

Remodel Ordinance

*Austin City Code 20100624-149
Review and Inspection Requirements
For Non-Complying Structures*

*City of Austin
September 21, 2010 (Revised 12/02/10)*

Overview

- City Council passed an ordinance to provide clarification regarding remodels and the scope of work for changes to non-complying/conforming structure.
- Residential Plan Review
- Inspections



Residential Plan Review

Residential Plan Review

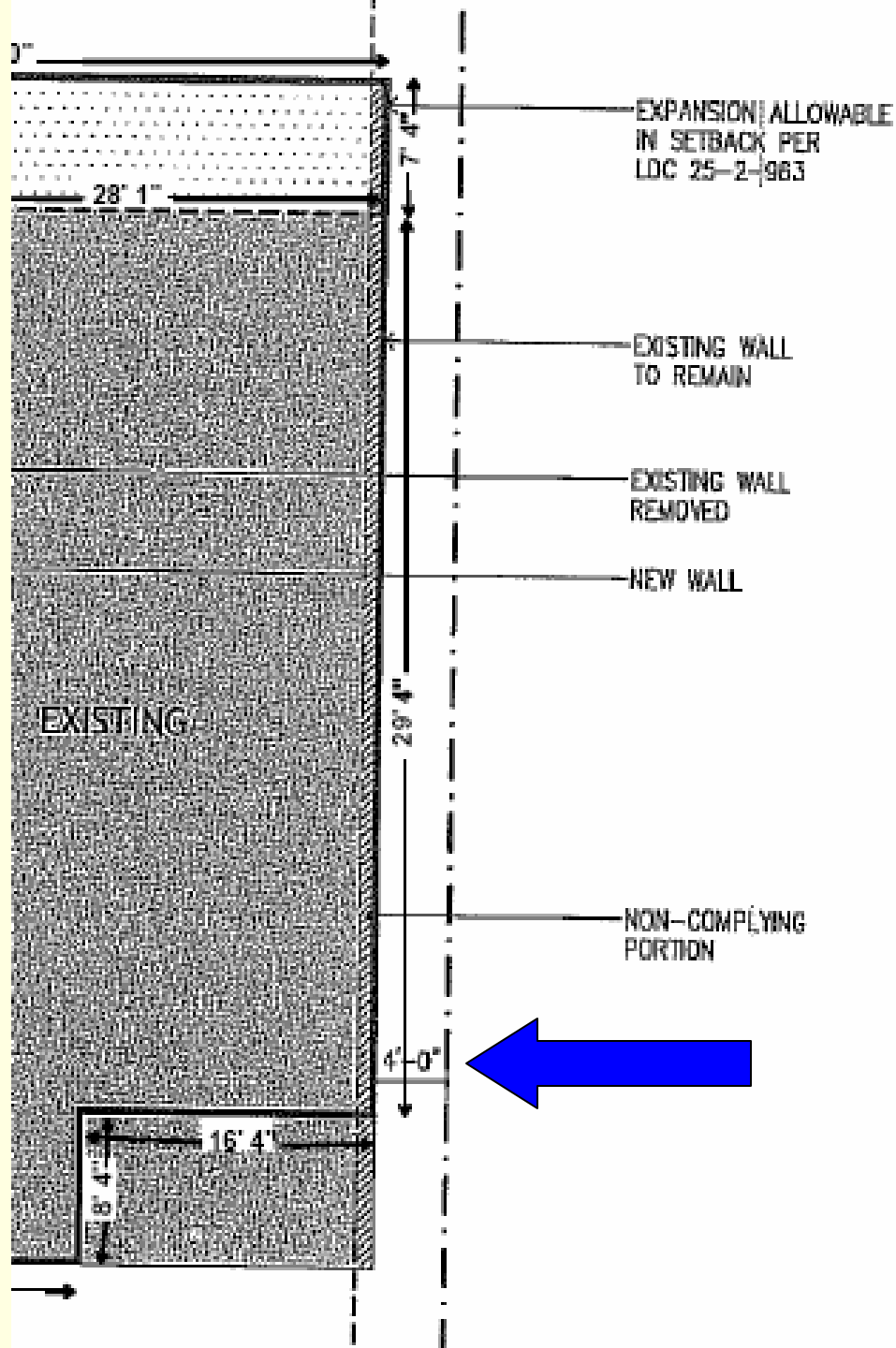
- Applies to Residential One- and Two-Family Dwellings
- Residential Review makes the determination if the remodel is:
 - Non-Conforming, City Code 25-2-947
(land use)
 - Non-Complying, City Code 25-2-963
(site development regulations)

Residential Plan Review

- Applies to Residential Two-Family Dwellings
Ordinance 20100624-149, Part 2(B)(3)(a)
 - (3)** For any residential use other than a single-family use in an SF-3 or more restrictive zoning district, the following requirements must be met in order to add square footage or convert accessory space into conditioned or habitable space:
 - (a)** If the lot is non-complying with current lot size or lot width requirements, the cost of improvements may not exceed 20 percent of the value of the structure before the improvements.
- May not exceed 20% of TCAD valuation

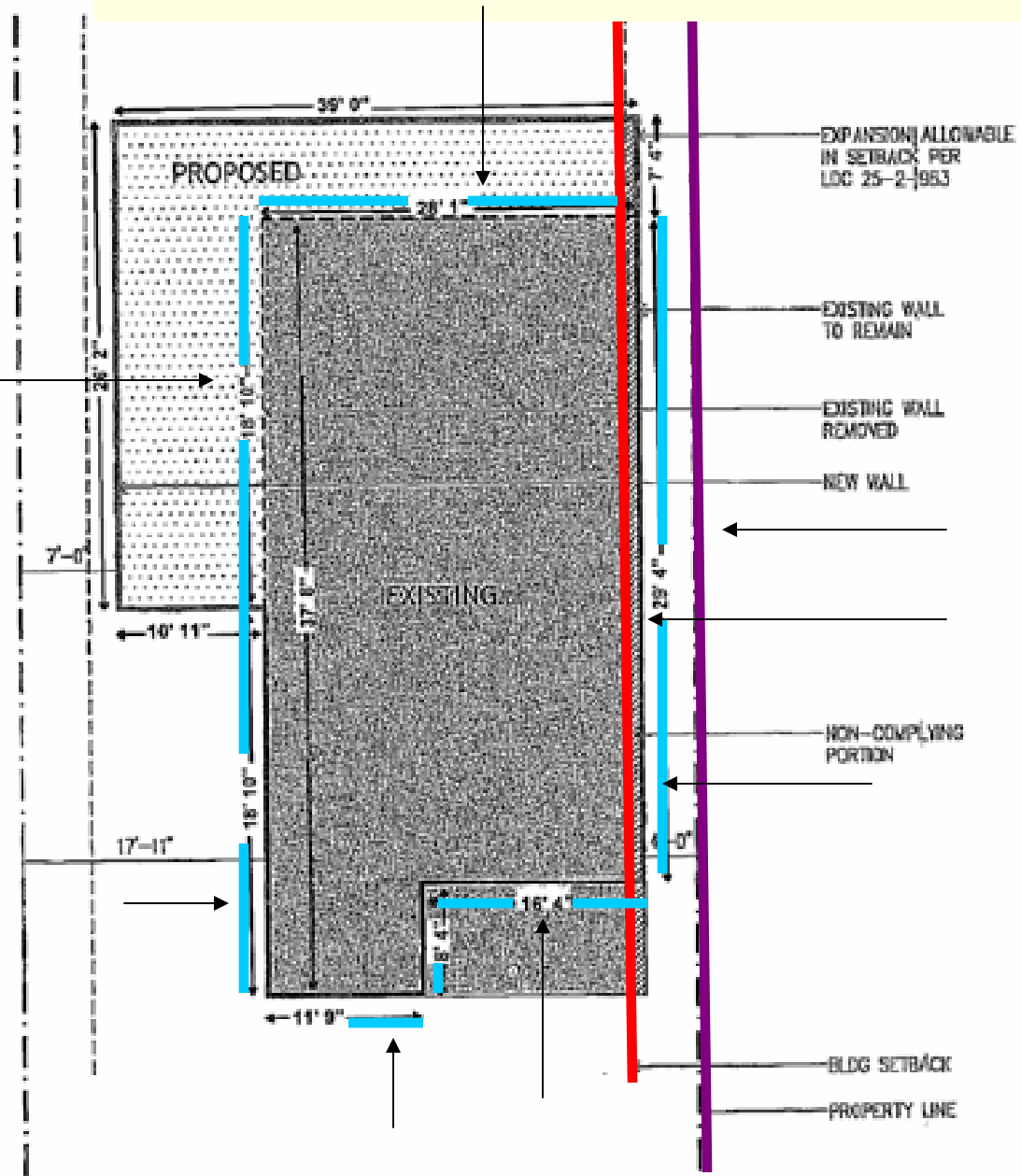
Residential Plan Review

- Ordinance outlines specific structural requirements:
 - Plans must be drawn to scale and a sealed boundary survey showing all existing improvements must be provided.
 - Must provide a finished floor sealed elevation survey of the existing and proposed construction.
 - Must include the total linear feet of exterior walls.
 - Delineate the linear feet of exterior walls to be removed.
 - Provide calculations to establish percentage of walls to be removed.
 - **Existing non-complying walls must be included in the overall linear feet of walls to remain.**



**Example of a
“Non-
Complying”
Structure
located in the
5’ setback**

“Non-Complying” Remodel - Basic Requirements



- Property Line**
- Building Setback Lines**
- Clear dimensions of all exterior walls**

Total Linear Feet of Exterior Walls	131'6"
Linear Feet of Exterior Walls to <u>remain</u>	84'7"
Linear Feet of Exterior Walls to be <u>removed</u>	46'11"
<u>Calculated %:</u>	
Walls to remain:	64%
Walls to be removed:	36%

Residential Plan Review

Permit Changes in Amanda For Remodels only


- Two INFO items are now placed in AMANDA, which trigger the preconstruction inspection. These are:
 1. Non-Conforming
(If yes, then preconstruction)
 2. Non-Complying
(If yes, then preconstruction)

Inspections - Preconstruction

Folder | Property | People | **Info** | Fee/Charge | Process | Document | File | Comment | Attachment | Conditions

Folder: 10 RA 00 PR

Description	Mand.	Value	Type
GIS			
Name of Neighborhood Plan	<input checked="" type="checkbox"/>	sdf	Alpha
LDC Section?	<input type="checkbox"/>		Alpha
GIS			
P.U.D. Name/Case Number	<input type="checkbox"/>		Alpha
Subdistrict	<input type="checkbox"/>		Alpha
Status	<input type="checkbox"/>		Alpha
Square Footage of Lot	<input checked="" type="checkbox"/>	34	Numeric
Is there a Cut & Fill in excess of 4 ft	<input checked="" type="checkbox"/>	No	Yes or No
Existing Non-conforming	<input checked="" type="checkbox"/>	Yes	Yes or No
Existing Non-complying	<input checked="" type="checkbox"/>	No	Yes or No



A decorative vertical bar in a light olive green color runs down the left side of the slide. A thin, dark purple horizontal line spans the width of the slide, intersecting the vertical bar. On the right side of this horizontal line, there is a small, light gray rectangular block.

Inspections

Inspections - Preconstruction

No Work until there is a Preconstruction Inspection

1. Pictures (photos) are required by the building inspector
2. Photos will be taken by the Inspector **Prior to the Construction**
3. Will be scanned into AMANDA as a permanent record to substantiate a life/safety condition to proceed prior to the removal and replacement of any pre-existing non-complying wall.

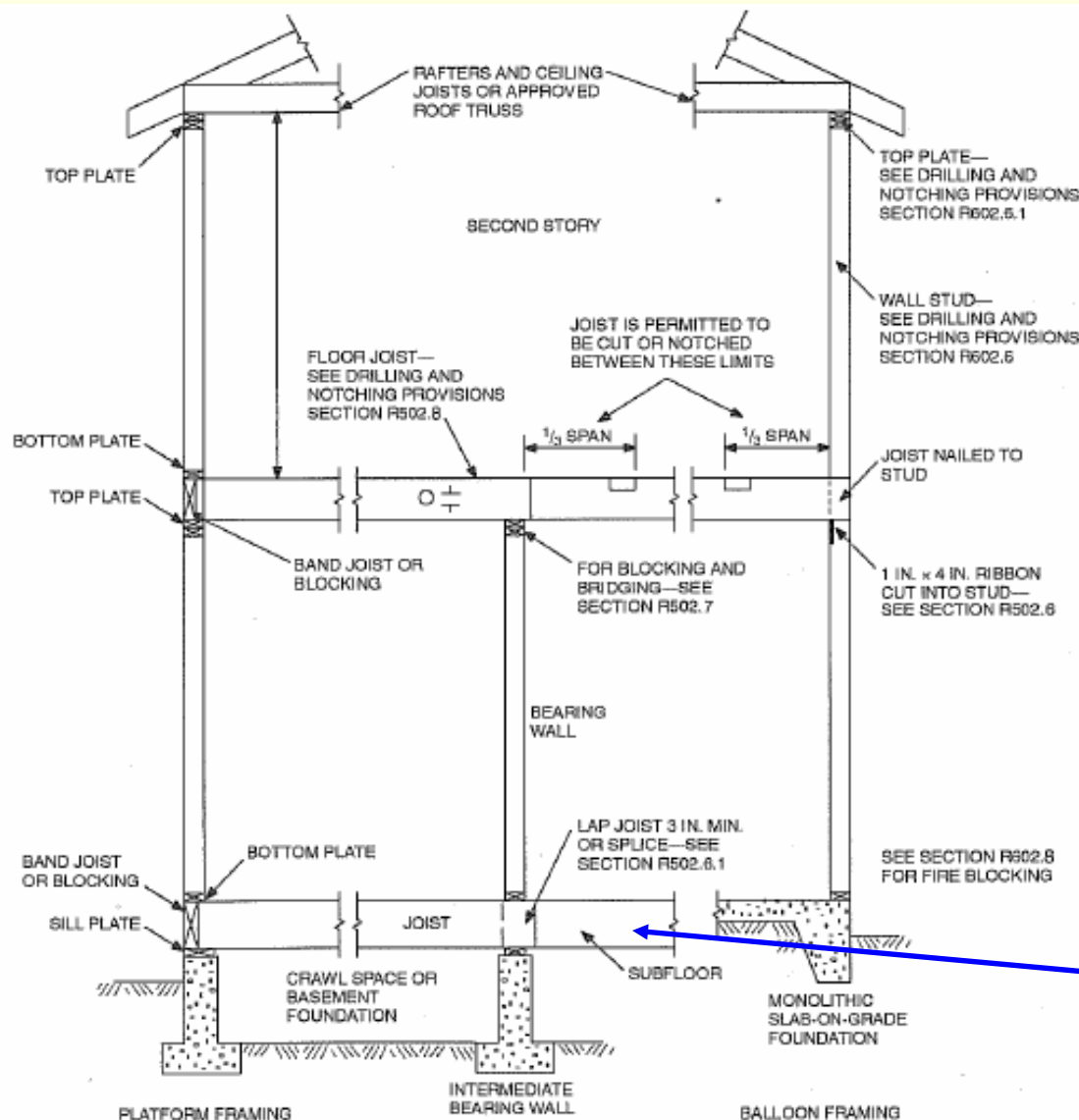
Inspections - Preconstruction

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Inspections - Structural Requirements

Subfloor

1. The subfloor has to stay in place, but may move up or down by no more than one foot, to allow for **leveling, drainage and/or fill.**
 - a. Will need an elevation survey certificate
(Before and After construction)
2. Subfloor can be cut to create holes to reinforce existing structure.
3. IRC Code Section R401.3 Drainage
4. IRC Code Section R319 Protection Against Decay



Subfloor

For SI: 1 inch = 25.4 mm.

FIGURE R602.3(1)
TYPICAL WALL, FLOOR AND ROOF FRAMING

❖ This is a schematic wood-frame building section that shows code provisions for wood floor systems as well as wall construction.

Inspections - Structural Requirements

Walls

Sole plates, studs and top plates:

- May be removed and replaced in the exact location as the wall existed prior to the removal and replacement of the wall if the degradation of the existing non-complying walls are pre-determined by the Building Official at the time of the Preconstruction Inspection.
- **Preconstruction Inspection – must be scheduled and passed prior to beginning any construction.**

Inspections - Structural Requirements

Walls

- Pictures (photos) are required by the building inspector.
- Photos will be taken by the Inspector prior to the construction.
- Will be scanned into AMANDA as a permanent record to substantiate a life/safety condition to proceed prior to the removal and replacement of any pre-existing non-complying wall.

Inspections - Structural Requirements

Walls

- The replacements of these wall components will be required to be code compliant with the adopted International Residential Code.

Inspections - Structural Requirements

Door and Window Openings

- Door and window openings will be required to be located in the exact location as they existed in the pre-existing non-complying structure if the International Residential Code will allow it.

Inspections - Structural Requirements

Removal of Walls

- Removal of any non-complying wall outside this scope will result in the issuance of a “Stop Work Order” and a “Board of Adjustment” hearing which will be the responsibility of the permit applicant.

Building Inspection - Procedures

1. Preconstruction inspection will be required if structure is non-complying or part of a non-conforming land use.
 - If the scope of work indicated by the permit description does not match scope of work in the field, then plan revisions and an additional Residential Review will be required.
 - Non-complying status can be identified by approved plot plan.
2. The description of work will indicate which walls will be removed.
3. Approved plans will indicate which walls will be removed.

Building Inspector - Procedures

4. Preconstruction performed before any construction begins.
 - If construction begins before preconstruction inspection, then make application to the Board of Adjustment.
 - Inspectors will provide a written correction notice in preconstruction process.
 - (Exception) The work performed was only to expose existing wall studs and plates.
5. Permittee or agent required to be on site.
 - If permittee or agent is not present at the time of the preconstruction inspection, an inspection will not be performed and the inspection will fail/no work performed.
6. Approved plans required to be on site.
 - Plans not on site, then fail the preconstruction inspection.

Building Inspector - Procedures

7. Review process with Permittee or agent;
 - 50% of the exterior walls must remain.
 - Photograph all sides of structure on exterior.
 - (*Note*) all photographs must be attached to permit.
 - Non-complying wall or walls must remain.
 - Floor decking shall remain.
 - Piers, beams and floor joists can be replaced, as required by the Building Official to meet minimum health and safety requirements.(Ord. Part 2(B)(1)(b))

Building Inspector – Procedures

7. CONTINUED

- Foundation can be raised + or – 1 foot
 - Before and after sealed survey required when raising or lowering foundation.
- IRC Table 302.1, wall location needs to be considered for non-complying wall.
- Inspector has the authority to allow additional work.
 - All additional work must be pre-authorized at the time of the preconstruction inspection, based on a correction notice.
- Permittee or agent has not removed interior finish or exterior sheathing to expose wall studs or plates.
 - Place preconstruction process in temporary status and have builder reschedule inspection.

Building Inspector - Procedures

8. Sealed Survey - At the time of the layout inspection, all forms or piers (pier and beam foundation and/or slab on grade) in place, shall match the approved plans.
9. Frame Inspection – At the time of the frame inspection, all work accomplished shall match approved plans, permit and inspector's correction(s).



Questions?