

STRATEGIC CITY-OWNED PROPERTY PORTFOLIO

906 E St. Johns Ave/7211 N IH-35 Profile (District 4) *Assemblage*

TWO TRACTS | SIZES:

Home Depot Tract: 13.7 acres

Chrysler Tract: 5.3 acres

ACQUISITION FUNDING:

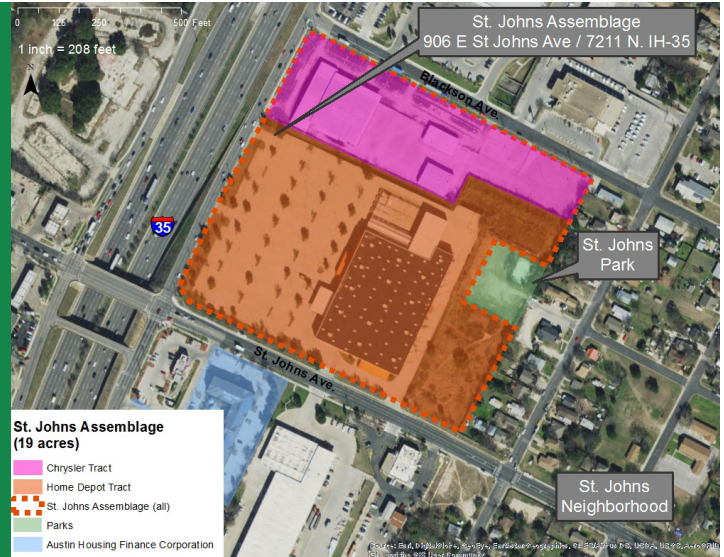
Public Safety Facilities Bond (2006)

CURRENT CITY USE:

General Storage

OTHER CONSIDERATIONS:

Adjacent to City park



ACCESS:

CapMetro High Bus Frequency Network, IH-35

ZONING:

Public, formerly Limited Industrial,

[St. John/Colorado Hills,](#)

[Combined Neighborhood Plan,](#)

[Future land use map](#)

COUNCIL RESOLUTIONS:

20171207-058: Evaluate for park, affordable housing, recreation, local business opportunities, place making

SITE ANALYSIS:

**Environmental assessment,
Appraisal (greater than one year old),
Scenario development**

ORGANIZED STAKEHOLDERS:

St. John Regular Baptist Association

St. John Neighborhood Association,

<ftp://ftp.ci.austin.tx.us/npzd/Austingo/sjch-np.pdf>

STATUS:

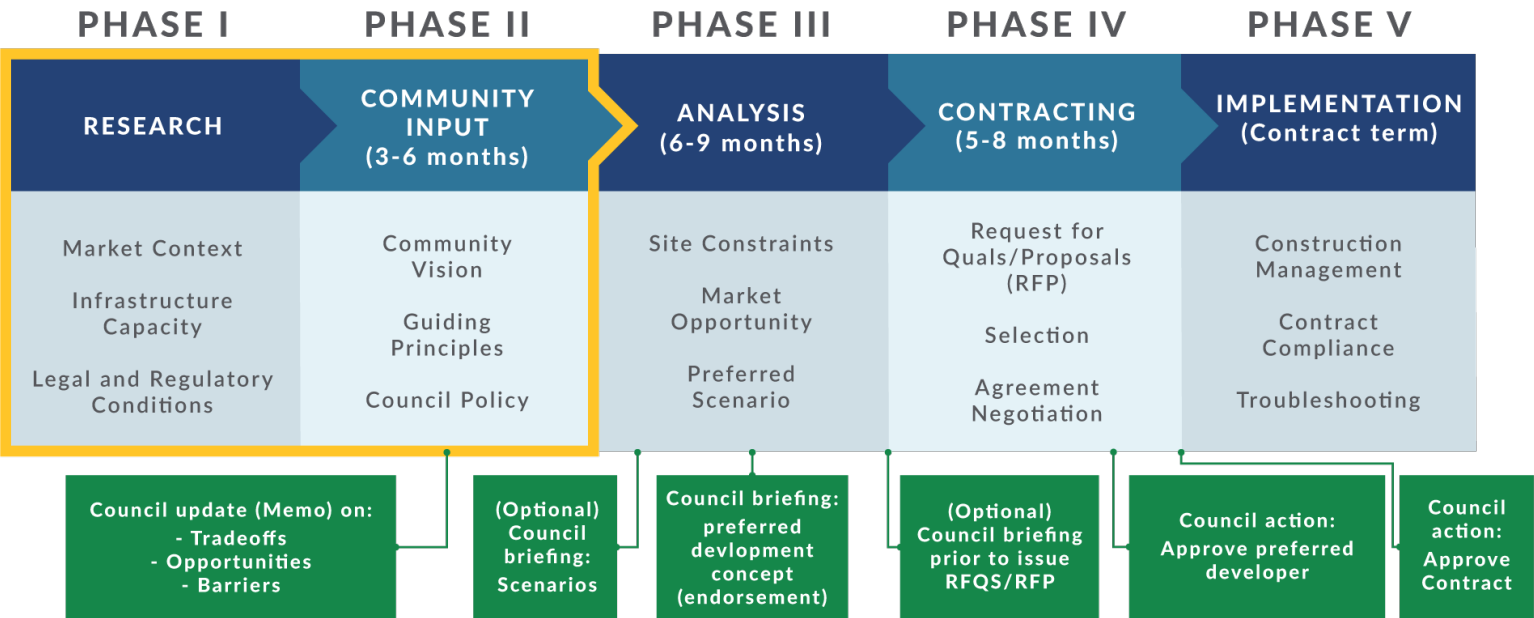
Phase I; Phase II (City to reconvene in October)

See chart on back

STRATEGIC CITY-OWNED PROPERTY PORTFOLIO

906 E St. Johns Ave/7211 N IH-35 Profile (District 4)

Assemblage



PROJECT LEAD:
Pam Hefner, PLA, ASLA, EDFP
Redevelopment Project Manager

Pam Hefner is a Redevelopment Project Manager with over 20 years of redevelopment experienced garnered both in the public and private sectors for land planning and landscape architecture in Texas and California. Pam has overseen the transformation of the Robert Mueller Airport into a vibrant 700 acre mixed-use community since 1999. With her expertise in shepherding projects through master planning, developer selection, negotiations, zoning and implementation, she now serves as Portfolio Manager for the Economic Development Department.