

Obstacle to Small Business
Working Group

Meeting #3: Best Practices

Friday, February 20, 2015



What we know:

- There is an overlap with neighborhood serving business complexity
- “Missing middle” also affects businesses
- Home occupancy rules provide challenges, need flexibility

Current Barriers

Home
Occupation

Live/Work

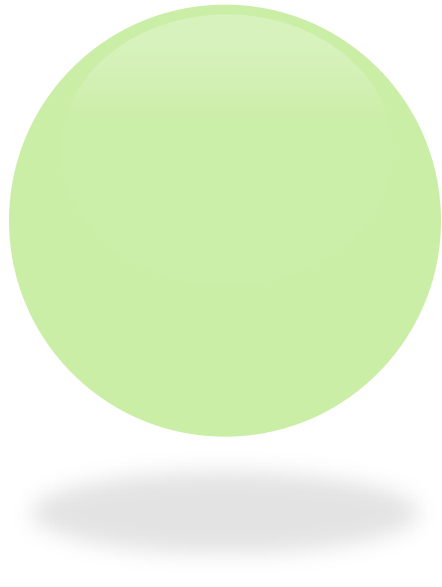
Mobile Retail
Establishments

Parking
Requirements

Expired
Permits

How might we...

- Create some predictability?
- Encourage flexibility for adaptive reuse?
- Allow unique character of neighborhoods to be preserved while allow for small businesses to flourish?
- Create a system that translates the code to be scaled to the size of the business?



BEST PRACTICES

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Home Occupation

Denver, Colorado

Code rewrite completed in 2010

11.9.1.1

Intent Statement: ... allowance for Home Occupations is intended to **achieve multiple city goals and objectives:**

- reducing the number of home-to-work vehicle trips
- facilitating small business ventures
- accommodating demand for certain business services convenient to where prospective clients or customers live
- intended to minimize the impact such uses may have on the character and enjoyment of the surrounding residential neighborhood

Home Occupations

General practice:

- Identify prohibited uses, not allowed uses
- Limit area allowed for home occupation
- Performance standards to limit negative effect
- Restrict changes to building structure
- Limit number of employees
- Limit number of vehicles that may visit
- Limit signs (but not other advertising)
- Permit required
- Restrict parking of commercial vehicle (or require garage)

Live/Work

Denver, Colorado

Code rewrite completed in 2010

SECTION 11.2.3 DWELLING, LIVE/WORK

11.2.3.1 All Zone Districts (Except I-A, -B Zone Districts)

In all Zone Districts, except in the I-A, -B Zone Districts, where permitted with limitations, a Live/Work Dwelling's commercial activity may be any nonresidential primary use permitted in the same Zone District that the Live/Work Dwelling is established, subject to compliance with this subsection's limitations. In addition, the following commercial activities, when not otherwise specifically listed as permitted in the applicable Zone District, are allowed in a Live/Work Dwelling use:

- A. Art gallery;
- B. Artist studio;
- C. Professional studio;
- D. Office, not including dental/medical office and clinic; and
- E. Other similar activities as determined by the Zoning Administrator according to Section 12.4.6, Code Interpretations and Determination of Unlisted Uses.

Mobile Businesses (not food trailers)



American Mobile Retail Association

Home	About	FAQ's	Contact	East Coast	Mid-Atlantic	Midwest	Northwest
Southeast	Southwest	West Coast/Norcal	West Coast/PacNW	West Coast/SoCal			
International Members	Services	Consultants	Membership	Classifieds			

January 19, 2015

February Webinars: Learn How to Launch and How to Operate Your Mobile Retail Business!

Are you planning the launch of your mobile retail business and need help on where to start? Or are you already operating and need help on how to keep your customers coming back? This month's webinars include "How to Launch Your Mobile Retail Business" and "How to Operate A Mobile Retail Business."

"How to Launch Your Own Mobile Retail Business"

WANT TO LEARN HOW TO START YOUR MOBILE RETAIL BUSINESS?



HOW TO LAUNCH YOUR MOBILE RETAIL BUSINESS WEBINAR

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March 2015

S	M	T	W	T	F	S
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	7	8	9	10	11	12
	13	14	15	16	17	18
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	25	26	27	28	29	30
	31					

AMERICAN MOBILE RETAIL ASSOCIATION



Launch Your Mobile Retail Business Webinar-March 15, 2015 10am PST

March 15, 2015 at 10:00 AM

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American Mobile Retail Association

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- Newer and more prevalent
- Mitigate impacts of parking, traffic congestion, and blocking storefronts

Parking

Nashville, Tennessee

Code rewrite completed in 2014

17.20.010 - Purpose and intent.

The purpose of this chapter is to establish standards for vehicular parking, loading and access in a manner which provides for **reasonable utilization of land** without **adversely impacting** abutting properties or the community as a whole. The requirements and standards of this chapter are intended to ensure the provision of adequate and functional loading facilities for all land uses, to allow full utilization of land commensurate with sufficient levels of roadway service, and to provide reasonable vehicular access to property while at the same time **protecting the operational integrity** and **safety** of public streets.

(Ord. 96-555 § 5.1, 1997)

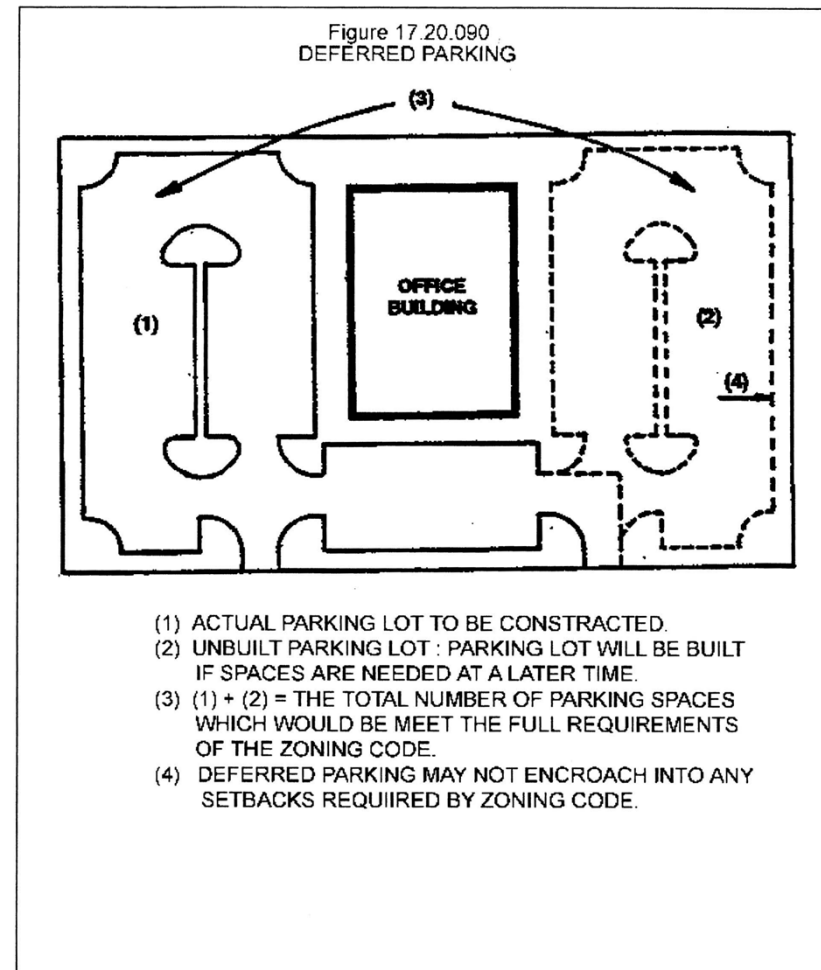
TABLE 17.20.030: PARKING REQUIREMENTS	
Land Use	Minimum Parking Spaces
	UZO district: 1 space per 300 square feet
Commercial Uses	
After hours establishment	1 space per 75 square feet
Agricultural business	Established by the traffic engineer (Section 17.20.030F)
ATM (principal use only)	5 spaces
Automobile convenience	1 space for each pump plus 1 space for each 200 square feet
Automobile parking	None
Automobile repair	2 spaces, plus 4 spaces per service bay
Automobile sales, new and used	1 space per 250 square feet of enclosed sales area plus 1 space per 1,000 square feet of outdoor vehicle display area plus 2 spaces per service bay or stall
	UZO district: 1 space per 500 square feet of enclosed sales area plus 1 space per 2,500 square feet of outdoor vehicle display area plus 2 spaces per service bay or stall
Automobile storage	4 spaces for each of the first four hundred square feet, plus 2 spaces for each additional

Articles follows with sections for:

- Off- site parking
- Deferred parking
- Shared parking

Deferred Parking

- Avoid requiring more parking spaces than is needed to serve a development
- Reduce visual and drainage impacts caused by large impervious areas

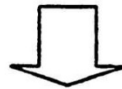


Parking- Nashville Tennessee cont'd

HOW TO DETERMINE PARKING REQUIREMENTS AND OPTIONS

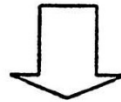
STEP 1.

***LOOK UP MINIMUM PARKING REQUIREMENTS
FOR YOUR USE IN TABLE 17.20.030***



STEP 2.

***CHECK WHETHER YOU ARE ELIGIBLE
FOR A REDUCTION UNDER 17.20.040***



STEP 3.

***DECIDE WHERE AND HOW YOU WANT TO PROVIDE
THAT MINIMUM AMOUNT OF PARKING.***

- a. ON-SITE – OR OFF-SITE UNDER 17.20.080?***
- b. BY YOURSELF – OR BY A SHARED ARRANGEMENT
UNDER 17.20.100?***
- c. NOW – OR DELAYED UNDER 17.20.090?***

Parking

Austin, Texas

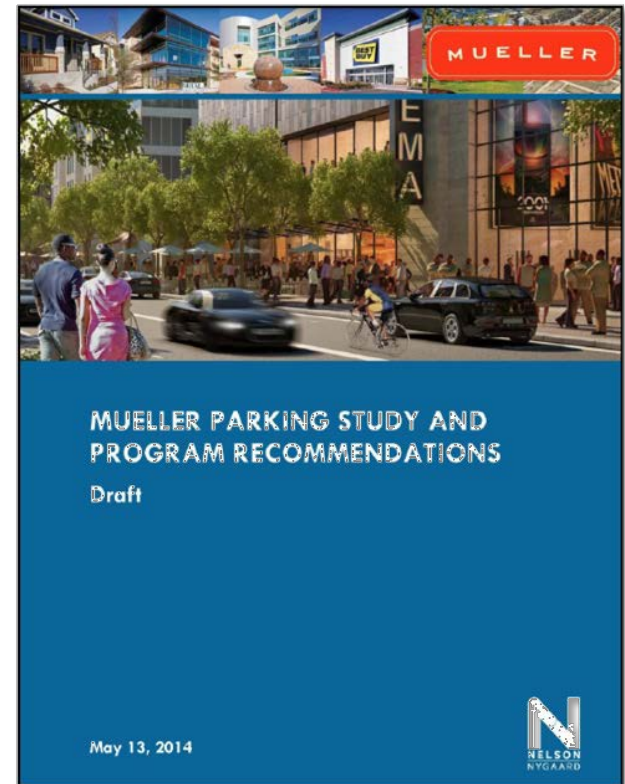
Mueller Parking Management District Pilot

Utilizes supply management strategies and pricing policies to meet the parking needs of the area.

Promotes transit use, ridesharing, and other alternative modes of transportation.

The practice:

- Encourages mixed use developments
- Encourages a balanced transportation system
- Enhances economic development
- Ensures the maximum utilization of land
- Requires less land area for parking
- Makes more land available for tax-generating purposes



Parking

Alternatives:

- First X square feet exempt from parking requirement in certain zoning districts
- Context- sensitive parking requirements
- Keep different parking requirements for uses that really do have different needs

Ex: “...commercial area parking standards could be written to say that required ratios for off-street parking will vary depending on the use rates in public parking lots in the area.” – Donald. L.

Elliot, *A Better Way To Zone*

Expired Permits

Alternative approaches:

- Better follow-up on expiring permits
- Amnesty provision

Best practice cities

What do they have in common?

- Recent LDC rewrites
- Mixed- use middle
- Context specific regulations
- Dynamic development standards
- Predictable flexibility

Expectations for residential vs commercial

“One great lesson from the past few years, especially since the advent of internet based businesses, is how blurry the lines among multifamily residential, office, institutional, commercial, and light industrial zones have become.”

-Donald Elliot, A Better Way to Zone



“Mixed-use middle”

- Small-scale commercial uses may need walkability or closeness to the street to survive
- Character and scale
- Relationship to compatibility and infill

“In many cases, there is no one “correct” number to superimpose on an older, built-up area, but we do want the new building to fit in with what has already been built and we don’t want to do a separate study each time to determine what that number should be.” – Donald L. Elliot, *A Better Way To Zone*

Mixed-use middle

Kansas City, Missouri

Code rewrite completed in 2011

Office, Business, and Commercial Districts	
Map Symbol	District Name
O	Office
B1	Neighborhood Business 1
B2	Neighborhood Business 2
B3	Community Business
B4	Heavy Business/Commercial 4

B zoning districts are primarily intended to **accommodate** and **promote** neighborhood- and community-serving retail sales or service uses, as well as mixed-use development consisting of business uses on a building's lower floors and residential uses on upper floors. This type of vertical, mixed-use development is **encouraged** in many areas of the city because it reflects the city's traditional urban, pedestrian-oriented character. Encouraging residential development in mixed-use zoning districts also **provides increased housing choice** and opportunities to promote higher density housing. The B districts are distinguished primarily on the basis of allowed uses and commercial floor area limits.

Dynamic Development Standards

“The better way to zone will include ‘dynamic’ standards that change over time in predictable ways, but that do not require individual council action for each change.” – Donald L. Elliot, *A Better Way to Zone*

- Contextual zoning and development standards are a modern example already in use
- Thresholds
- Allows for administrative flexibility

Predictable Flexibility

- By providing more internal flexibility for uses while defining the outer boundaries of the mix in each area

“It would promote predictable flexibility, because development standards would flex to reflect the surrounding size and scale of development while the same character would limit the degree of flexibility.” – Donald L. Elliot, *A Better Way To Zone*

“...promoting the goal of predictable flexibility, because the boundaries of the broader uses would still be defined but there would be more flexibility to accommodate different activities within those boundaries” – Donald L. Elliot, *A Better Way To Zone*

While keeping in mind...

- Every city is different; no one set number
- Mixed-use middle and dynamic development standards don't go everywhere



<http://www.austintexas.gov/codenext>

Questions/Comments

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