

LDC Revision: Illustrating the 2nd Reading Draft

During first reading, Council directed “to incentivize smaller housing types, R-zones should allow for increased allowable size of structures only as the number of units increases.” Using floor-to-area ratio (FAR) and impervious cover maximums, staff calibrated the zone standards in the R2, R3, R4, and RM1 zones to meet this goal.

Based on actions taken during the second reading, staff is further refining the FAR standards within these zones.

About these drawings:

The following images illustrate how housing could be built under the Second Reading Draft of the land development code. Examples used represent the minimum and the median lot size of each zone to demonstrate the typical size of units in these scenarios. At least one parking space per unit is provided except in the cases when the preservation incentive or the affordable housing bonus program is illustrated. Drawings are similar to those previously presented with annotations and corrections.



LDC Revision: Calculating FAR

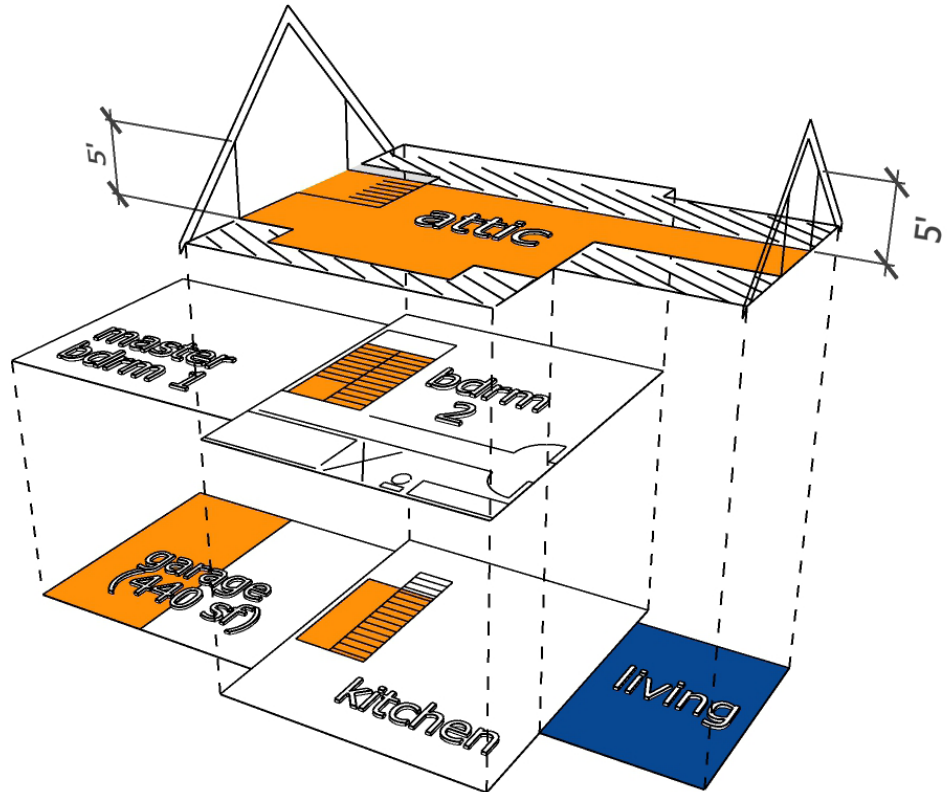
Floor-area-ratio (FAR) is the allowable enclosed space in relation to the size of a lot. In the proposed Code, similar to the current Code, FAR is calculated differently for Residential House-Scale zones than other zone categories, including a separate calculation for FAR and special exemptions for certain spaces within a unit. This separate calculation and exemptions are based on the current Code's McMansion standards, which work to limit the overall size and mass of new construction.

For the Residential House-Scale zones (R2A, R2B, R3, and R4 in the following drawings), the FAR is calculated by measuring all enclosed space above 5-feet in height and carports with habitable space above with the following exemptions (shown in orange to the right):

- 200 sf of garage or carport per unit
- 400 sf of attic space per unit
- 60 sf per stair

Areas with ceiling heights over 15-feet (shown in blue to the right) are counted twice toward FAR.

In all other zones, including RM1, FAR is calculated similarly to current Code for multi-unit and commercial developments. All enclosed space over 5-feet in height, excluding attic and any kind of parking facility, count towards FAR.



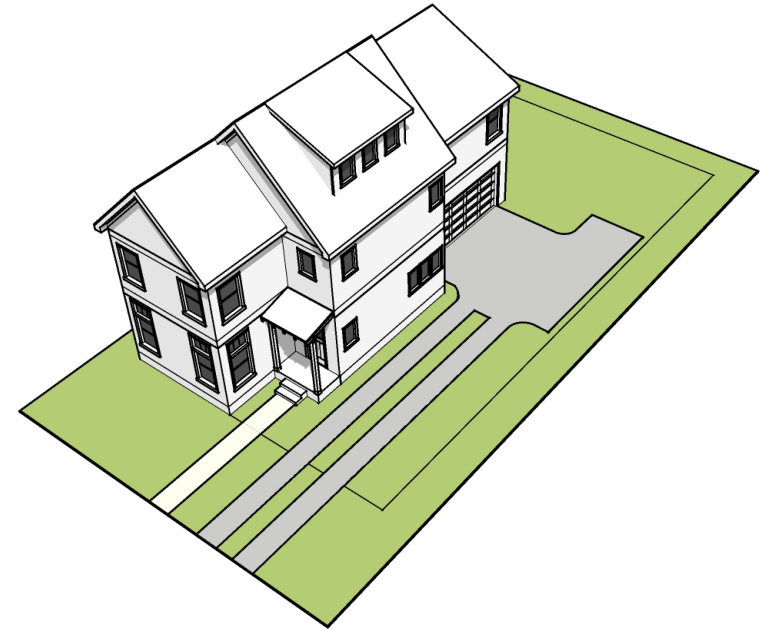
R2A & R2B Zone: Single Family on the minimum lot size



Single family house allowed per the proposed code between an existing one story house (right) and a recently built two story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		2000 sf*
FAR	0.4 or 1300 sf/unit	0.4
Impervious Cover	40% max.	40%
Height	35' max.	32'
Front Setback	25' / 15' min. (R2A/R2B)	15'

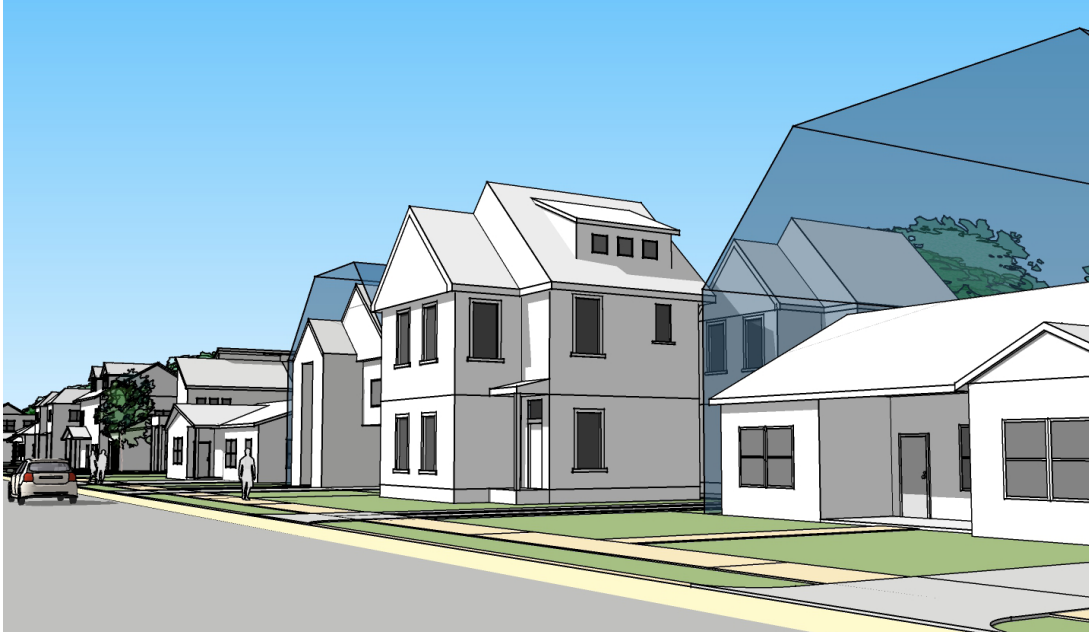
*Does not include exempt floor area (400 sf of attic space, 120 sf for stairs, and 200 sf of garage space)



The R2A and R2B zones are the most common residential zone, comprising 21% of the City's land area. These zones allow up to two new units on a lot.

Above shows a single family house with a two car garage that has reached the maximum size and impervious cover limit.

R2A & R2B Zone: Single Family + ADU on the minimum lot size



Single family house and an ADU allowed per the proposed code between an existing one story house (right) and a recently built two story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size	ADU - 1100 sf max.	1100 & 1300 sf*
FAR	0.4 or 1300 sf/unit	0.48
Impervious Cover	45% max.	43%
Height	35' max.	33'
Front Setback	25' / 15' min. (R2A/R2B)	15'

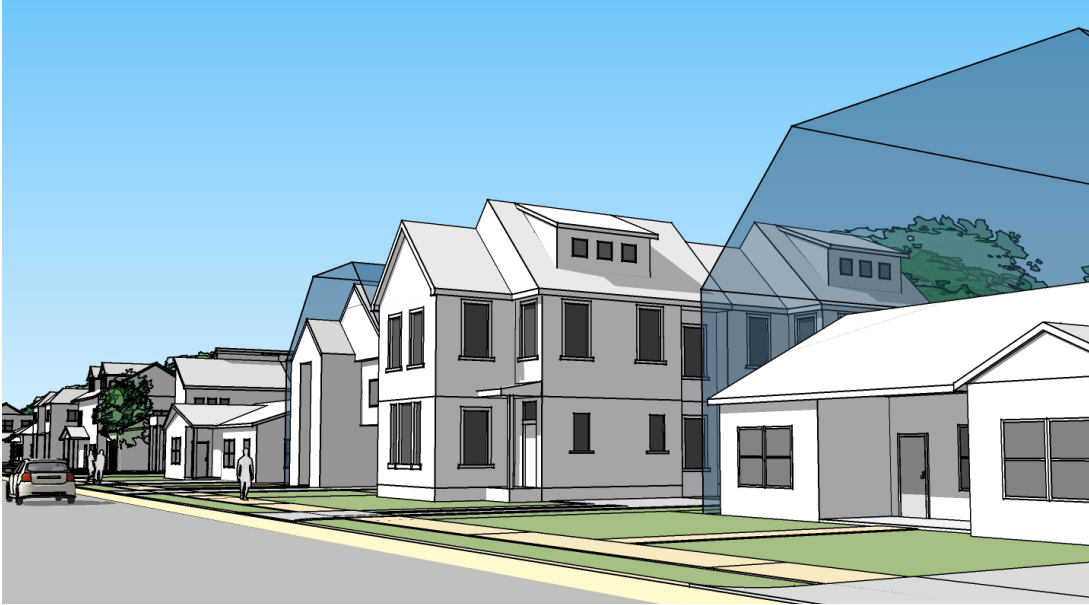
*Does not include exempt floor area (120 sf for stairs per unit, 400 sf of attic space for primary unit and 300 sf of attic space for ADU)



The R2A and R2B zones are the most common residential zone, comprising 21% of the City’s land area. These zones allow up to two new units on a lot.

The zone allows for a total of 0.4 FAR or 1300 sf per unit, whichever is greater, however, ADUs (accessory dwelling units) are limited to 1,100 square feet on any lot size. Above shows a house and ADU that are at their maximum allowable size.

R2A & R2B Zone: Duplex on the minimum lot size



Duplex allowed per the proposed code between an existing one story house (right) and a recently built two story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.



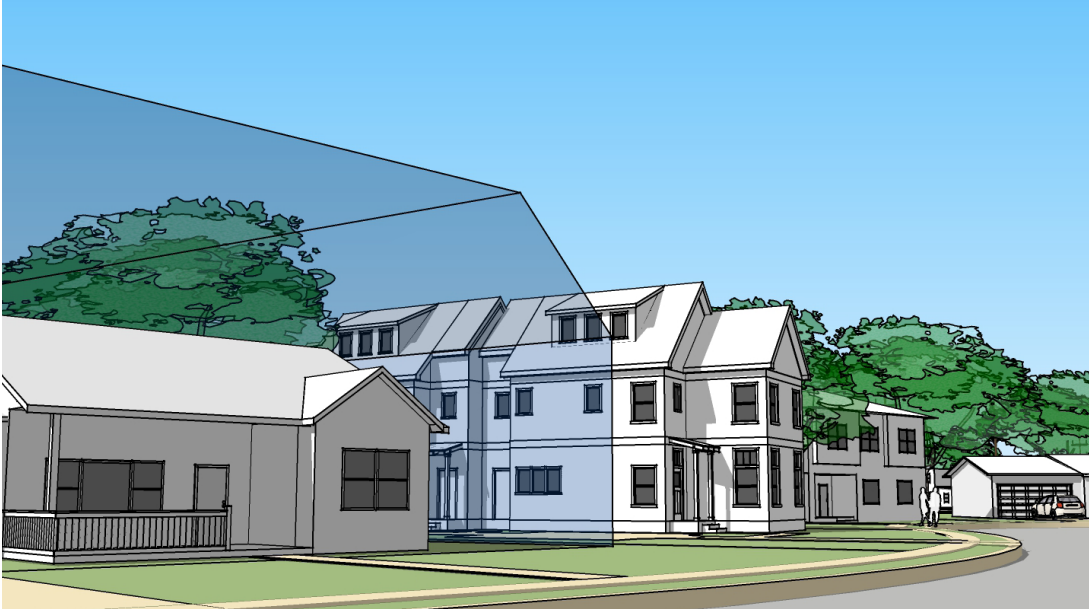
The R2A and R2B zones are the most common residential zone, comprising 21% of the City’s land area. These zones allow up to two new units on a lot.

The zone allows for a total of 0.4 FAR or 1300 sf per unit, whichever is greater. Above shows a duplex that has nearly reached its maximum size per unit.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		1230 sf*
FAR	0.4 or 1300 sf/unit	.49
Impervious Cover	45% max.	43%
Height	35’ max.	33’
Front Setback	25’ / 15’ min. (R2A/R2B)	15’

*Does not include exempt floor area (120 sf for stairs per unit and 400 sf of attic space per unit)

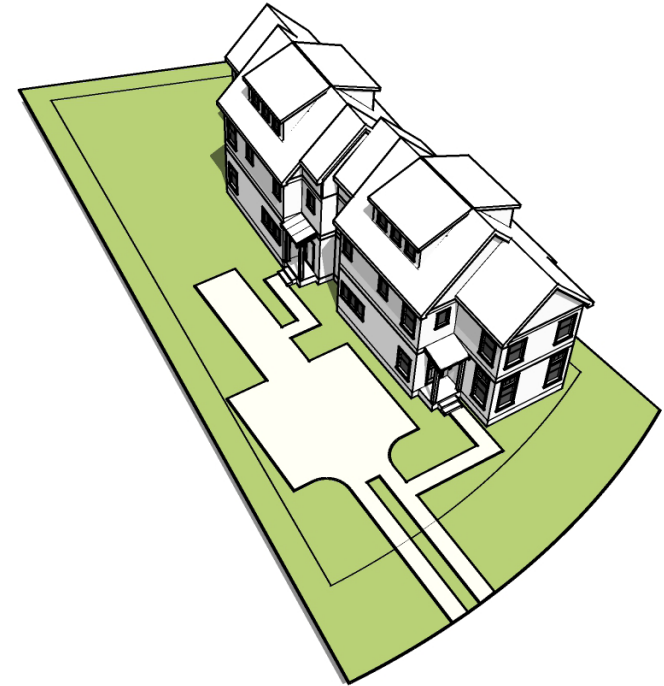
R2A & R2B Zone: Duplex on the median lot size



Duplex allowed per the proposed code adjacent to an existing one story house. McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	8500 sf
Unit Size		1700 sf*
FAR	0.4 or 1300 sf/unit	0.4
Impervious Cover	45% max.	34%
Height	35' max.	33'
Front Setback	25' / 15' min. (R2A/R2B)	15'

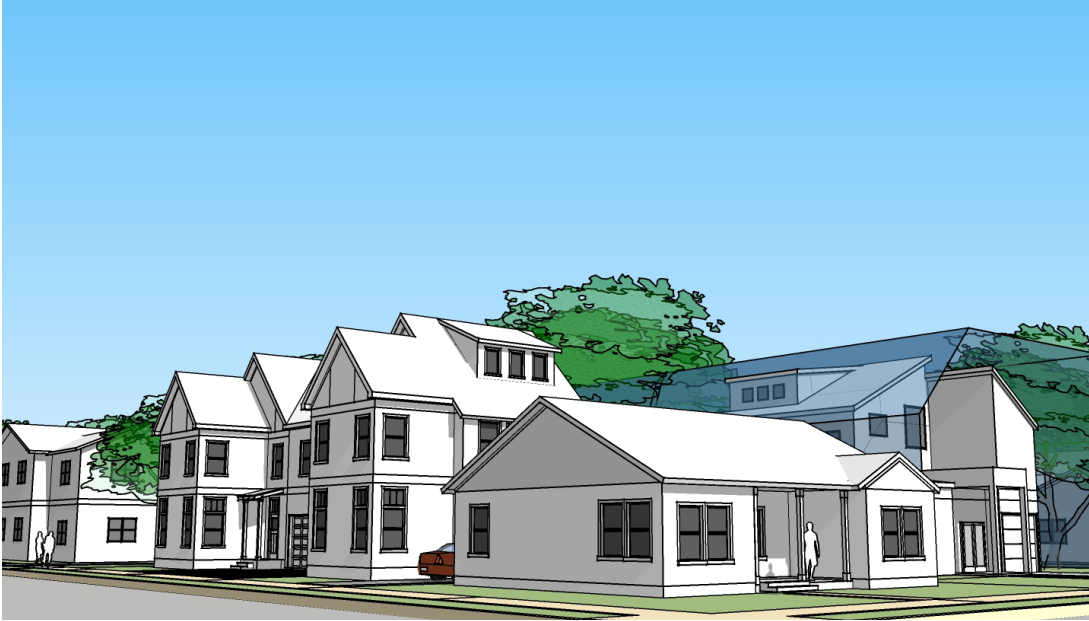
*Does not include exempt floor area (120 sf for stairs per unit and 400 sf of attic space per unit)



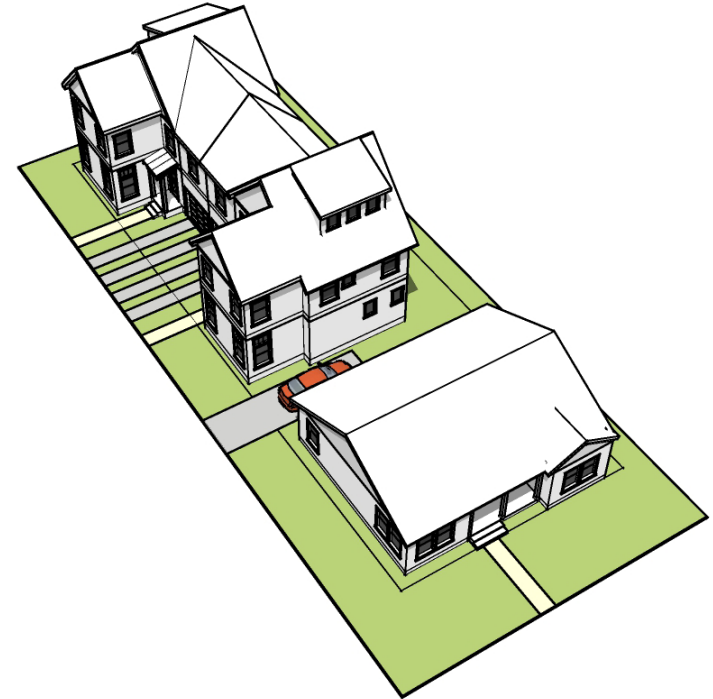
The R2A and R2B zones are the most common residential zone, comprising 21% of the City’s land area. These zones allow up to two new units on a lot.

Above shows a duplex that has reached its maximum size allowed on this lot size. Because this scenario has not reached its maximum impervious cover limit, more parking beyond the three spaces shown could be provided.

R2A & R2B Zone: Preservation Incentive on the median lot size



New duplex behind a preserved single family house on a corner lot. McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.



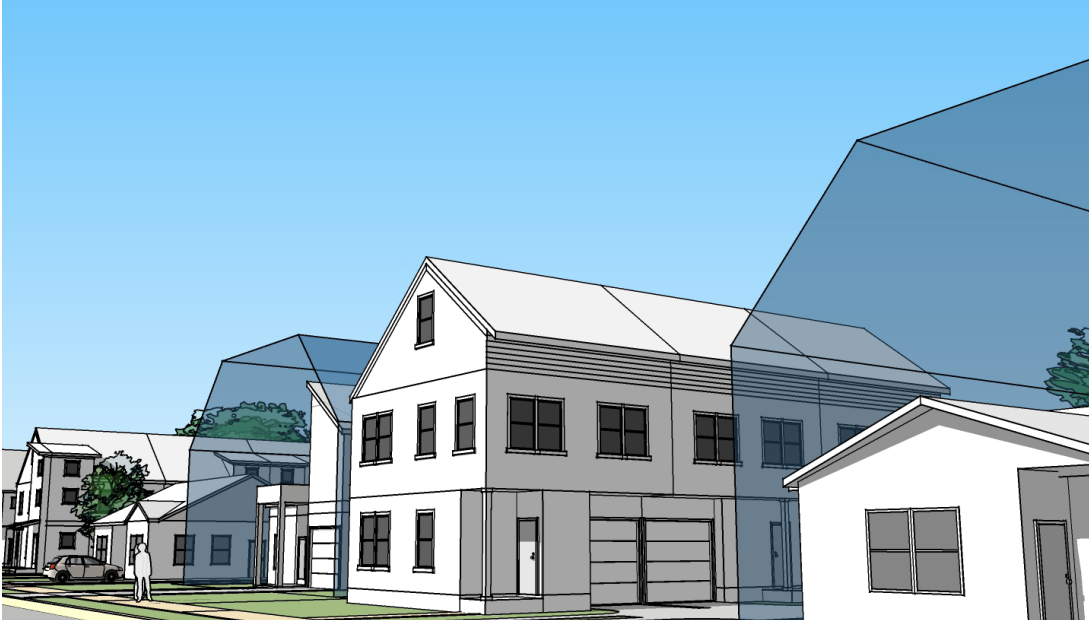
	Zone Standards	As Illustrated
Lot Size	5000 sf min.	8500 sf
Unit Size		1700 sf*
FAR	0.4 or 1300 sf/unit	0.4
Impervious Cover	50% max.	50%
Height	35' max.	33'
Side Street Setback	10' min.	11'

*Does not include exempt floor area (400 sf of attic space per unit, 120 sf for stairs per unit, and 200 sf of garage space per unit for each new unit)

The R2A and R2B zones are the most common residential zone, comprising 21% of the City’s land area. These zones allow up to two units on a lot. To discourage demolition of existing homes, up to three units are allowed on a lot if an existing home is maintained. The existing unit does not count toward the maximum FAR allowed.

Above shows an existing 1,150 square foot house on a corner lot and a new duplex. The preserved house can be expanded up to a total FAR of 0.4.

R3 Zone: Three units on the minimum lot size



Triplex allowed per the proposed code between an existing one story house (right) and a recently built two story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		690 sf*
FAR	0.6 max.	0.41
Impervious Cover	50% max.	50%
Height	35' max.	31'
Front Setback	15' min.	15'

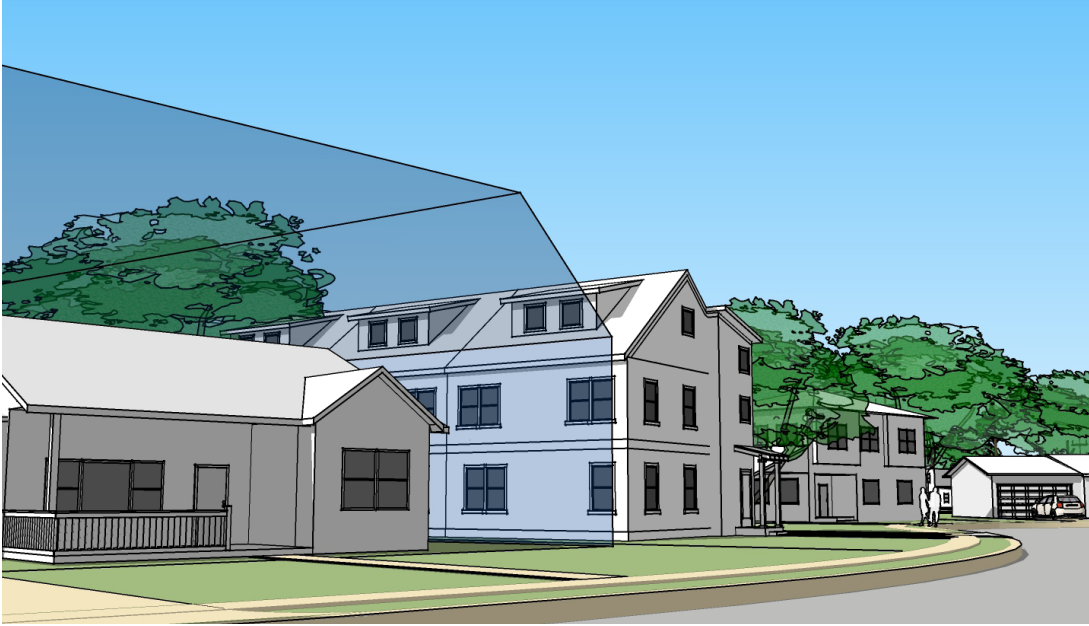
*Does not include exempt floor area (330 sf of attic space per unit, 120 sf for stairs per unit, and 200 sf of garage space per unit)



The R3 zone allows for more units at a house-scale adjacent to corridors and comprises 0.2% of the City’s land area. The zone allows for three new units on a lot.

Above shows three units on a lot that has reached its maximum impervious cover limit. Under a different building design, the maximum FAR would result in an average of 1,000 sf per unit on this size lot.

R3 Zone: Three units on the median lot size



Triplex allowed per the proposed code adjacent to an existing one story house. McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.



The R3 zone allows for more units at a house-scale adjacent to corridors and comprises 0.2% of the City’s land area. The zone allows for three new units on a lot.

Above shows three units on a lot that has reached its maximum impervious cover limit. Under a different building design, the maximum FAR would result in an average of 1,400 sf per unit on this size lot.

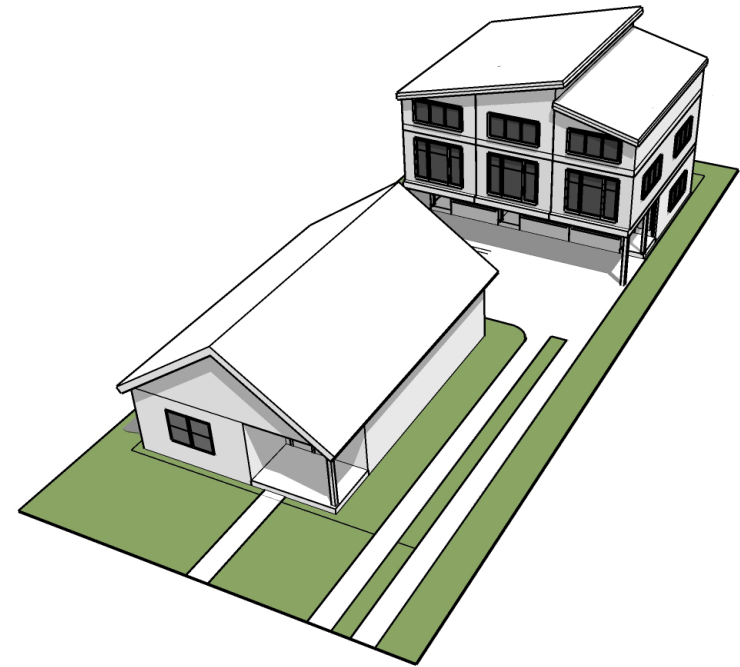
	Zone Standards	As Illustrated
Lot Size	5000 sf min.	7000 sf
Unit Size		1210 sf*
FAR	0.6 max.	0.52
Impervious Cover	50% max.	50%
Height	35’ max.	30’
Front Setback	15’ min.	15’

*Does not include exempt floor area (400 sf of attic space per unit, 120 sf for stairs per unit, and 200 sf of garage space per unit)

R3 Zone: Preservation Incentive on the median lot size



Triplex allowed per the proposed code behind a preserved single family house between an existing one story house (right) and a recently build two story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.



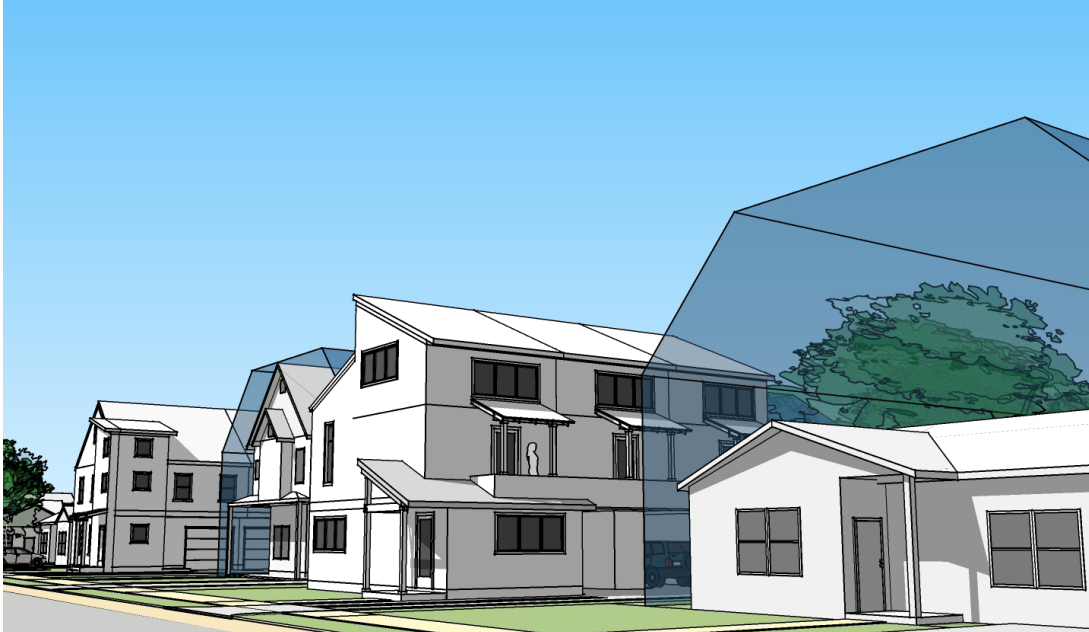
	Zone Standards	As Illustrated
Lot Size	5000 sf min.	7000 sf
Unit Size		1070 sf*
FAR	0.6 max.	0.46
Impervious Cover	55% max.	54%
Height	35' max.	29'
Rear Setback	5' min.	12'

*Does not include exempt floor area (120' per unit for stairs & tuck under parking)

The R3 zone allows for more units at a house-scale adjacent to major corridors and comprises 0.2% of the City's land area. The zone allows for three new units on a lot. To discourage demolition of existing homes, the preservation incentive allows up to four units on a lot if an existing home is maintained. The existing unit does not count toward the maximum FAR allowed.

Above shows an existing 1,100 square foot house preserved on a mid-block lot and a new triplex. The lot reaches it's maximum impervious cover limits which limits the size of the new units in this scenario.

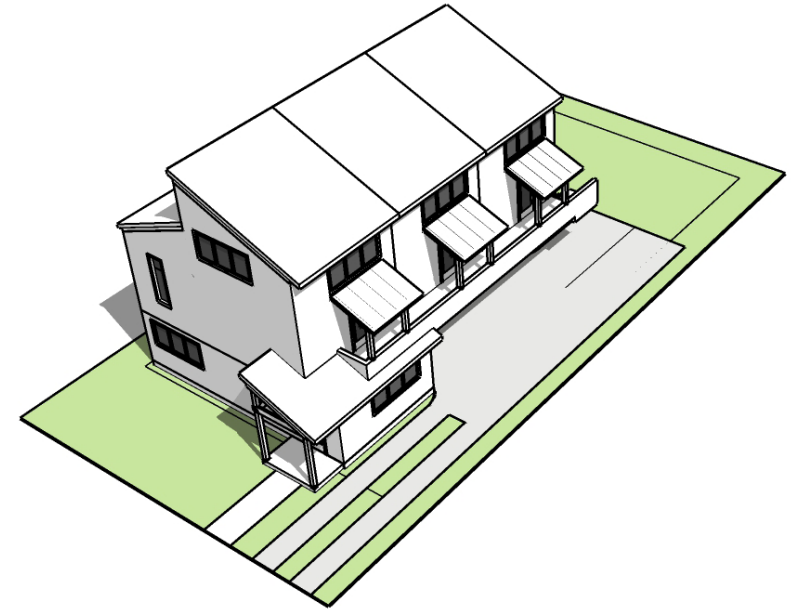
R4 Zone: Four units on the minimum lot size



Fourplex allowed per the proposed code between an existing one story house (right) and a recently built duplex under current code (right). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		510 & 670 sf*
FAR	0.6 max.	0.51
Impervious Cover	55% max.	48%
Height	35’ max.	30’
Front Setback	15’ min.	15’

*Does not include exempt floor area (60 sf for stairs per unit and tuck under parking)



The R4 zone allows for more units at a house-scale near to major corridors and centers and comprises 1.5% of the City’s land area. The zone allows four new units on a lot by-right and up to eight new units if the development participates in the Affordable Housing Bonus Program.

Above shows a four unit building with one ground floor unit and three units above. Because the maximum impervious cover limit has not been met, units could be slightly larger, up to an average unit size of 750 sf each.

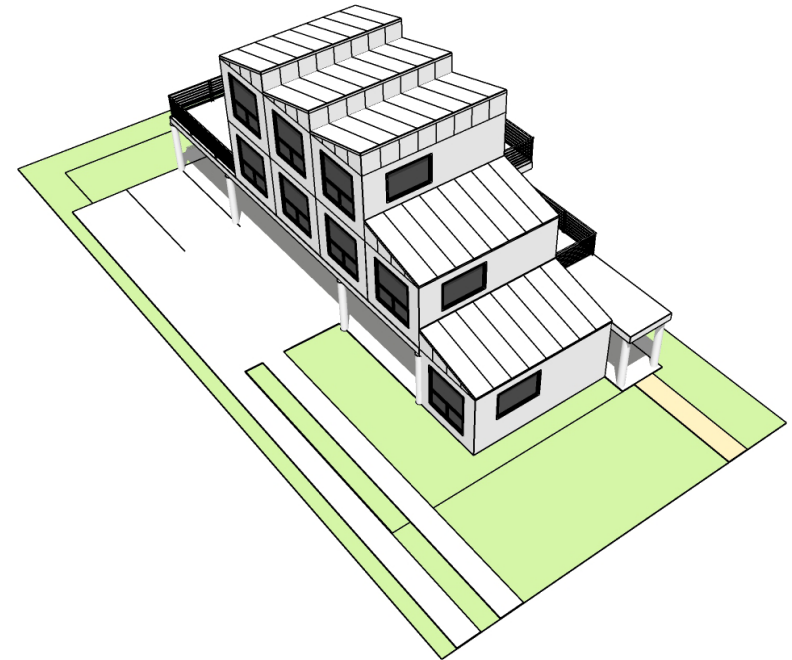
R4 Zone: Eight units on the minimum lot size



Eight unit building allowed per the proposed code adjacent to an existing one story house. McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		200 sf*
FAR	0.8 max.	0.32
Impervious Cover	55% max.	55%
Height	45’ max.	29’
Front Setback	15’ min.	15’

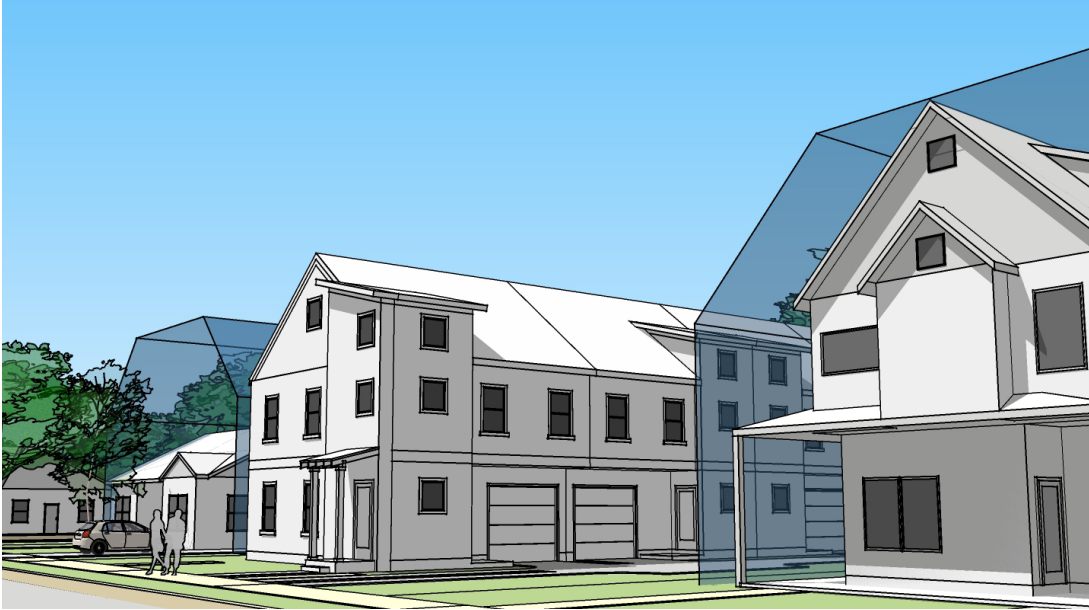
*Does not include exempt floor area (tuck under parking)



The R4 zone allows for more units at a house-scale near to major corridors and centers and comprises 1.5% of the City’s land area. The zone allows four new units on a lot by-right and up to eight new units if the development participates in the Affordable Housing Bonus Program.

Above shows a eight unit building comprised of small units reaching its maximum impervious cover limit. Under a different building design, the maximum FAR would result in an average of 500 sf per unit on this size lot.

R4 Zone: Four units on the median lot size



Fourplex building allowed per the proposed code between a recently built duplex (right) and a existing one story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	8000 sf
Unit Size		1200 sf*
FAR	0.6 max.	0.6
Impervious Cover	55% max.	55%
Height	35' max.	30'
Front Setback	15' min.	15'

*Does not include exempt floor area (400 sf of attic space per unit, 120 sf for stairs per unit, and 200 sf of garage space per unit)



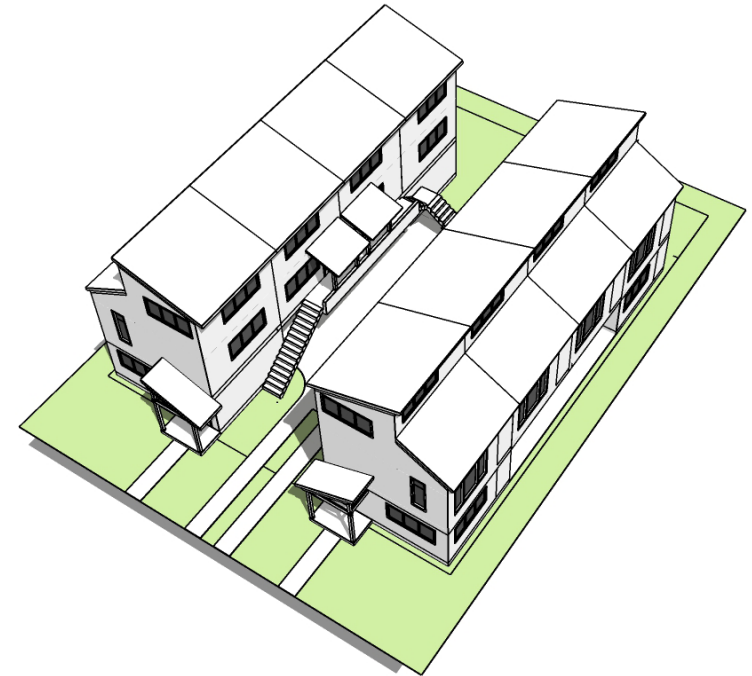
The R4 zone allows for more units at a house-scale near to major corridors and centers and comprises 1.5% of the City's land area. The zone allows four new units on a lot by-right and up to eight new units if the development participates in the Affordable Housing Bonus Program.

Above shows a four unit building which reaches both it's maximum building size and impervious cover limit.

R4 Zone: Eight units on the median lot size



Eight unit building allowed per the proposed code between a recently built duplex (right) and a existing one story house (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.



	Zone Standards	As Illustrated
Lot Size	5000 sf min.	8000 sf
Unit Size		960 & 600 sf*
FAR	0.8 max.	0.68
Impervious Cover	55% max.	54%
Height	45' max	31'
Front Setback	15' min.	16'

*Does not include exempt floor area (60 sf for stairs per unit and tuck under parking)

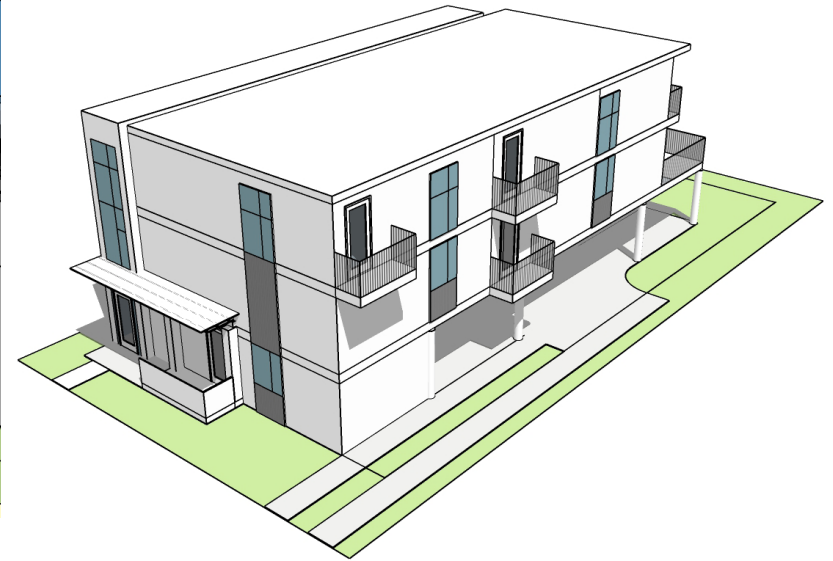
The R4 zone allows for more units at a house-scale near to major corridors and centers and comprises 1.5% of the City’s land area. The zone allows four new units on a lot by-right and up to eight new units if the development participates in the Affordable Housing Bonus Program.

Above shows an eight unit building which reaches it’s impervious cover limit. A different building configuration could provide additional height through another story.

RM1 Zone: Six units on the minimum lot size



Six unit building allowed per the proposed code (right) next to a recently built duplex (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

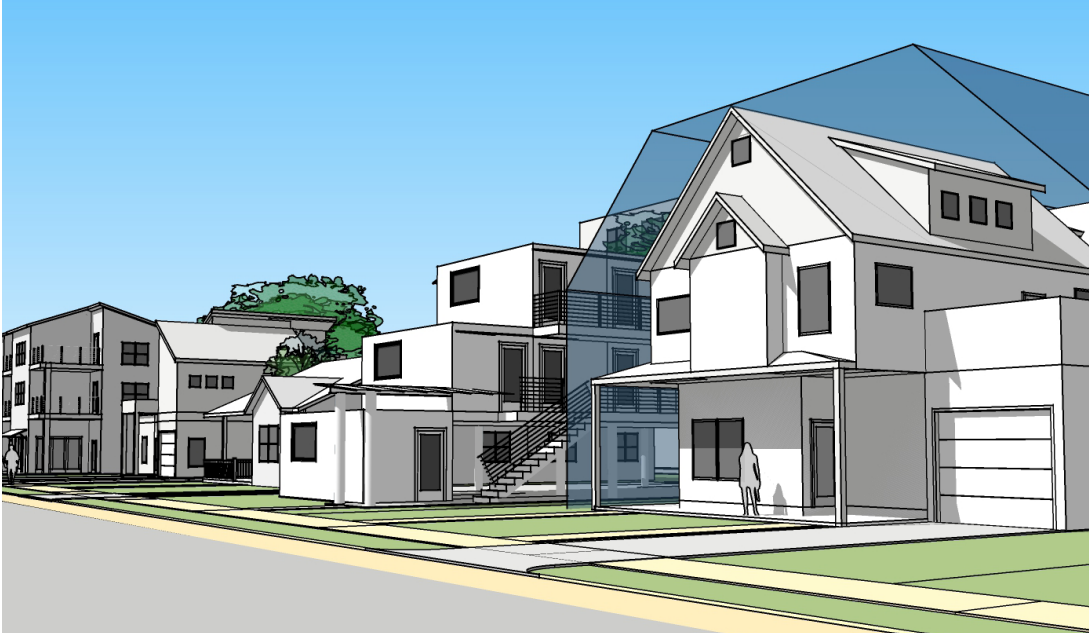


	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		650 sf
FAR	0.8 max.	0.78
Impervious Cover	60% max.	59%
Height	40' max.	27'
Front Setback	10' min.	10'

The RM1 zone provides for a transition between intense mixed-use development along corridors to house-scale residential areas and comprises 0.9% of the City's land area.

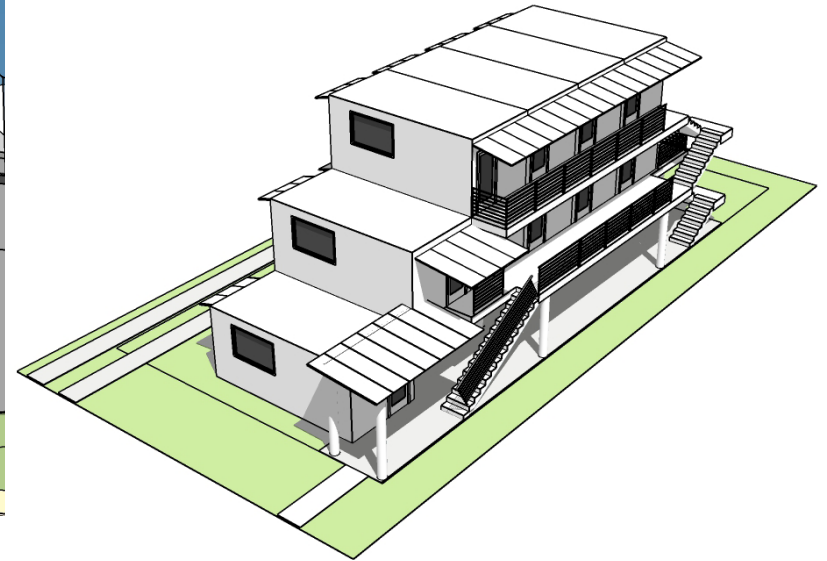
Above shows a six unit building that reaches its maximum impervious cover limit and provides seven parking spaces.

RM1 Zone: Ten units on the minimum lot size



Ten unit building allowed per the proposed code (right) next to a recently built duplex (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	5000 sf
Unit Size		200 sf
FAR	1.8 max.	0.4
Impervious Cover	60% max.	60%
Height	45' max.	27'
Front Setback	10' min.	10'



The RM1 zone provides for a transition between intense mixed-use development along corridors to house-scale residential areas and comprises 0.9% of the City's land area.

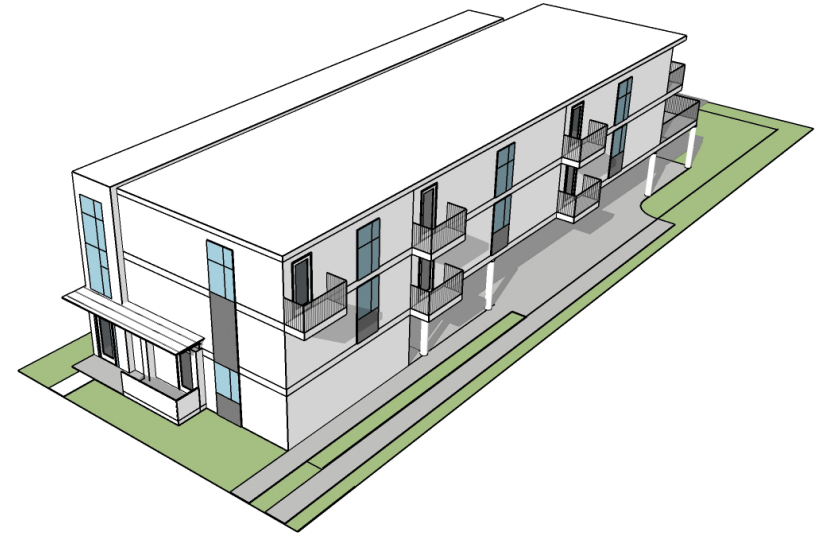
Above shows a ten unit building comprised of small units that reaches its maximum impervious cover limit and provides eight parking spaces. Under a different building design, the maximum FAR would result in an average of 900 sf per unit on this size lot.

RM1 Zone: Six units on the median lot size



Six unit building allowed per the proposed code (right) next to a recently built duplex (left). McMansion “tent” (in blue) shows the building envelope allowed under current code for reference.

	Zone Standards	As Illustrated
Lot Size	5000 sf min.	7500 sf
Unit Size		1000 sf
FAR	0.8 max.	0.8
Impervious Cover	60% max.	60%
Height	40’ max.	27’
Front Setback	10’ min.	10’



The RM1 zone provides for a transition between intense mixed-use development along corridors to house-scale residential areas and comprises 0.9% of the City’s land area.

Above shows a six unit building that reaches its maximum size and impervious cover limit and provides seven parkings spaces.