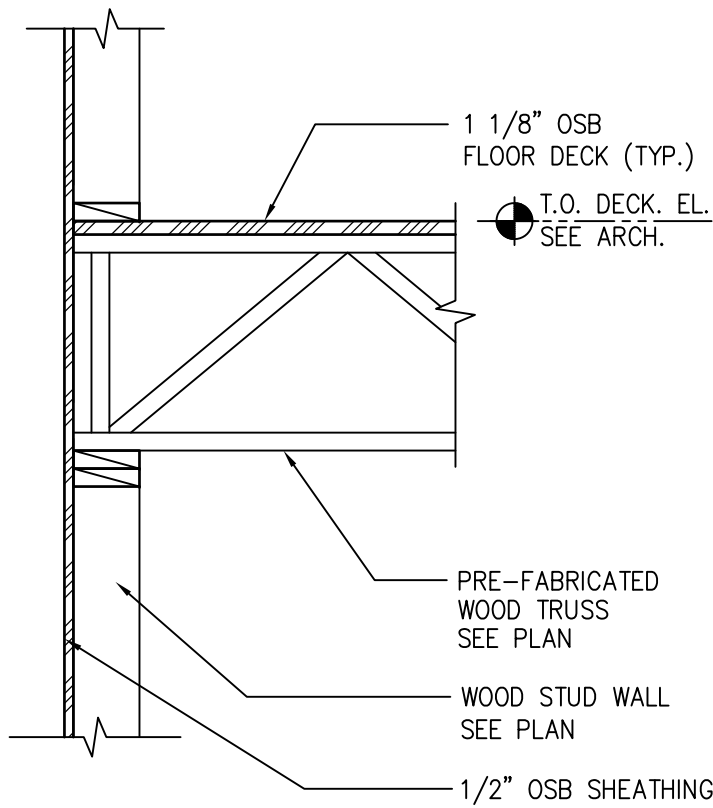
- Where noted on the drawings, joists shall be TJI "SP" series engineered wood joists, and beams shall be "Micro-Lam" or "Parallam" beams as manufactured by the Trus Joist Macmillan Corporation.
- Do not notch joists or beams. Drill holes through webs of engineered wood members for mechanical, electrical or plumbing services in accordance with the recommendations of the engineered wood product manufacturer.
- Multiple wood beams up to three members thick shall be nailed together with three rows of 16d nails at 12" on center. Four or more multiple wood beams and any multiple wood beams utilizing beams thicker than 1 3/4" shall be bolted together with 1/2" diameter bolts top and bottom at supports and ends of the beam, then at 24" on center, staggered top and bottom for the full length of the beam.
- Where multiples of two 1 3/4" Micro-Lam beams are noted on the drawings, contractor may provide single 3 1/2" beams in lieu of double 1 3/4" beams.
- Provide web stiffeners where required by the manufacturer for the specified support condition.

STRUCTURAL STEEL

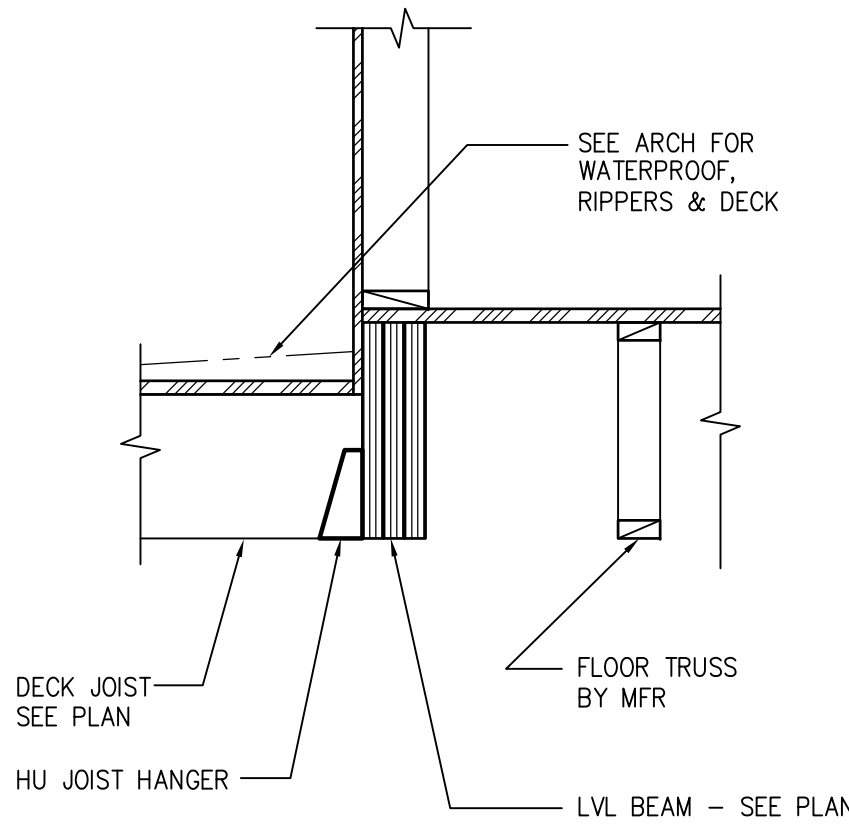
- Structural Steel W-shapes shall conform to ASTM A992. Steel plates, angles, and channels may be ASTM A572, grade 50 or ASTM A36. Steel pipe shall conform to ASTM A501 or ASTM A53, Type E or S, grade B. Steel tube shall conform to ASTM A500, grade B, Fy 46 ksi.
- Column base plates shall be grouted with a nonshrink, high strength nonmetallic grout. Pre-grouting of column base plates will NOT be permitted.
- Splicing of structural steel members is prohibited without prior approval of the Engineer as to location and type of splice to be made. Any member having splice not shown and detailed on shop drawings will be rejected.

STRUCTURAL STEEL CONNECTIONS

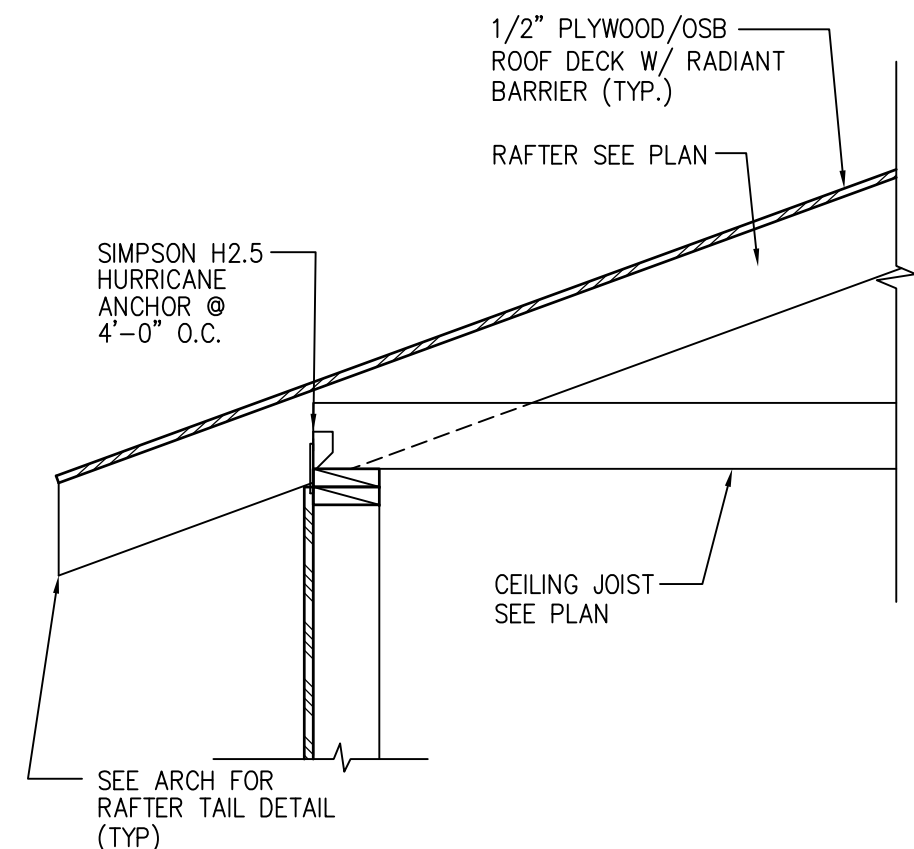
- Welding shall conform to ANSI/AWS D1.1, latest edition.
- Bolts shall conform to ASTM A325. Bolts shall be designed using values for bearing type bolts with thread allowed in the shear plane.



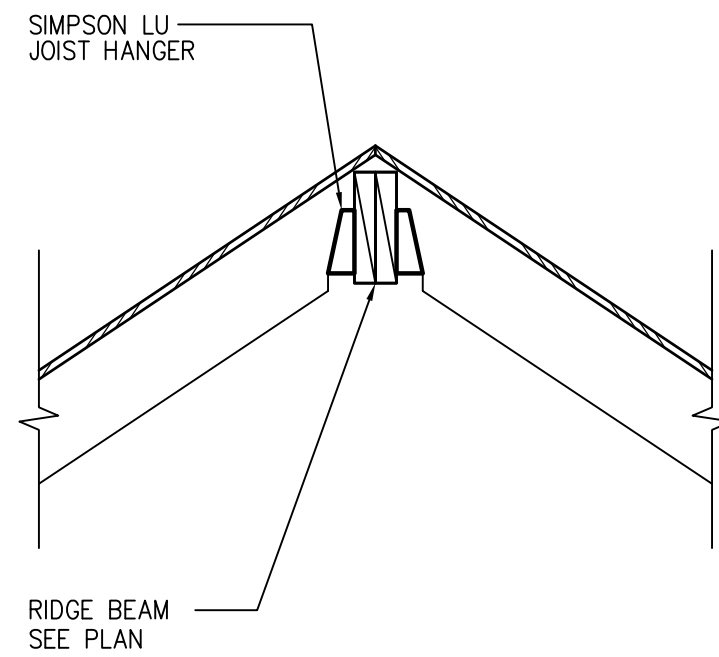
1 SECTION
3/4" = 1'-0"



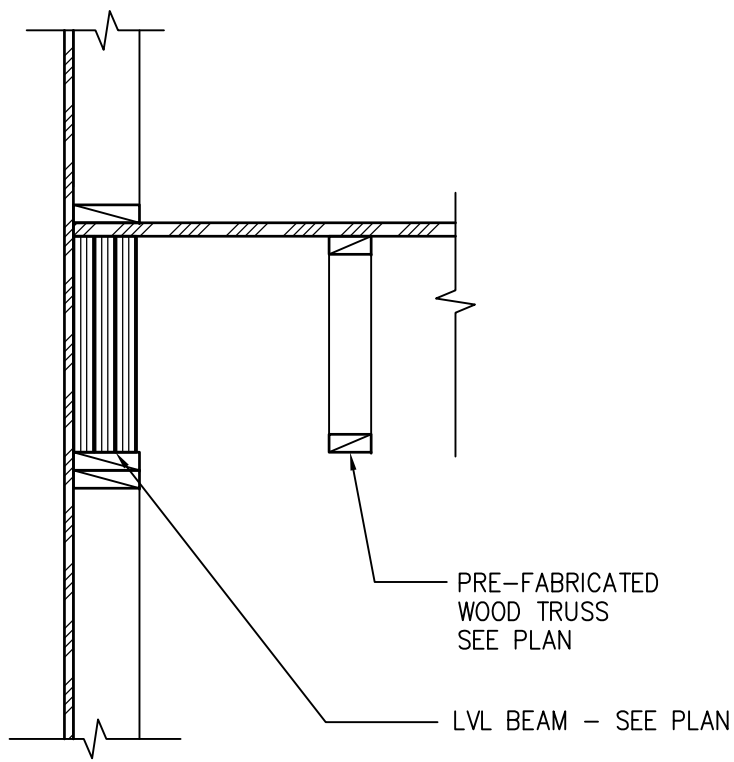
2 SECTION
3/4" = 1'-0"



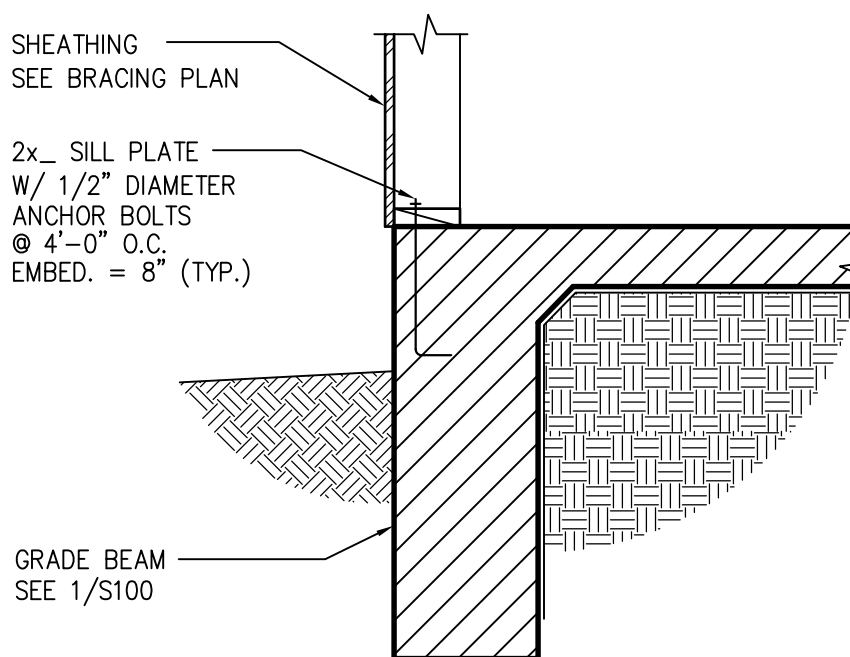
3 SECTION
3/4" = 1'-0"



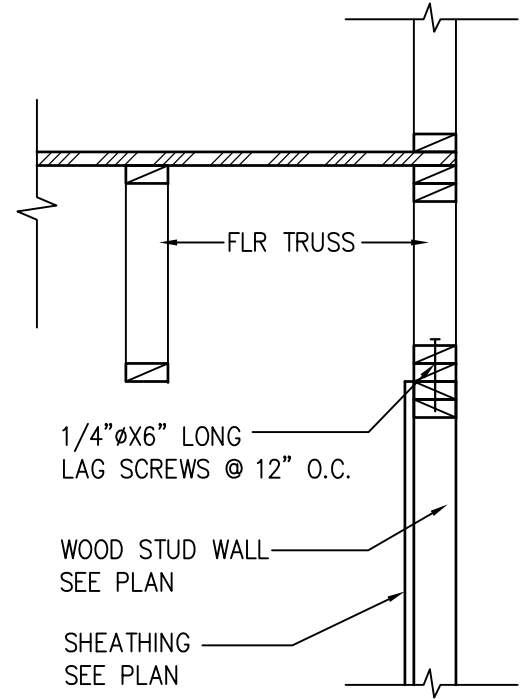
4 SECTION
3/4" = 1'-0"



5 SECTION
3/4" = 1'-0"

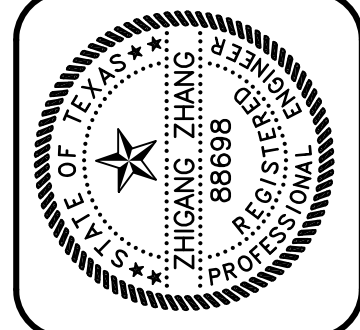


6 SECTION
3/4" = 1'-0"



7 SECTION
3/4" = 1'-0"

Zhiyong Zhang
03/11/2019



GREENEARTH ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2000 N. MICHIGAN AVE., SUITE 200
AUSTIN, TEXAS 78701
PHONE (512) 289-8086 FAX (512) 383-8339
GE JOB NO.: 19103

1103 CLERMONT AVE
AUSTIN, TEXAS

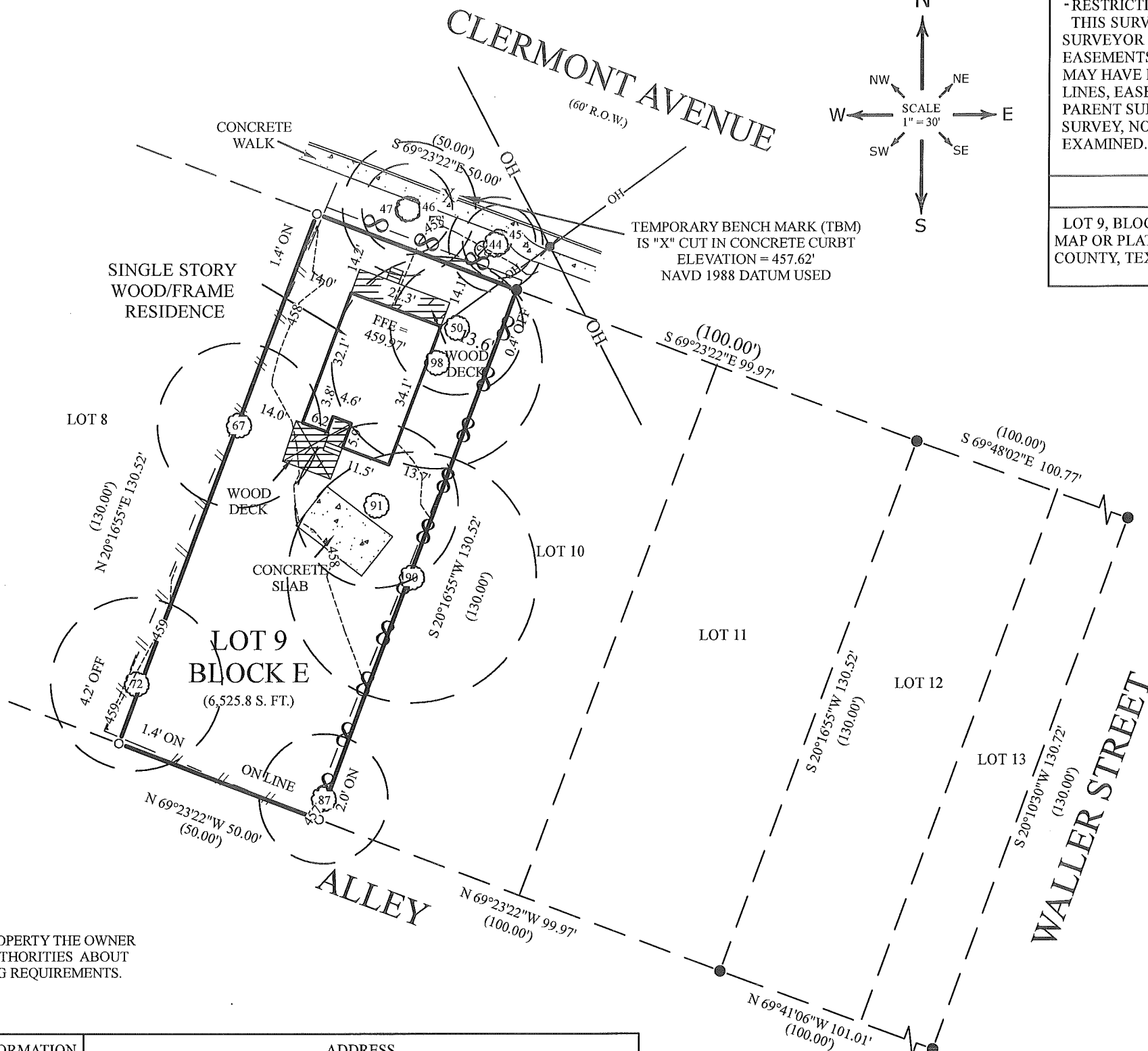
REV.	DATE

CHK. BY: TZ
DRWN. BY: TZ
DATE: 03/11/2019

SHEET NO.
S400
OF

LEGEND

- 1/2" ROD SET
1/2" ROD FOUND
() RECORD INFORMATION
WATER METER
CLEAN OUT
UTILITY POLE
OH OVERHEAD UTILITY LINE(S)
CHAIN LINK FENCE
WOOD FENCE
ON INSIDE OF SUBJECT BOUNDARY
OFF OUTSIDE OF SUBJECT BOUNDARY
(M) MULTI-STEM TREE
(P) PROTECTED TREE
(H) HERITAGE TREE
X "X" SCRIBE SET IN CONC. FOR TBM



RESTRICTIONS

-RESTRICTIONS:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND THIS SURVEYOR DID NOT RESEARCH THE DEED RECORDS FOR PREVIOUS CONFLICTS IN TITLE, EASEMENTS AND/OR BOUNDARY LINE AGREEMENTS, THEREFORE, CERTAIN EASEMENTS MAY HAVE BEEN GRANTED WHICH ARE NOT REFLECTED HEREON. ONLY THOSE SETBACK LINES, EASEMENTS, BOUNDARY LINES AND INTERESTS WHICH ARE REPRESENTED ON THE PARENT SUBDIVISION PLAT, WHICH IS REFERENCED HEREON, ARE PLOTTED ON THIS SURVEY, NO DOCUMENTS OTHER THAN THOSE CITED ON THIS SURVEY HAVE BEEN EXAMINED.

LEGAL DESCRIPTION

LOT 9, BLOCK A, R.C. LAMBIE'S RESUBDIVISION OF VOSS ADDITION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 85 PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

TREE LIST

(11)	11" CREPE MYRTLE (M)
(45)	8.5" CREPE MYRTLE (M)
(46)	10.5" CREPE MYRTLE (M)
(47)	15.5" CREPE MYRTLE (M)
(50)	15.2" HACKBERRY
(67)	19" CHINABERRY
(72)	20" ELM (P)
(87)	15" CHINABERRY
(90)	29" HACKBERRY
(91)	19" HACKBERRY
(98)	24.5" ELM (H)

BEARING BASIS:

BEARINGS ARE BASED TO THE TEXAS COORDINATE SYSTEM CENTRAL TEXAS ZONE NAD83 HARN HORIZONTAL CONTROL.

NOTICE

BEFORE DESIGN BEGINS ON THE SUBJECT PROPERTY THE OWNER SHOULD CHECK THE LOCAL GOVERNING AUTHORITIES ABOUT BUILDING SETBACKS AND OTHER BUILDING REQUIREMENTS.

ALLSTAR
Land surveying

9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 48453C0465J PANEL: 0465J DATED: 01/06/2016 THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

ADDRESS

GUADELUPE NEIGHBORHOOD
DEVELOPMENT CORPORATION
1103 CLERMONT AVENUE
AUSTIN, TRAVIS COUNTY, TEXAS.

SURVEY DATE:	FEBRUARY 13, 2019	FIELD BY:	DERICK SOLOMON	02/12/2019
TITLE CO.:	-	CALC. BY:	CHRIS ZOTTER	02/13/2019
G.F. NO.:	-	DRAWN BY:	ADRIEL LOPEZ	02/13/2019
JOB NO.:	A0207119	RPLS CHECK:	EDWARD RUMSEY	02/13/2019



TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON CERTIFIED ONLY TO BUILDING LINES AND EASEMENTS AS PER PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 22, 2019

Bryant Celestine, THPO
Alabama-Coushatta Tribe of Texas
571 State Park Road 56
Anadarko, OK 73005

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit
1103 Clermont Avenue
Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

AHFC proposes to assist Guadalupe Neighborhood Development Corporation (“GNDC”), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to demolish a 2-bedroom unit and will replace it with a 3-bedroom primary unit that will be sold to a first-time home buyer, in a Community Land Trust, with an income at or below 80% MFI. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

The required attachments are included. Should you need additional information, please call me at (512) 974-3121

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation?

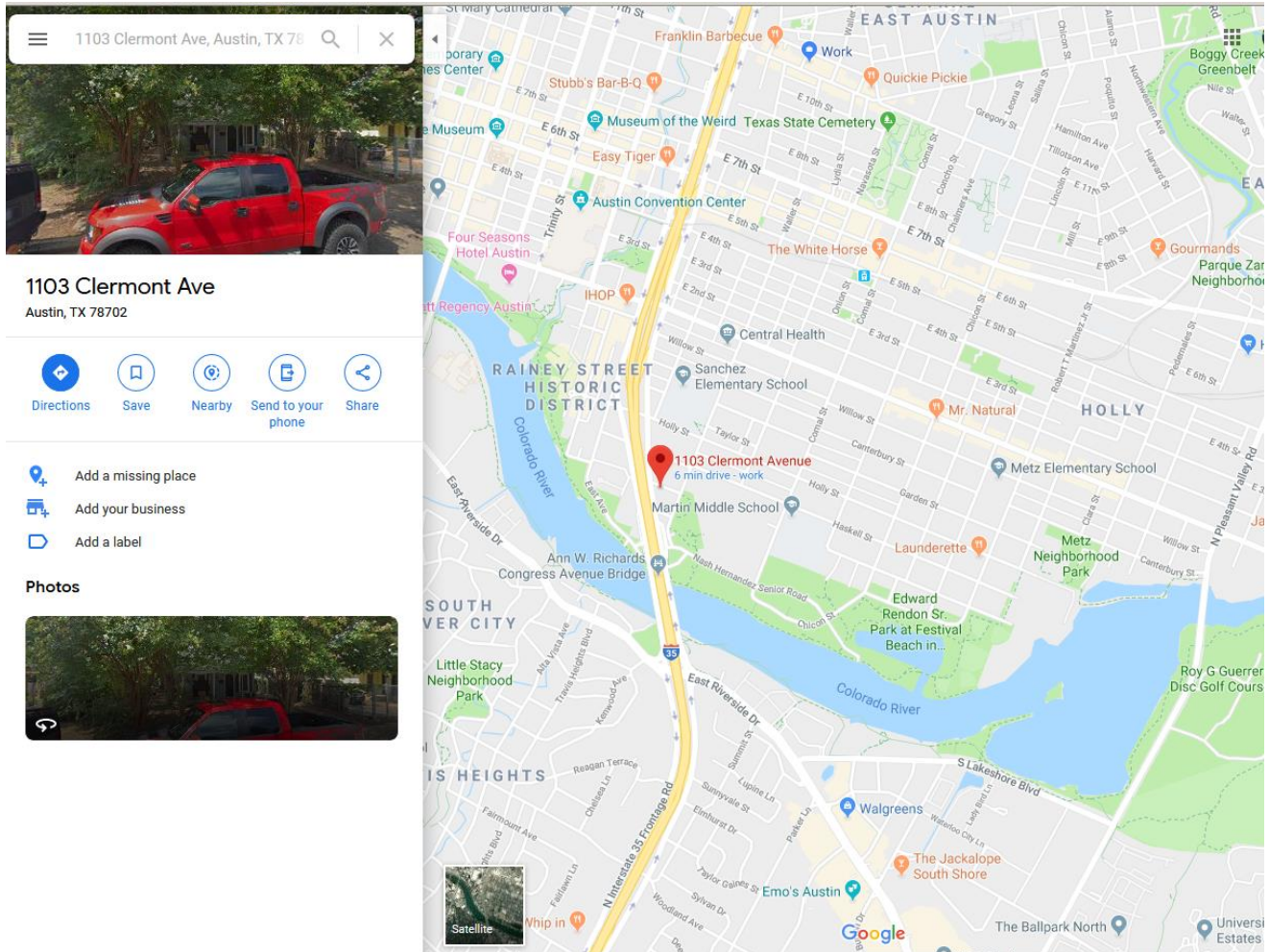
Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist
Phone: (512) 974-6001
E-mail: dawn.perkins@austintexas.gov
Fax: (512) 974-3161

Enclosures: Google Map

Google Map: 1103 Clermont Ave Austin, TX 78702





City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 22, 2019

David Sickey, Chairman
Coushatta Tribe of Louisiana
PO Box 818
Elton, LA 70532

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit
1103 Clermont Avenue
Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

Project Description:

AHFC proposes to assist Guadalupe Neighborhood Development Corporation (“GNDC”), a non-profit housing development organization with a rehabilitation project. GNDC is requesting funds to demolish a 2-bedroom unit and will replace it with a 3-bedroom primary unit that will be sold to a first-time home buyer, in a Community Land Trust, with an income at or below 80% MFI. A 2-bedroom secondary ADU will be built at the rear of the lot for rental by households at 30% MFI or below.

The required attachments are included. Should you need additional information, please call me at (512) 974-3121

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

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Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

Phone: (512) 974-6001

E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

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April 22, 2019

Gary McAdams, THPO

Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma

PO Box 729

Anadarko, OK 73005

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit

1103 Clermont Avenue

Austin, Travis County, Texas 78702

To Whom It May Concern:

The City of Austin, Texas (the “City”) is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under HUD regulation 24 CFR 58.4, the City of Austin has assumed HUD’s environmental review responsibilities for the project, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

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The required attachments are included. Should you need additional information, please call me at (512) 974-3121

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>.

HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

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Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Dawn A. Perkins

Business Process Specialist

Phone: (512) 974-6001

E-mail: dawn.perkins@austintexas.gov

Fax: (512) 974-3161

Enclosures: Google Map



City of Austin

Neighborhood Housing and Community Development

P.O. Box 1088, Austin, TX 78767 -1088

(512) 974-3100 ♦ Fax (512) 974-3112 ♦ www.austintexas.gov/housing

April 22, 2019

Lauren Norman-Brown, THPO
Tonkawa Tribe of Indians of Oklahoma
1 Rush Buffalo Road
Tonkawa, OK 74653

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit
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April 22, 2019

Linda Langley, THPO
Coushatta Tribe of Louisiana
PO Box 10
Elton, LA 70532

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Austin, Travis County, Texas 78702

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April 22, 2019

Martina Callahan, THPO
Comanche Nation, Oklahoma
6 SW D Avenue
Lawton, OK 73502

RE: Rehabilitation of One Unit & New Construction of a 2-bedroom secondary Accessory Dwelling Unit
1103 Clermont Avenue
Austin, Travis County, Texas 78702

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April 22, 2019

Nita Battise, Chairperson
Alabama-Coushatta Tribe of Texas
571 State Park Road 56
Livingston, TX 77351

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April 22, 2019

Russell Martin, President
Tonkawa Tribe of Indians of Oklahoma
1 Rush Buffalo Road
Tonkawa, OK 74653

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April 22, 2019

Terri Parton, President

Wichita and Affiliated Tribes (Wichita, Keechi, Waco & Tawakonie), Oklahoma

PO Box 729

Anadarko, OK 73005

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November 30, 2018

William Nelson, Chairman
Comanche Nation, Oklahoma
PO Box 908
Lawton, OK 73502

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TONKAWA TRIBE OF OKLAHOMA
NATIVE AMERICAN GRAVES PROTECTION
AND REPATRIATION ACT (NAGPRA)

1 RUSH BUFFALO ROAD - PHONE (580) 628-2561 - FAX (580) 628-2279
TONKAWA, OKLAHOMA 74653
www.tonkawatribe.com

May 14, 2019

CITY OF AUSTIN

Attn: Ms. Dawn A. Perkins, Business Process Specialist
P.O. Box 1088
Austin, TX 78767

Re: Section 106 Request for Consultation: HUD HOME Rehab/New Construction-1103
Clermont Avenue, Austin, Travis County, Texas

Dear Ms. Perkins:

On behalf of President Russell L. Martin and the Tonkawa Tribe of Oklahoma (TTO) in regards to your *Request for Consultation of the Housing and Urban Development (HUD) project located at 1103 Clermont Avenue, Austin, Travis County, Texas 78702*; the construction will consist of the demolition of a 2-bedroom unit and replacing it with a 3-bedroom primary unit that will be sold to a first-time home buyer, in a Community Land Trust, with and income at or below 80% MFI. A 2-bedroom secondary Accessory Dwelling Unit will be built at the rear of the lot for rental by households at 30% MFI or below. TTO concurs with the National Register of Historic Places (NRHP) and the Texas Historic Sites Atlas, the project review concludes that no adverse effects would arise from these projects nor are there any historic sites in the vicinity of the Area of Potential Effect (APE); Travis County, Texas. TTO submits the following: The Tonkawa Tribe of Oklahoma has no specifically designated historical, religious and/or cultural significance in the Proposed Project Area;

However if any human remains, funerary objects, or other evidence of historical or cultural significance is inadvertently discovered then the Tonkawa Tribe would certainly be interested in proper disposition thereof.

We appreciate the notification received from your office. The Tonkawa Tribe is willing to work with you and your representatives in any manner to uphold the provisions of NAGPRA to the extent of our capabilities as well as yours. Great success on such a *wonderful project* and to those they will serve.

Respectfully,

Mariah Mahtapene
Tonkawa Tribal TCNS Coordinator

[mmahtapene@tonkawatribe.com](mailto:mmmahtapene@tonkawatribe.com)

HISTORIC LANDMARK COMMISSION
APRIL 22, 2019
DEMOLITION AND RELOCATION PERMITS
HDP-2019-0161
1103 CLERMONT AVENUE

PROPOSAL

Demolish a ca. 1938 house.

ARCHITECTURE

One-story, rectangular-plan, side-gabled frame house with a full-width, shed-roofed, independent porch on plain wood posts; single 1:1 fenestration.

RESEARCH

Although there is a 1929 water service permit for this address, it does not appear that this house was built earlier than its presumed ca. 1938 construction date based upon its architecture and evidence from city directories regarding occupants. The house has had a series of short-term renters over the years, including a salesman, a bus repairman, a painter, truck drivers, a carpenter, and a book-keeper. None of the occupants during the historic period lived in this house for more than a couple of years.

STAFF COMMENTS

The house was recommended as not eligible for local or NRHP designation in the East Austin Historic Resources Survey (2016).

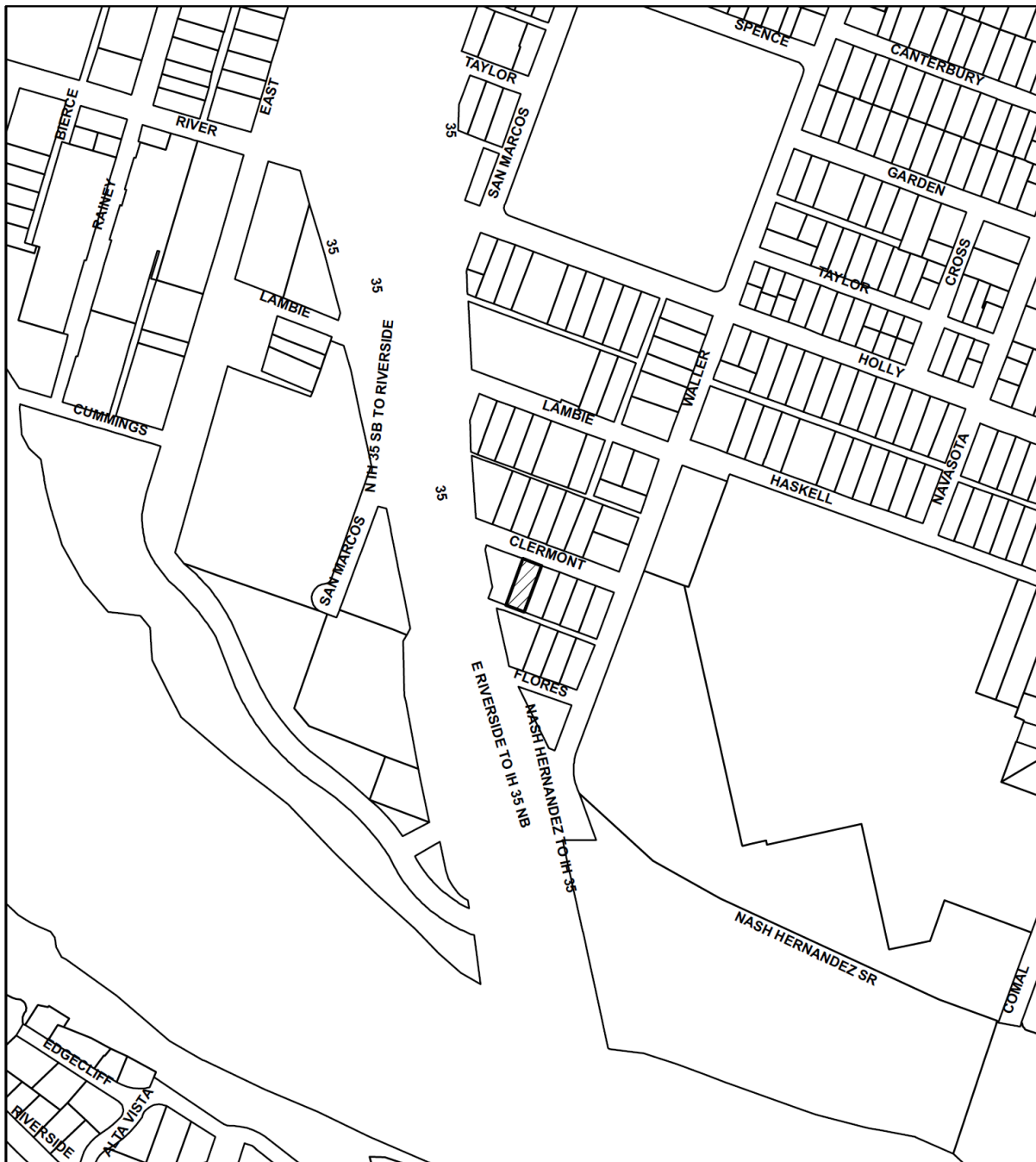
Staff has evaluated this house for designation as a historic landmark and has determined that the house does not meet the criteria for landmark designation as set forth in City Code:

- a. **Architecture.** The house is a common late 1930s cottage with modifications to the porch; the house has no architectural distinction.
- b. **Historical association.** The house was the home of a series of short-term renters, none of whom lived here for even 5 years. There do not appear to be significant historical associations.
- c. **Archaeology.** The house was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
- d. **Community value.** The house does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
- e. **Landscape feature.** The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.




STAFF RECOMMENDATION

Encourage rehabilitation and adaptive re-use, then relocation over demolition, but release the permit upon completion of a City of Austin Documentation Package, consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history, for archiving at the Austin History Center. The house does not meet the criteria for individual designation as a historic landmark.

LOCATION MAP



1" = 333'

-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

NOTIFICATIONS

CASE#: HDP-2019-0161

LOCATION: 1103 CLERMONT AVE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



1103 Clermont Avenue
ca. 1938



OCCUPANCY HISTORY 1103 Clermont Street

City Directory Research, Austin History Center
By City Historic Preservation Office
April, 2019

1937	The address is not listed in the directory. NOTE: The house appears to have been built in 1938, although there is an older water service permit for this address (1929). NOTE: F.V. and Naomi Wheless are not listed in the directory.
1939	F.V. and Naomi Wheless, renters Salesman
1941	Carl and Pauline T. Ferdinandsen, renters Repairman, Austin Transit Company
1944-45	C.P. and Effie B. Pruitt, renters Painter
1947	Oscar E. and Alice M, Turner, renters Driver, Central Forwarding
1949	William O. and Lula Polk, renters Book-keeper
1952	Chester and Fannie Burch, renters Chester: Driver Fannie: Janitor, Perry-Brooks Building
1955	Silvester and Ruth Ira, renters Carpenter
1959	David L. Castanon, renter No occupation listed
1962	Joe and Juana Rodriguez, renters Laborer, Seton Hospital
1965	The address is not listed in the directory.
1968	Vacant
1973	Espetucion and Vera Martinez, renters Bricklayer
1977	Espetucion and Vera Martinez, renters Bricklayer
1981	Espeacion and Elvira Martinez, renters Bricklayer

- 1985-86 Espeacion and Elvira Martinez, renters
Bricklayer
- 1992 Rudy and Maryvale Fay, renters
Rudy: Roofer
Maryvale: Employed by Schlotzky's, restaurants, multiple locations.
NOTE: The directory indicates that Rudy and Maryvale Fay were new residents at this address.

BIOGRAPHICAL NOTES:

F.V. and Naomi Wheeless (ca. 1938 – ca. 1940)

Vardy and Naomi Wheeless appear in the 1940 U.S. Census for Lockhart, Texas, where they rented their home. Vardy Wheeless was 32, had been born in Texas, and was the proprietor of a life insurance agency. Naomi Wheeless was 30, had been born in Oklahoma, and had no occupation listed. They had 3 children: Vardy, Jr., 10; Barbara, 9; and Carroll, 8. All three children had been born in Oklahoma. The family lived in Palestine, Texas in 1935.

His 1940 World War II draft card shows that Ferman Vardy Wheeless was born in Easterly, Texas in 1907 and was living in Austin, where he was in business for himself. He was 5'-10", weighed 135 pounds, and had a ruddy complexion with brown hair and blue eyes. His next of kin was his wife, Naomi.

Nellie Naomi Wheeless was born in Elk City, Oklahoma in 1908 and died in Austin in 1988. Ferman Vardy Wheeless was born in 1907 and died in Austin in 1994.

Naomi N. Wheeless

Naomi N. Wheeless, age 80, of 2001 Mimosa, Austin, Texas, passed away Wednesday.

Her Christian life was the greatest inspiration to all her children, relatives and friends.

Survivors include: husband, F.V. Wheeless, Austin; sons, Vardy Wheeless, Jr., and wife, Louise, Taylor, C.E. Wheeless and wife, JoAnn, Austin; daughter, Barbara Pello and husband, John, Austin; brothers, Emory Martin, Rogers, Arkansas, Alfred Martin, Elks City, Oklahoma, Otto Martin, Elks City, Oklahoma; 12 grandchildren; 26 great-grandchildren; one great-great-granddaughter.

Funeral service: 1:30 PM, Friday, Wilke-Amey-Clay Funeral Home with Reverend Nelson Lanham and Reverend A.D. Eberhart officiating. Burial, Memorial Hill Park.

Services under the direction of Wilke-Amey-Clay Funeral Home.

Obituary of Naomi Wheeless
Austin American-Statesman, November 25, 1988

F. Vardy Wheelless Sr.

F. Vardy Wheelless Sr., age 86, of Austin passed away Wednesday, July 6, 1994.

He was a former minister of music in various Austin Baptist Churches.

He was preceded in death by his wife, Naomi Wheelless and his parents.

Survivors include sons, Vardy Wheelless and wife, Louise of Taylor, Texas, and C.E. Wheelless and wife, Jo Anne of Austin; daughter, Barbara Pello and husband, John of Austin; brother, Carroll Wheelless of Ft. Worth; special friend, Rosemary McLaughlin; 12 grandchildren; 28 great-grandchildren; and two great-great-grandchildren.

The funeral service will be held Friday, 2:00 PM, Wilke-Amey-Clay Funeral Home. Officiating is Reverend Nelson Lanham and Reverend Allen Oubre. Burial will follow in Memorial Hill Park.

Pallbearers are grandsons.

Services are under the direction of Wilke-Amey-Clay Funeral Home, 2620 S. Congress.

Obituary of Vardy Wheelless
Austin American-Statesman, July 7, 1994

Carl and Pauline Ferdinandsen (ca. 1940 – ca. 1943)

The 1940 U.S. Census shows Carl and Pauline Ferdinandsen as the renters of this house. Carl Ferdinandsen was 27, had been born in Texas, and was an automobile mechanic. Pauline Ferdinandsen was 21, had been born in Texas, and had no occupation listed. They had 2 sons: Claude, 5; and Charles H., 3. Both boys had been born in Texas. In addition, Carl's brother and sister-in-law and their 3 children lived in the house: Samuel Ferdinandsen was 23, had been born in Texas, and was an automobile mechanic. His wife, Jeanette, 21, had been born in Texas, and had no occupation listed. Samuel and Jeanette's 3 children were Sammy J., 4; George R., 3; and Margaret Ann, 3 months. All the children had been born in Texas.

N^o.A 2907

PERMIT FOR WATER SERVICE

Austin, Texas

~~INDEXED~~ ^{Sec 14}

M. N. L. W. H. H. H.

Address 1108 1/2 St

Plumber Barnwell

Size of Tap 1/2

Date 12/19/79

NF-11

Foreman's Report.

Date of Connection 12/20/27

Size of Tab Made 3/4

Size Service Made 2/2

Size Main Tapped 12

From Front Post. Line to Curb Calk 91

From Front Prop. Line to Cargo Lock.....

.....

Location of Meter At entrance

Type of Box.....444.....

Depth of Main in St. 14'

" " Service Line 29

From Cook Cook to Test M's

From Curb Lock to Tap on Main.....1/2
 1-9-30

Checked by Engr. Dept. 1-7-50
INDEXED 207

checked by Engr. D.
INDEXED

Foreman's Signature

Water service permit to N.S. Wheelless for this address (1929)

Receipt No. 20137

Application for Sewer Connection

Nº 31672

Rush no pipe from plumber
Austin,

Austin, Texas, 6-1-52 1952

To the Superintendent of Sanitary Sewer Division, City of Austin, Texas.

Sir:—

I hereby make application for sewer connection and instructions on premises owned by Mrs. Ralph Schneider at 1103 Clermont Ave Street

further described as Lot 9 Block E Outlot — Division —
subdivision R.C. Jamaica Road Plat 4, which is to be used as a Road

In this place there are to be installed 2 fixtures. Plumbing Permit No. 4798-a
I agree to pay the City of Austin, the regular ordinance charge.

Depth at Prop. Line 3

Respectfully,

Stub Out } 12' W OF ELL
~~Completed~~

7-14-63 (Location)

Date 1/14/50

By Leon J. Barra

NOTE: Connection Instruction.

Mem 5-1782

Sewer connection application by Mrs. Ralph Schneider for this address (1953)

OWNER Olga Schneider ADDRESS 1103 Clermont Avenue
 PLAT 14 LOT 9 BLK E
 SUBDIVISION R. C. Lambies
 OCCUPANCY Residence
 BLD PERMIT # 100804 DATE 8-30-66 OWNERS ESTIMATE 400.00
 CONTRACTOR Vernon Lake NO. OF FIXTURES
 WATER TAP REC # SEWER TAP REC #
Repair Frame Residence to Min Stand

Building permit to Olga Schneider to repair the house (1966)

City records indicate a permit to demolish the carport in 1995 and a permit for a front porch addition in 1995.

Attachment 12

Noise Abatement and Control

Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR - Part 51 Subpart B

Day/Night Noise Level (DNL) Calculator Not Needed

RHDA-OHDA Infill Project #2

1103 Clermont Ave, Austin, TX 78702

DNL Calculator

Site ID	1103 Clermont Ave		
Record Date	07 / 08 / 2019		
User's Name	Dawn Perkins		

Road # 1 Name:	IH 35		
----------------	-------	--	--

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	276		276
Distance to Stop Sign	124		124
Average Speed	30		25
Average Daily Trips (ADT)	124564		18613
Night Fraction of ADT	15		15
Road Gradient (%)			0
Vehicle DNL	57.3571		80.693
Calculate Road #1 DNL	80.693	Reset	

Add Road Source	Add Rail Source
-----------------	-----------------



City of Austin

MEMO

P.O. Box 1088, Austin, TX 78767
www.cityofaustin.org/housing

Neighborhood Housing and Community Development Department

Date: August 22, 2019
To: ERR – Memo to File
From: Rosie Truelove, Director, NHCD
RE: EIS Requirement for Noise, 24 CFR Part 51.104(b)(2)

Project Addresses: 1103 Clermont Avenue
Austin, Travis County, Texas 78702

Noise Mitigation Measures

While completing the Environmental Review for 1103 Clermont Avenue, NHCD staff determined that the noise levels exceeded 80 decibels, due to the close proximity of the structure to IH35. Staff requested that the developer, Guadalupe Neighborhood Development Association (GNDC), utilize the Sound Transmission Classification Assessment Tool (STraCAT) to determine if the new construction would reduce noise levels to an acceptable level. After calculating the noise level using the new materials and techniques, the RE has determined that the noise level will achieve an acceptable level of 40.06. See attached report.

Noise Mitigating Efforts

GNDC will utilize the following mitigation efforts:

1. Using noise-reducing design and construction techniques to attenuate noise in interior spaces, including:
 - a. Energy efficient double paned 34 STC windows
2. Wall Construction Detail:
 - a. 5/8" x 10" redwood siding; 1/2" insulation board; 2x4" wood studs
 - b. Resilient channels between the studs and gyp board will be added for additional attenuation
3. Door Construction Detail:
 - a. 3'x7' solid-core wood 27 STC door 1 3/4" thick
4. Sealing air leaks around wall penetrations such as windows, doors, and electrical outlet boxes
5. And improving sound-attenuating properties of walls, windows, doors, roofs, etc.

No other environmental issues were found during the Environmental Review. Therefore, I am waiving the need to perform an Environmental Impact Statement for 1103 Clermont Avenue, Austin, TX 78702.


Rosie Truelove
NHCD, Director


Date

Sound Transmission Classification Assessment Tool (STraCAT)

Part I - Description

Project

1103 Clermont Ave

Sponsor/Developer

GNDC

Location

1103 B Clermont

Prepared by

James Miller

Noise Level

80.693

Date

2019-08-12

Primary Source(s)

I-35

Part II - Wall Components

Wall Construction Detail**Area****STC**

5/8" x 10" redwood siding; 1/2" insulation board; 2x4" wood stuc

1387

47

Add new wall

Wall Statistics

Stat	Value
Area:	1387 ft ²
Wall STC:	47

Aperture Statistics

Aperture	Count	Area	% of wall
Windows:	15	178.5 ft ²	12.87%
Doors:	1	21 ft ²	1.51%

Evaluation Criteria

Criteria	Value
Noise source sound level(dB):	80.693
Combined attenuation for wall component:	40.06 dB
Required attenuation:	38.693
Do Wall components meet requirements?	<input type="button" value="Yes"/>

Part 4 - Tips

What do you do if the preferred wall design is not sufficient to achieve the required attenuation? Another wall design with more substantial materials will work, but may not be the most cost-effective solution. Try adding some other elements for just a little more attenuation.

For example:

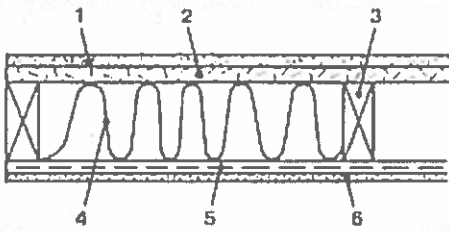
- Staggering the studs in a wall offers approximately 4dB of additional protection.
- Increasing the stud spacing from 16" on center to 24" can increase the STC from 2-5dB.
- Adding a 2" air space can provide 3dB more attenuation.
- Increasing a wall's air space from 3" to 6" can reduce noise levels by an additional 5dB.
- Adding a layer of ½" gypsum board on "Z" furring channels adds 2dB of attenuation.
- Using resilient channels and clips between wall panels and studs can improve the STC from 2-

Sketch

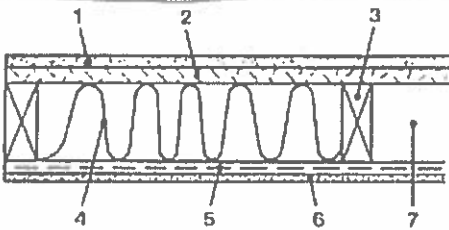
Brief Description

STC

47



1. 5/8x10" redwood siding.
2. 1/2" insulation board sheathing.
3. 2x4" wood studs 16"o.c.
4. Fiberglas building insulation (3 1/2").
5. Resilient channel.
6. 1/2" gypsum board screwed to channel.



1. 5/8x10" redwood siding (9x14' wall).
2. 1/2" insulation board sheathing.
3. 2x4" wood studs 16.o.c.
4. Fiberglas building insulation (3 1/2").
5. Resilient channel.
6. 1/2" gypsum board screwed to channel.
- 7.

(a.38)

(b.35)

- a. Wall penetrated by a 6x5' picture window, 1" glazed insulating glass.
- b. Wall penetrated by a 6x5' 16 panel window, glazed single strength.

EMAIL August 14, 2019

Re: 1103 Clermont Avenue

James Miller 10:50 AM (1 hour ago)

to me, Marie, Mario, Rachel, Linda

Hello All,

Mario asked me to run the numbers using Ply Gem's windows at 34 STC.

The good news is both the house and the apartment pass using a wall STC of 47 and windows of 34.

The 47 wall detail is very similar to our exterior walls except it adds resilient channels between the studs and gyp board (see attached detail).

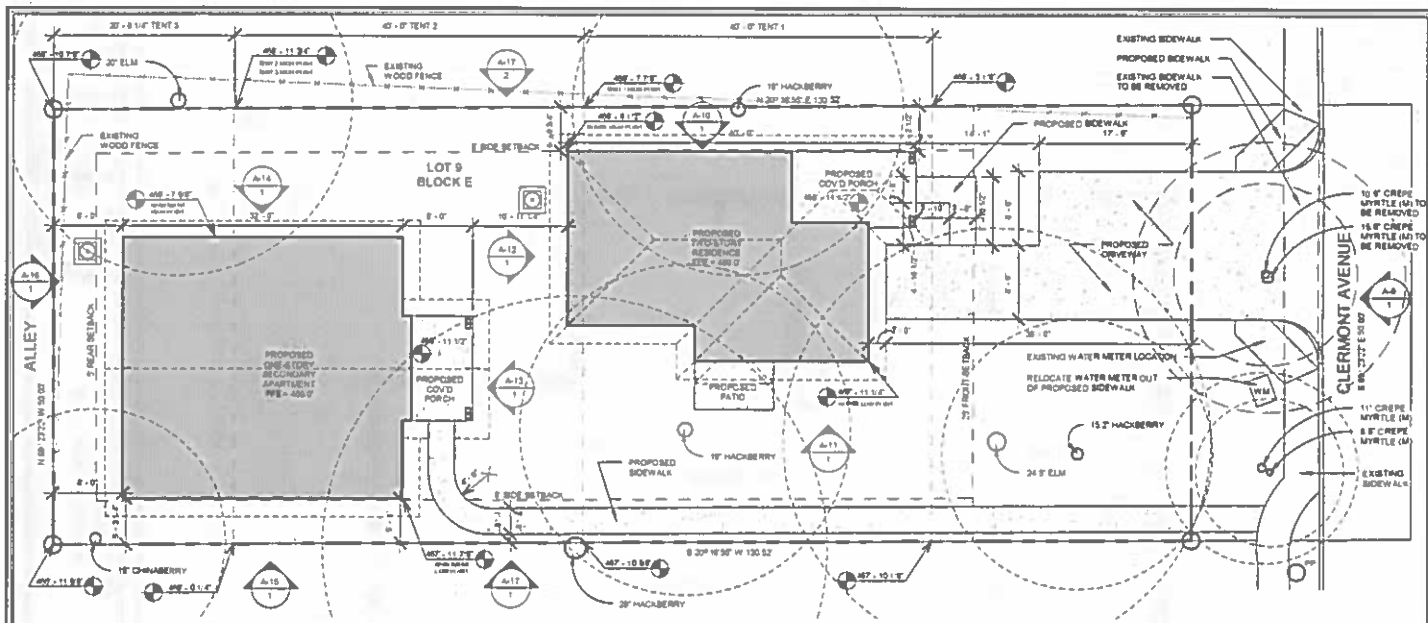
Mario, did your Ply Gem window local rep say how much of an up charge the 34 STC would be? When I talked to the manufacturer he would not say.

Also attached are the passing Sound Transmission Classification Assessment Tool forms.

Please let me know if you have any questions or need anything else.

thanks,

-james



DRAWING INDEX

- A-0 SITE PLAN
- A-1 HOUSE FIRST LEVEL FLOOR PLAN
- A-2 HOUSE SECOND LEVEL FLOOR PLAN
- A-3 APARTMENT FLOOR PLAN
- A-4 HOUSE VISIBILITY PLAN
- A-5 APARTMENT VISIBILITY PLAN
- A-6 TREE PROTECTION PLAN
- A-7 SCHEDULES
- A-8 REFLECTED CEILING PLANS
- A-9 HOUSE & SITE NORTH ELEVATION
- A-10 HOUSE WEST ELEVATION
- A-11 HOUSE EAST ELEVATION
- A-12 HOUSE SOUTH ELEVATION
- A-13 APARTMENT NORTH ELEVATION

DRAWING INDEX

- A-14 APARTMENT WEST ELEVATION
- A-15 APARTMENT EAST ELEVATION
- A-16 APARTMENT & SITE SOUTH ELEVATION
- A-17 EAST & WEST SITE ELEVATIONS
- A-18 HOUSE ROOF PLAN
- A-19 APARTMENT ROOF PLAN
- S100 FOUNDATION DETAILS
- S200 HOUSE FRAMING PLANS
- S300 HOUSE BRACING PLANS
- S302 APARTMENT FRAMING & BRACING PLAN
- S400 FRAMING DETAILS
- EXISTING SITE SURVEY

IMPERVIOUS COVER

HOUSE	701.93sf
HOUSE COVD PORCH	121.17sf
HOUSE PATIO	49.89sf
SECONDARY APARTMENT	873.00sf
SECONDARY APARTMENT COVD PORCH	84.00sf
DRIVEWAY	448.25sf
SIDEWALK	220.71sf
HVAC PADS	18.20sf
TOTAL IMPERVIOUS COVER	2,714.00sf

AREA OF SITE 6,920.00sf

TOTAL % OF SITE 41.78%

AREA

PROPOSED HOUSE GROUND FLOOR	701.93sf
PROPOSED HOUSE SECOND FLOOR	714.19sf
PROPOSED SECONDARY APARTMENT	873.00sf
TOTAL	2,289.12sf

P.A.R. = (2,289.12sf / 6,920.00sf) * 100 = 33.14%

SECONDARY APARTMENT P.A.R. = (873.00sf / 6,920.00sf) * 100 = 12.61%

1 SITE PLAN

3/32" = 1'-0"



GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S DIRECTIONS.
2. IF ALL MATERIAL AND WORK DESIGNATED NOT IN CONTRACT SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
3. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PREPARE A PUNCH LIST OUTLINING ANY INCOMPLETE OR UNSATISFACTORY WORK.
4. THE CONTRACTOR SHALL CONFINE HIS USE OF THE PREMISES TO THE DESIGNATED CONSTRUCTION AREA.
5. THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH SIGNED PERMIT DRAWINGS AT THE CLOSE OF THE PROJECT WITH "AS BUILT" CONDITIONS LEGIBLY NOTED.
6. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER WITH NOTARIZED LIEN RELEASES FOR HIMSELF AT EACH DRAW AND FOR ALL SUBCONTRACTORS PRIOR TO RELEASE OF FINAL PAYMENT.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A NOTARIZED LIEN RELEASE FOR ALL MATERIALS AND FINISHES USED ON THE PROJECT. THE INFORMATION INCLUDED WILL BE CARE, MAINTENANCE AND OPERATION INSTRUCTIONS AND WARRANTIES.

L.S. Johnston
ARCHITECTS / AIA
ARCHITECTURE
PLANNING
3,813 East Drenth Street
Austin, Texas 78702
Phone: 512-418-4951
Fax: 512-418-4872

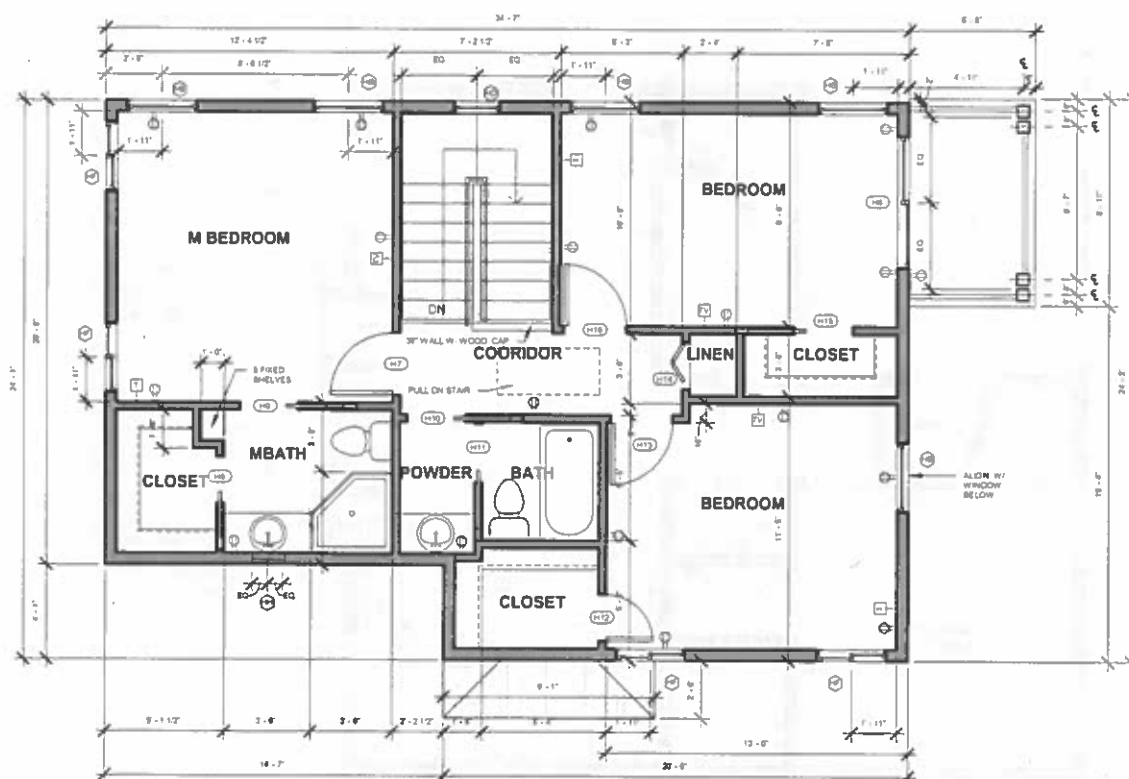


1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

JSM
LSJ
3/12/19

SITE PLAN

A-0



1 HOUSE SECOND LEVEL PLAN
1/4" = 1'-0"

L.S. Johnston
ARCHITECTS / AIA
ARCHITECTURE
PLANNING
233 East Sixth Street
Austin, Texas 78702
512 475-8890
512 475-8872



1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

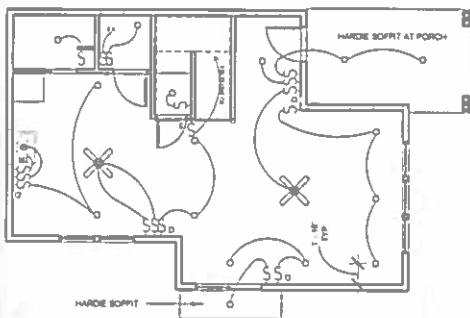
LSJ
JM
3-12-10

HOUSE SECOND
LEVEL FLOOR
PLAN

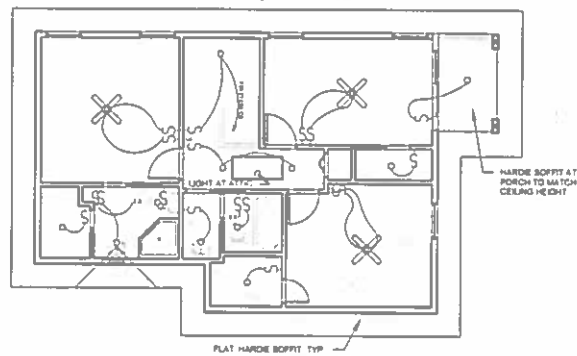
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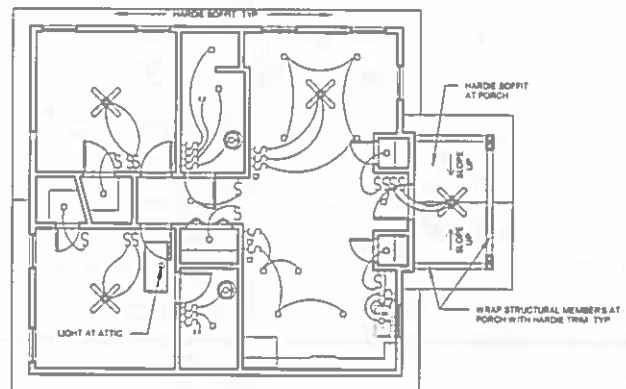
A-4



1 HOUSE FIRST LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"



2 HOUSE SECOND LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"



3 APARTMENT REFLECTED CEILING PLAN
1/8" = 1'-0"

NOTE:
1. ALL FIRST FLOOR LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" A.F.F.
2. ALL FIRST FLOOR OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 18" A.F.F. EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES

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ARCHITECTURE
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3913 East Burn Street
Austin, Texas 78702
phone 512 476-4852
fax 512 476-4872



1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

Drawn: JMJ
Checked: L.S.J.
Date: 3/12/10

REFLECTED
CEILING PLANS

A-8



L.S. Johnston
ARCHITECTS / AIA
ARCHITECTURE
PLANNING
312 East Dean Street
Austin, Texas 78702
Phone 512 478-4062
Fax 512 478-4172



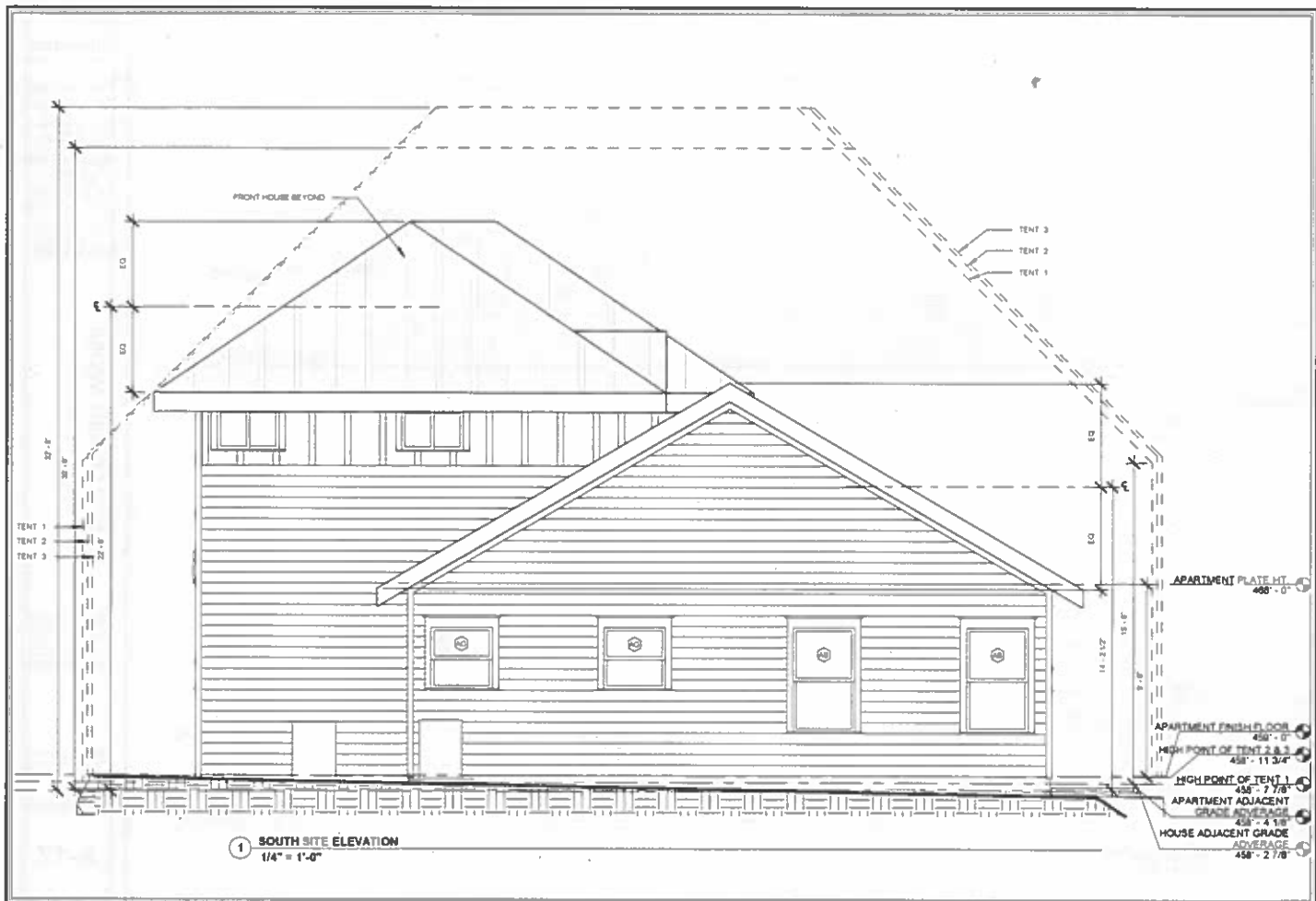
1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

DESIGNED BY L.S.J.
DRAWN BY J.M.
DATE 3/12/19

HOUSE WEST
ELEVATION

A-10





L.S. Johnston
ARCHITECTS / AIA
ARCHITECTURE
PLANNING
313 East South Street
Austin, Texas 78702
phone 512 478-0982
fax 512 478-0973

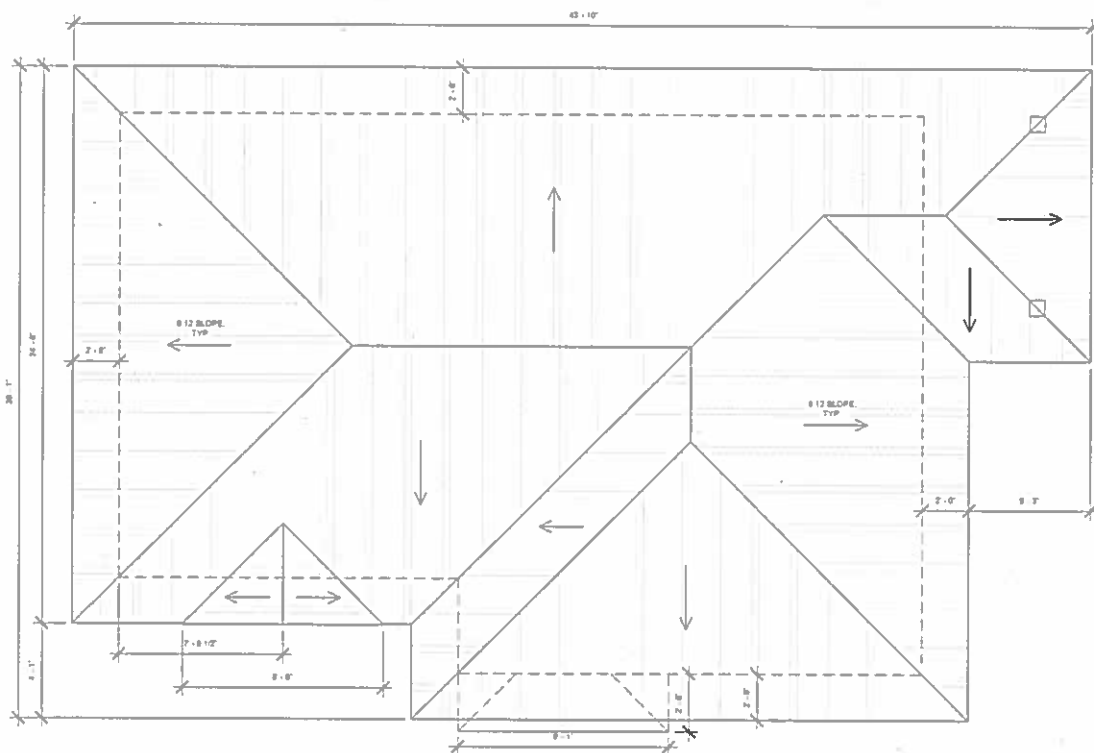


1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

JSN
1/5/10
3/12/10

APARTMENT &
SITE SOUTH
ELEVATION

A-16



1 HOUSE ROOF PLAN
1/4" = 1'-0"

L.S.
Johnston
ARCHITECTS / AIA
ARCHITECTURE
PLANNING

5313 East South Street
Austin, Texas 78753
phone 512 478-6951
fax 512 478-6973



1103 CLERMONT AVENUE
AUSTIN, TEXAS 78702

JSM
3/12/10

HOUSE ROOF
PLAN

A-18

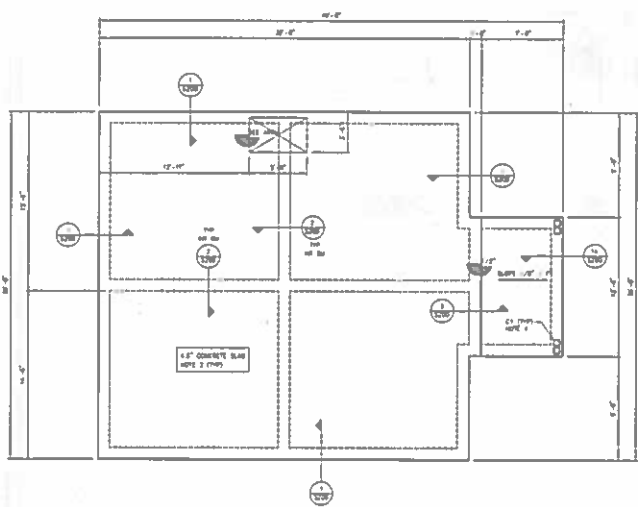
24 pages 24 pages
03/11/2011



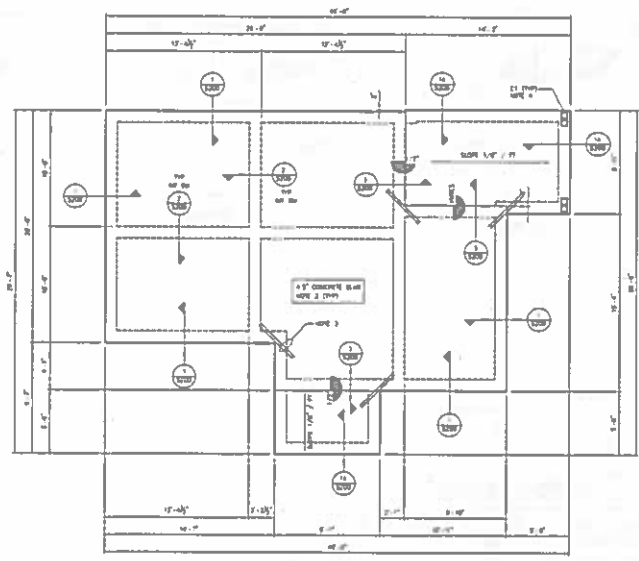
1103 CLERMONT AVE
AUSTIN, TEXAS

Rev.	Date
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2	03/11/2011
3	03/11/2011
4	03/11/2011
5	03/11/2011

S100

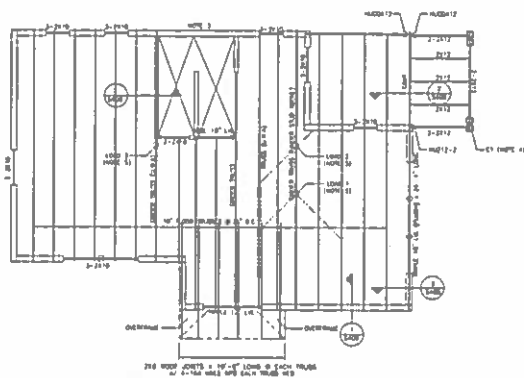


FOUNDATION PLAN
1/4\"/>



FOUNDATION PLAN
1/4\"/>

- NOTES:**
1. VERIFY ALL DIMENSIONS, SLAB THICKNESS & STRUCTURAL REQUIREMENTS FROM THE ARCHITECT'S DRAWINGS.
 2. 1/4\"/>



2ND FLOOR/LOWER ROOF FRAMING PLAN

1/4" = 1'-0" @ 25/31

1/4" = 1'-0" @ 25/31

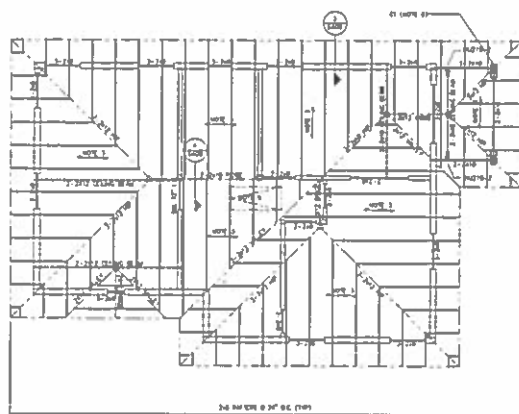
PLAN NOTES

1. ALL EXIST. WALLS ARE 2x4 @ 16" LONG SPACING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.
2. ALL EXIST. WALLS ARE 2x4 @ 16" LONG SPACING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.
3. SEE NOTES FOR 2ND FLOORING WALLS.

4. BEAMS AND JOISTS SHALL BE SUPPORTED BY BUILT-UP COLUMN IN EXIST. TIE TO FOUNDATION. SEE SCHEDULE IN THIS SHEET FOR BUILT-UP COLUMN SIZES.
5. WALLS AT 3'x4' SPACING SHALL BE 2x4 AND CONTINUOUS FROM FOUNDATION TO ROOF.
6. EX - 2x4 JOIST PROVIDE SUPPORT 1/4" TO 1/2" IN BEAM AND COLUMN.

7. FLOOR TRUSSES SHALL BE 2x12 FOR APPROX. 16'x12' TO 24'x24' BEAM AND COLUMN.
8. FLOOR 1 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.
9. FLOOR 2 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.
10. FLOOR 3 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.

BUILT-UP COLUMN SCHEDULE	
BEAM SIZE	BUILT-UP STUD COLUMN
2 - 1 3/4" x 12" LVL @ 16"	4 - STUD COLUMN
2 - 1 3/4" x 12" LVL	3 - STUD COLUMN
3 - 2 x 12	3 - STUD COLUMN
2 - 2 x 12	3 - STUD COLUMN
2 - 2 x 10 OR SMALLER	2 - STUD COLUMN



ROOF FRAMING PLAN

1/4" = 1'-0" @ 25/31

PLAN NOTES

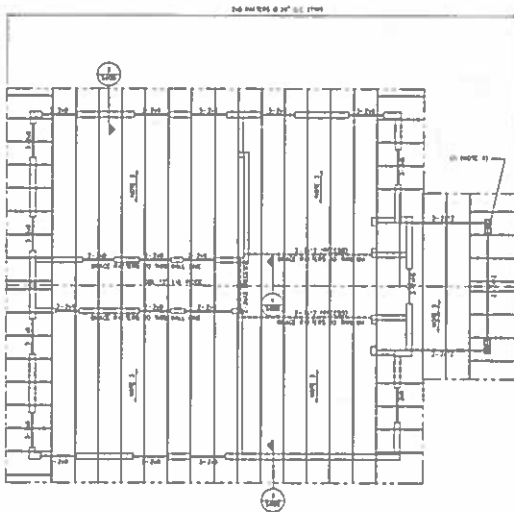
1. ALL EXIST. WALLS ARE 2x4 @ 16" LONG SPACING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.
2. ALL EXIST. WALLS ARE 2x4 @ 16" LONG SPACING WALLS UNLESS NOTED OTHERWISE IN THIS PLAN.
3. SEE NOTES FOR 2ND FLOORING WALLS.

4. BEAMS AND JOISTS SHALL BE SUPPORTED BY BUILT-UP COLUMN IN EXIST. TIE TO FOUNDATION. SEE SCHEDULE IN THIS SHEET FOR BUILT-UP COLUMN SIZES.
5. WALLS AT 3'x4' SPACING SHALL BE 2x4 AND CONTINUOUS FROM FOUNDATION TO ROOF.
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7. FLOOR TRUSSES SHALL BE 2x12 FOR APPROX. 16'x12' TO 24'x24' BEAM AND COLUMN.
8. FLOOR 1 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.
9. FLOOR 2 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.
10. FLOOR 3 - 2x12 @ 16" O.C. = 16'x12' TO 24'x24' BEAM AND COLUMN.

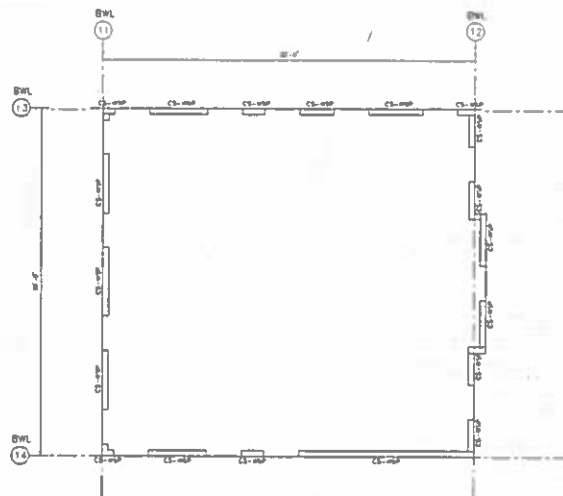
1103 CLERMONT AVE
AUSTIN, TEXAS

SHEET NO.
S300



ROOF FRAMING PLAN
1/4" = 1'-0" = 20'-0"
1/8" = 1'-0" = 20'-0"

- NOTES:**
1. ALL JOIST WALLS ARE 24" O.C. LONG (SEE WALL) AND ARE NOTED OTHERWISE ON THIS PLAN.
 2. ALL INTERIOR WALLS ARE 24" O.C. LONG (SEE WALL) AND ARE NOTED OTHERWISE ON THIS PLAN.
 3. SEE MOISTURE PROOFING WALLS.
 4. ROOF AND RAFTERS SHALL BE SUPPORTED BY BUILT-UP COLLARS & GIRDERS TO BE SUBMITTED FOR APPROVAL IN THIS SPEC FOR BUILT-UP COLLARS (SEE).
 5. THE CEILING JOISTS @ 24" O.C. ARE NOT SHOWN ABOVE SECTION BECAUSE THEY ARE BENEATH.
 6. ALL JOIST COLLARS SHALL BE 12" O.C. AT INTERMEDIATE FRAMING.
 7. ALL JOIST COLLARS SHALL BE 12" O.C. AT INTERMEDIATE FRAMING.



1ST FLOOR WALL BRACING PLAN
1/4" = 1'-0" = 20'-0"
1/8" = 1'-0" = 20'-0"

BRACE WALL LINE DATA				
LINE	BRACE	BRACE	BRACE	BRACE
11	OF 2	24	24	24
12	OF 2	24	24	24
13	OF 2	24	24	24
14	OF 2	24	24	24

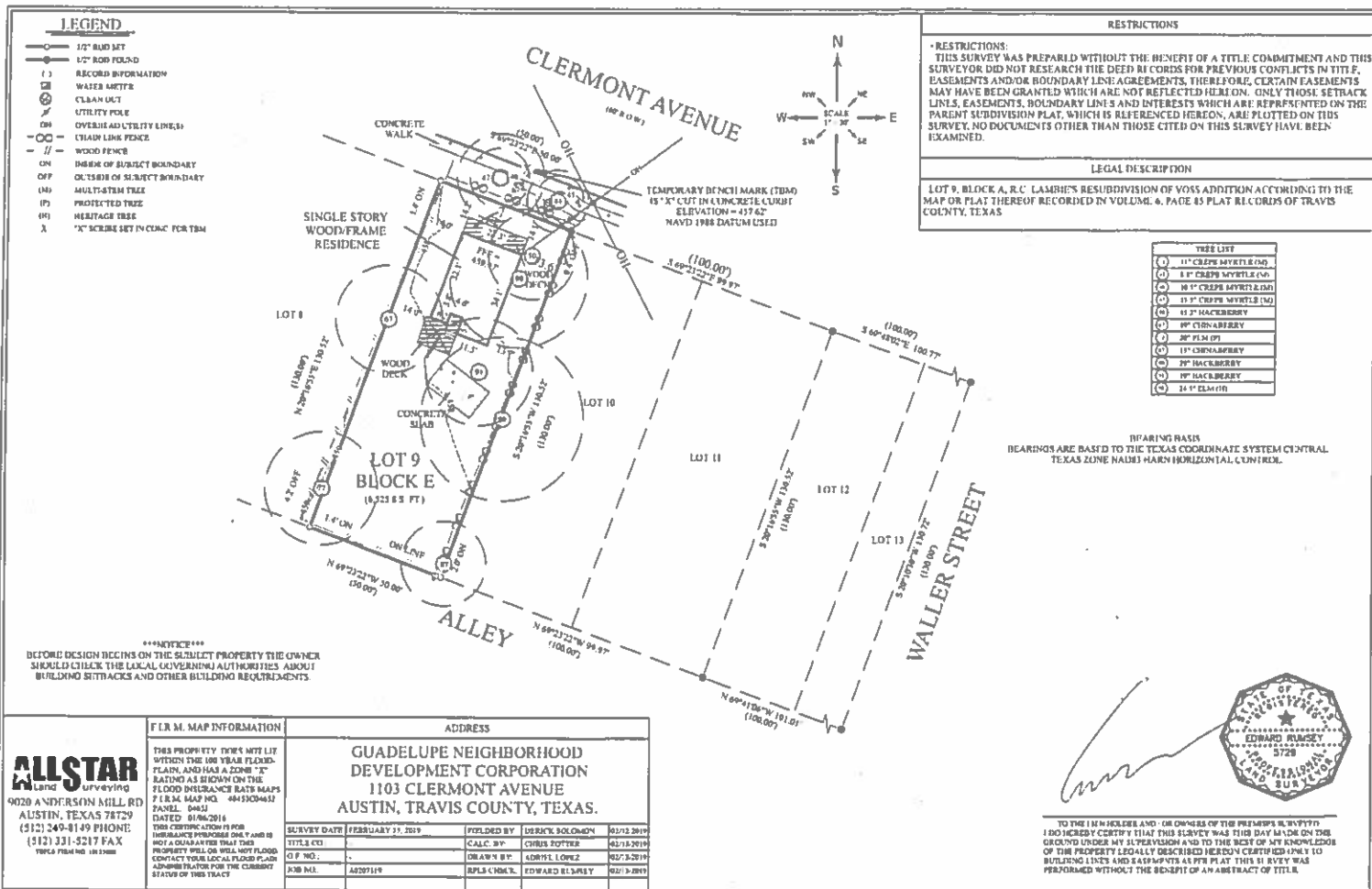
1. BRACE WALL LINE DATA BASED ON BRACE DESIGN CATEGORY A AND A WIND SPEED OF 110 MPH OR LESS.
2. WALLS WITH BRACING SHALL NOT EXCEED 10 FEET O.C.
3. BRACE WALLS SHALL BE 1/2" O.C. AND 12" THICK. BRACING SHALL BE FASTENED WITH AN ECHON WALL @ 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
4. ALL INTERIOR WALL BRACES SHALL BE BLOCKED WITH BLOCKING (SEE) TO WALL STUD SIZE AND SHALL BE FASTENED WITH AN ECHON WALL @ 4" O.C.
5. THE FLOOR DECK SHALL BE 1/2" O.C. AND 12" THICK. BRACING SHALL BE FASTENED WITH AN ECHON WALL @ 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
6. THE ROOF DECK SHALL BE 1/2" O.C. AND 12" THICK. BRACING SHALL BE FASTENED WITH AN ECHON WALL @ 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
7. ECHON WALL SHALL BE 1/2" O.C. AND 12" THICK. BRACING SHALL BE FASTENED WITH AN ECHON WALL @ 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.



1103 CLERMONT AVE
AUSTIN, TEXAS

REV	DATE
1	12/12/2018
2	12/12/2018
3	12/12/2018
4	12/12/2018
5	12/12/2018
6	12/12/2018
7	12/12/2018
8	12/12/2018
9	12/12/2018
10	12/12/2018

S302



Fact Sheet #N1

Recommended Environmental Review Record Documentation to Support an Environmental Impact Statement Waiver for Projects in Unacceptable Noise Conditions

A. You have decided:

- 1) To consider a waiver of the required Environmental Impact Statement (EIS),
- 2) Noise is the only environmental issue, and
- 3) There are no noise-sensitive, outdoor uses such as patios, picnic areas, balconies, etc. (See *Guidelines for Considering Noise in Land Use Planning and Control*, FICUN 1980.)

B. At a minimum, the recommended documentation is as follows:

- A letter stating that the criteria have been met and requesting a waiver of the EIS from the Assistant Secretary for Community Planning and Development (Part 50) or the Certifying Officer (Part 58),
- A Noise Assessment using HUD methodology, and
- Documentation of proof that the criteria have been met such as evidence of compliance under 58.5 (if applicable). For example:
 - Consistency findings or compliance with 58.5 or 50.4 as appropriate (National Historic Preservation Act, Executive Order (EO) 11988 on Floodplain Management, EO 11990 on Protection of Wetlands, Coastal Zone Management Plan, sole source aquifers, Endangered Species Act, Clean Air Act, EO 12898 on Environmental Justice, etc.)
 - Documentation of lack of contamination issues under 58.5(i)(2) or 50.3(i) as appropriate, or assurances of mitigation (see box below)
 - Identification of surrounding land uses (annotated map, narrative, photos, etc.).
 - A detailed site plan with architectural drawings is preferred. Detailed project descriptions are acceptable alternatives.

Authority: 24CFR Subpart B §51.104(b)(2)

Application: The EIS requirement for projects proposed in Unacceptable noise zones applies to all projects requiring environmental review under parts 50 and 58.

Basic Rule: An EIS is required for projects proposed where the community noise level is above 75 dB. The EIS may be waived if:

- Noise is the only environmental issue and
- There are no outdoor noise-sensitive uses.

The file supporting the determination to waive the EIS must be complete, thorough, and accurate. Any Environmental Assessment that follows an EIS waiver must incorporate the mitigation actions as an explicit condition of project approval.

Pre-Occupancy Interpretation

HUD has allowed mitigation of environmental issues other than noise prior to occupancy. Assurances that the issues will be resolved before the structure is occupied are sufficient to meet the EIS waiver criteria, provided that an environmental assessment must incorporate the mitigation actions as an explicit condition of project approval. Documentation of the issue (E.g.: for site contamination issues, include an ASTM Phase I and/or II ESA analysis or geotechnical survey) and a Mitigation Plan with a Project Schedule, approved by the appropriate state and/or local authorities, are necessary. Assurances of completion could take the form of:

- A contract or subcontract for environmental cleanup,
- A bond certificate or whatever is appropriate. (HUD has accepted letters stating the developer will resolve the issue and testimonials to past performance and character.)

Attachment 13

Sole Source Aquifers

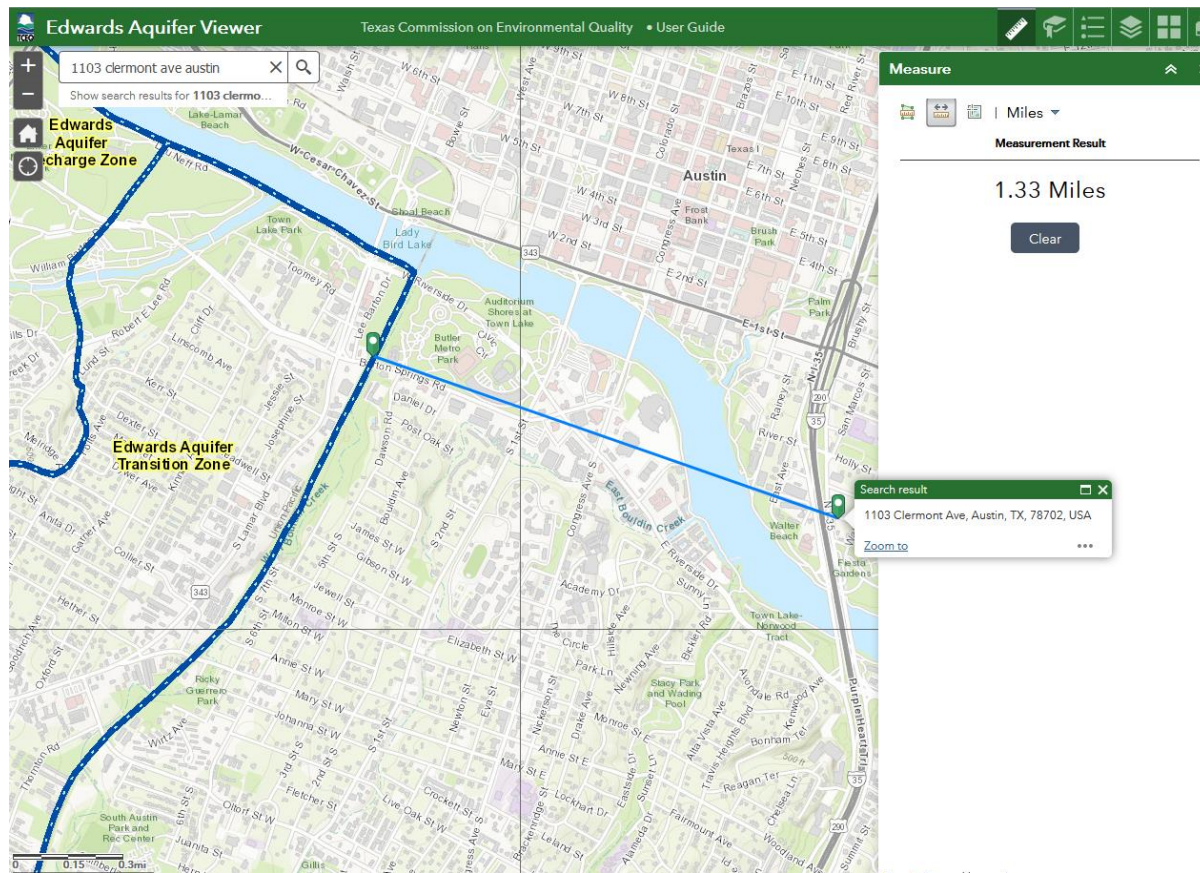
Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149

Texas Commission on Environmental Quality - Edwards Aquifer Viewer v3.8

RHDA-OHDA Infill Project #2

1103 Clermont Ave, Austin, TX 78702

1.33 Miles from Aquifer



Attachment 14

Wetlands Protection

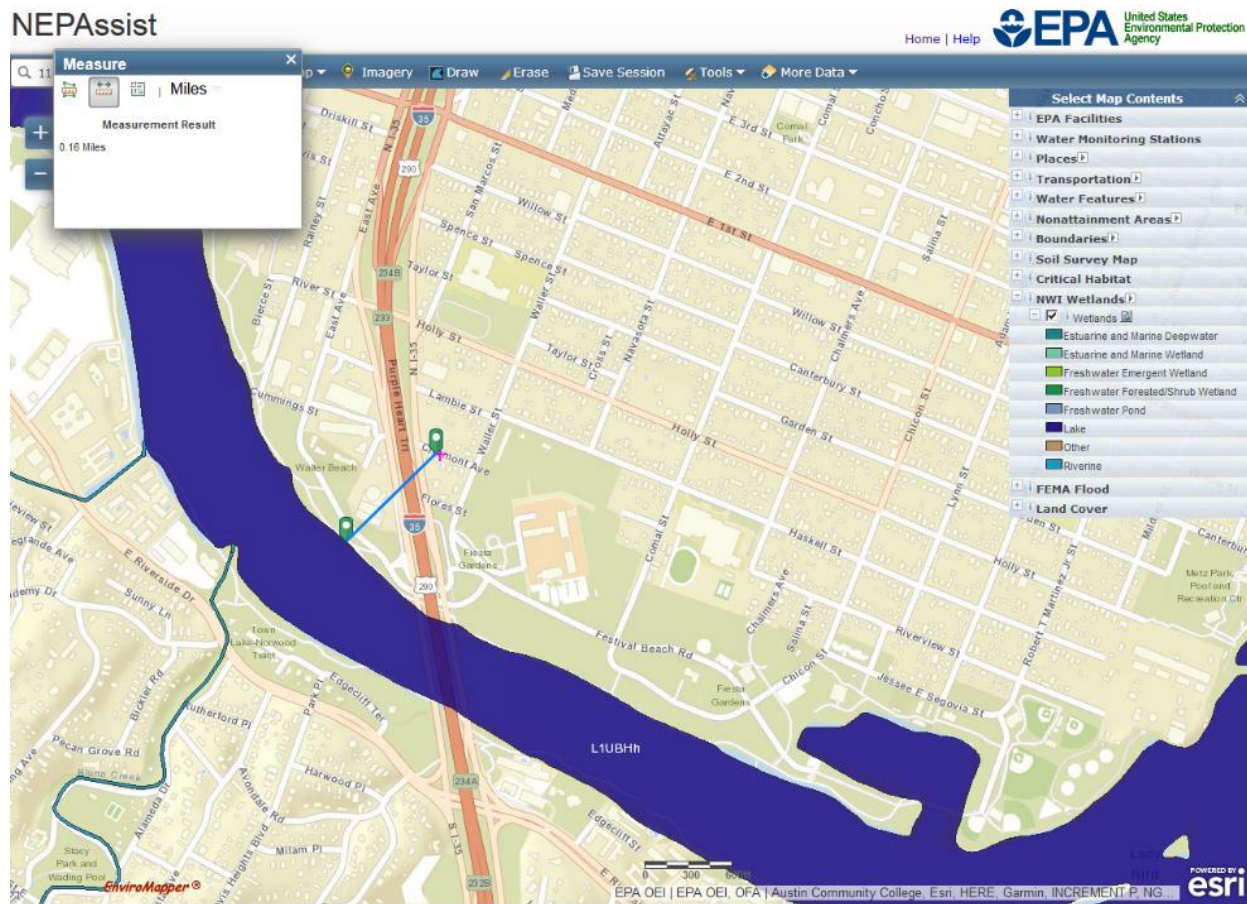
Executive Order 11990, particularly sections 2 and 5

NEPAssist

RHDA-OHDA Infill Project #1

1103 Clermont Ave, Austin, TX 78702

Sites Approximately .16 miles from Nearest Wetland

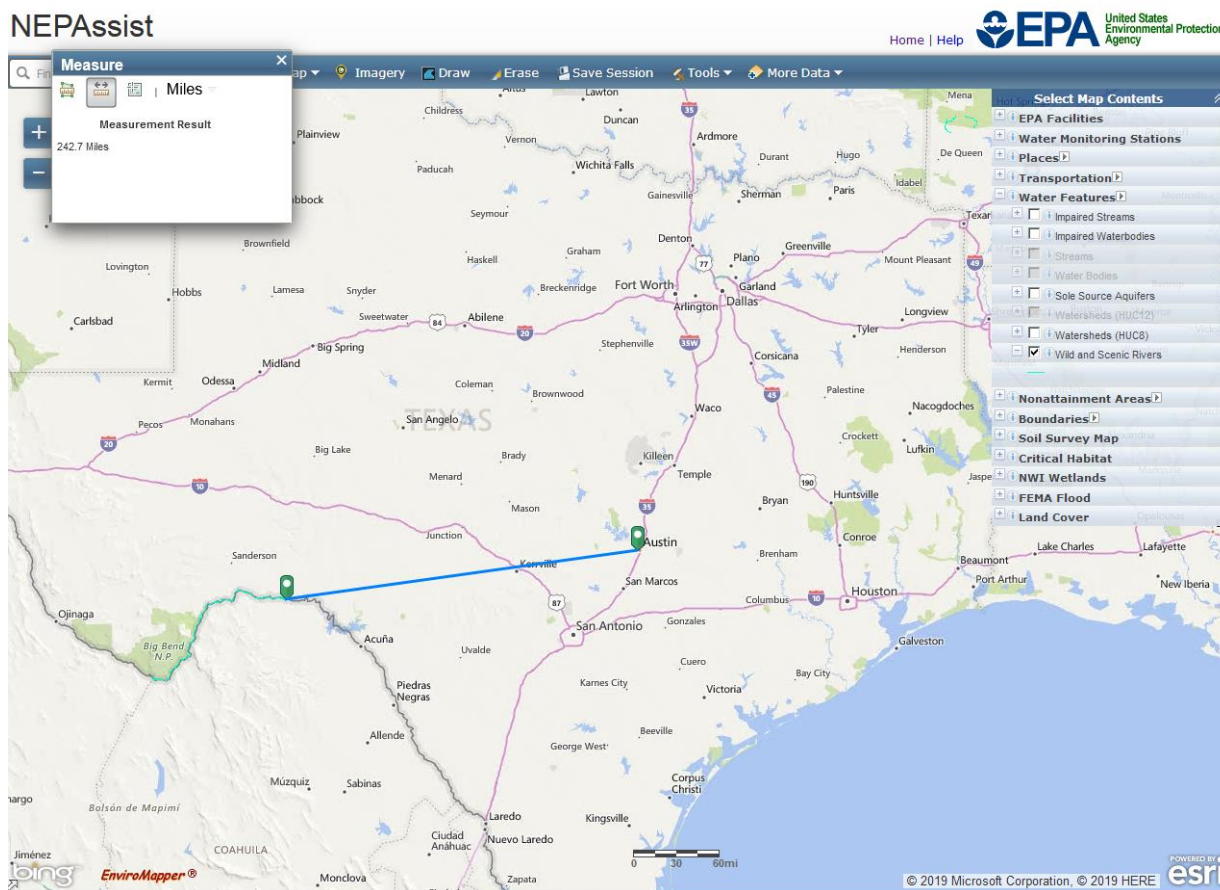


Attachment 15

Wild and Scenic Rivers

Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)
U.S. Fish and Wildlife Service - National Wild and Scenic River System
National Park Service - Nationwide Rivers Inventory Database
RHDA-OHDA Infill Project #2
1103 Clermont Ave, Austin, TX 78702

247 Miles from Nearest Wild and Scenic River (Rio Grande)



Attachment 16

Environmental Justice: Executive Order 12898

RHDA-OHDA Infill Project #2

1103 Clermont Ave, Austin, TX 78702

No adverse environmental impacts were identified in the project's total environmental review. The project is in compliance with Executive Order 12898. Please see the documentation in Attachments 1 through 15 for evidence of no adverse environmental impacts.

GNDC currently has over 700 applications for rental housing and over 80 applications from potential homebuyers with low-to-moderate incomes who would like to rent from GNDC or acquire homes through a Community Land Trust sale. In its rental and ownership programs, GNDC gives the highest priority to its current GNDC renters; especially those whose income are nearest 80% of the Austin MFI. GNDC's 2nd highest priority is to serve residents and former residents of the neighborhoods surrounding the site, generally considered Central East Austin where displacement has been clearly documented.

GNDC aims to ensure that the mortgage payment (principal, interest, taxes and insurance) of the buyers and the rent paid by tenants is not more than 30% of their gross income. This project is unique because it is Austin's first affordable housing development that will combine permanently affordable home owner and rental homes on the same single-family lot. Combining both forms of affordable housing has several advantages: it leverages private dollars with mortgages, it provides opportunities for ownership in Austin's central neighborhoods where low and even moderate-income households have been priced out, and it draws from different public funding set asides for one project.