

ORDINANCE NO. 20101104-034

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 5912 AND 5916 BOLM ROAD IN THE JOHNSTON TERRACE NEIGHBORHOOD PLAN AREA FROM MULTIFAMILY RESIDENCE MEDIUM DENSITY-NEIGHBORHOOD PLAN (MF-3-NP) COMBINING DISTRICT TO GENERAL OFFICE-MIXED USE-CONDITIONAL OVERLAY-NEIGHBORHOOD PLAN (GO-MU-CO-NP) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from multifamily residence medium density-neighborhood plan (MF-3-NP) combining district to general office-mixed use-conditional overlay-neighborhood plan (GO-MU-CO-NP) combining district on the property described in Zoning Case No. C14-2010-0117, on file at the Planning and Development Review Department, as follows:

Lots 1 and 2, Amended Plat of Deberry Subdivision Section Two, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 89, Page 352, of the Plat Records of Travis County, Texas (the "Property"),

locally known as 5912 and 5916 Bolm Road, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. Except as specifically provided in Part 3 and Part 4 of this ordinance, the Property may be developed and used in accordance with the regulations established for the general office (GO) base district, the mixed use combining district, and other applicable requirements of the City Code.

PART 3. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

A site plan or building permit for the Property may not be approved, released, or issued, if the completed development or uses of the Property, considered cumulatively with all existing or previously authorized development and uses, generate traffic that exceeds 2,000 trips per day.

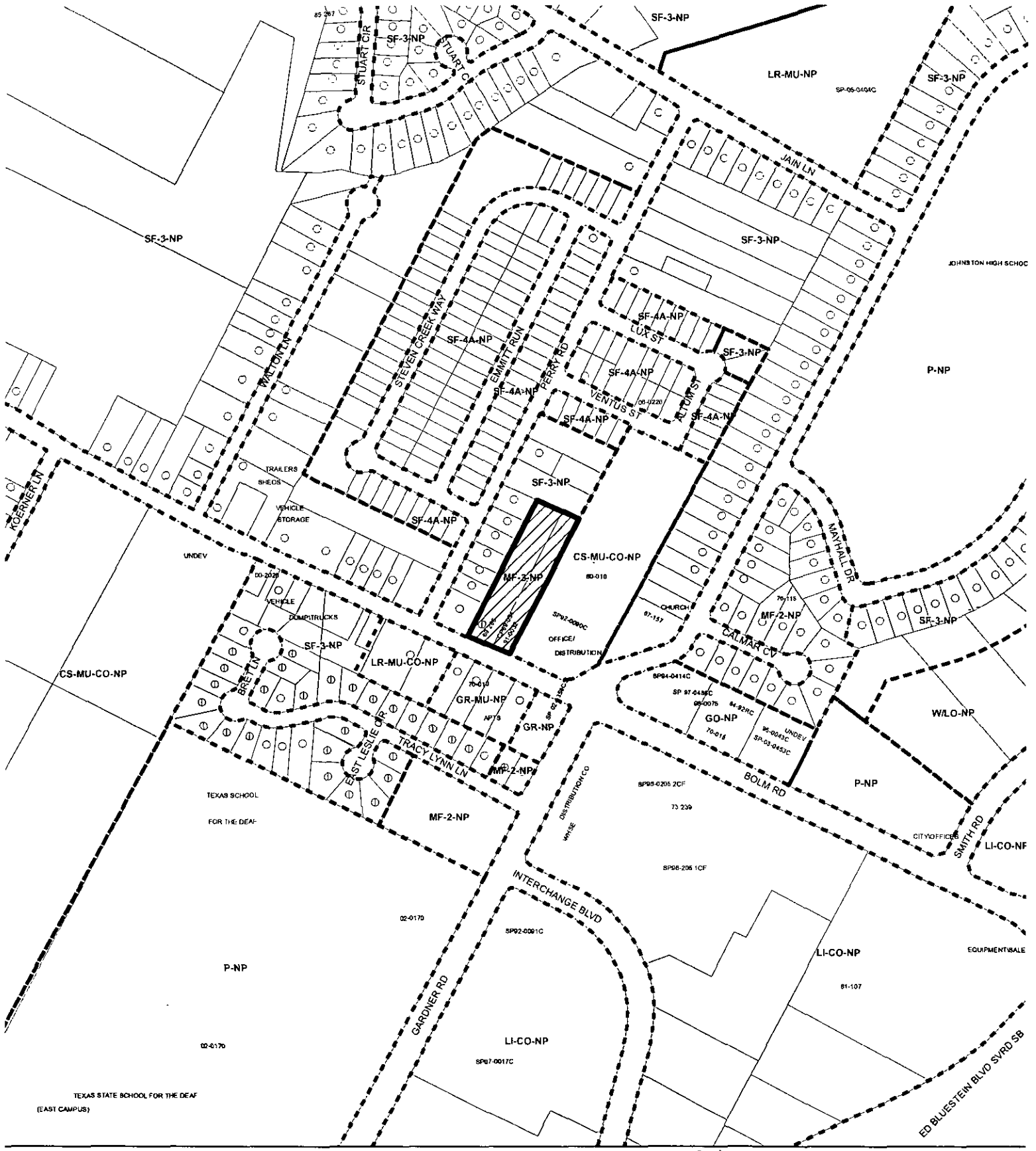
PART 4. The Property is subject to Ordinance No. 030327-11b that established the Johnston Terrace neighborhood plan combining district.

PART 5. This ordinance takes effect on November 15, 2010.

PASSED AND APPROVED

_____, November 4, 2010 §
 § Lee Leffingwell
 § Lee Leffingwell
 Mayor

APPROVED: Karen M. Kennard **ATTEST:** Shirley A. Gentry
 Karen M. Kennard Shirley A. Gentry
 Acting City Attorney City Clerk



ZONING EXHIBIT A

ZONING CASE#: C14-2010-0117
 LOCATION: 5912 & 5916 BOLM RD
 SUBJECT AREA: 1.554
 GRID: M 21
 MANAGER: JOI HARDEN



N



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

1' = 400'

This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness