

# CONCRETE SLAB FOUNDATION NOTES:

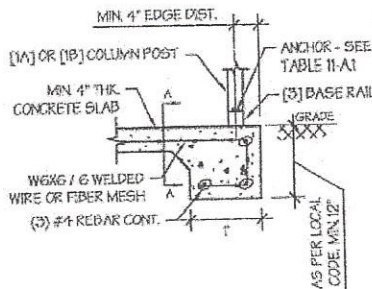
- DESIGN SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
- EITHER OPTION 1 'EDGE OFFSET' OR OPTION 2 'NOTCHED EDGE' DETAIL CAN BE USED.
- FOR OPTION 1 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE OUTSIDE DIMENSIONS OF THE BUILDING PLUS 5" EACH DIRECTION.
- FOR OPTION 2 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE SIDE DIMENSIONS OF THE BUILDING DIMENSIONS.
- CONCRETE ANCHORS SHALL BE LOCATED AT EVERY NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNER OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL.
- CONCRETE ANCHORS CAN BE ANY ONE OF THE OPTIONS MENTIONED IN TABLE 11-A.1.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.

TABLE 11-A.1: CONCRETE SLAB ANCHOR SCHEDULE

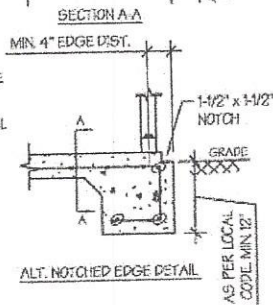
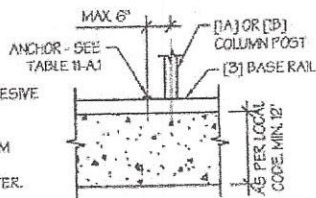
WIND SPEED (MPH)	ANCHOR SIZE
90 TO 120	1/2" Ø X 7"
130 TO 150	5/8" Ø X 7"

## NOTES:

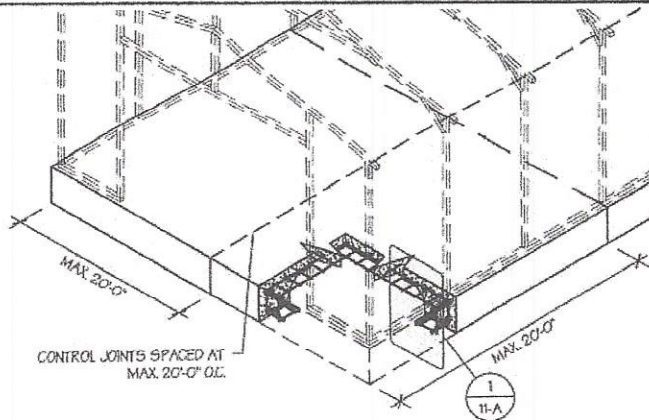
- EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
- MIN. EMBEDMENT DEPTH TO BE 4".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER.



OPTION 1: EDGE OFFSET DETAIL  
SCALE: NTS



OPTION 2: EDGE FLUSH DETAIL  
SCALE: NTS



CONCRETE SLAB FOUNDATION  
SCALE: NTS

MANUFACTURED BY:



ENGINEERED BY:



## DRAWING INFORMATION

PROJECT: 12' TO 30' WIDE BUILDINGS

LOCATION: STATE OF TEXAS

PROJECT NO.: 318-14-0643

SHEET TITLE:

FOUNDATION OPTION 1:  
CONCRETE SLAB

SHEET NO.: 11-A / 11

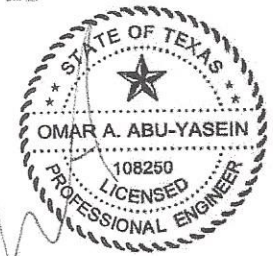
DRAWN BY: IZM DATE: 3/25/15

CHECKED BY: OAA DATE: 3/25/15

## LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.  
- DRAWINGS VALID 12" TO 1 YEAR FROM DATE OF SIGNATURE

SEAL:



DATE EXPIRES: MAR 31 2016

DATE SIGNED: MAR 25 2015

TABLE 11-B-1: ANCHOR SCHEDULE

WIND SPEED (MPH)	ANCHOR SIZE
90 TO 120	1/2" Ø X 7"
130 TO 150	5/8" Ø X 7"

## NOTES:

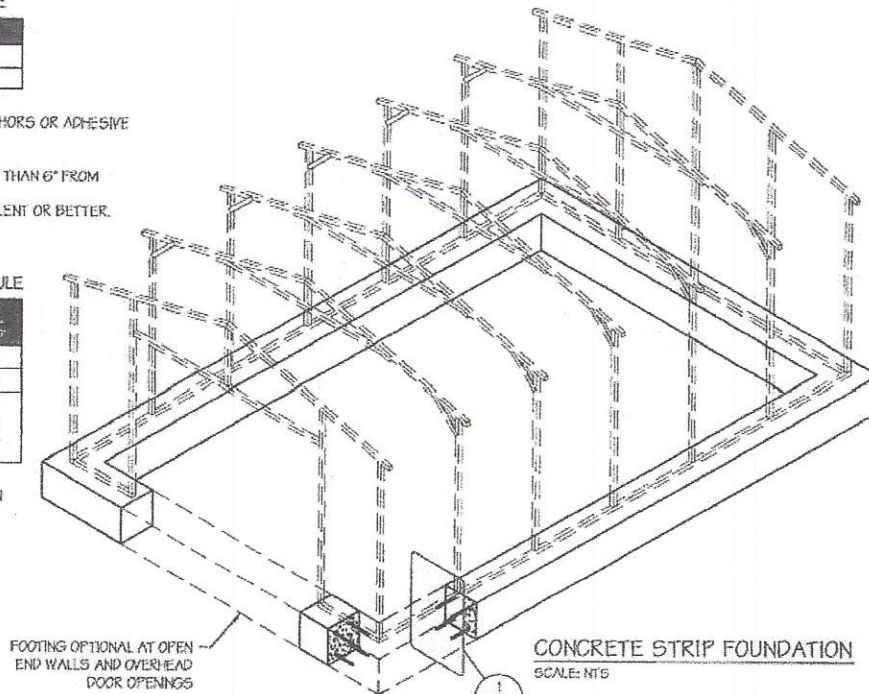
1. EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
2. MIN. EMBEDMENT DEPTH TO BE 4".
3. ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
4. ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER.

TABLE 11-B-2: CONC. STRIP SCHEDULE

WIND SPEED (MPH)	FRAME WIDTH	
	12' TO 22'	24' TO 30'
90 TO 110	12" X 12"	14" X 12"
120 TO 130	18" X 12"	21" X 12"
140 TO 150	26" X 12"	30" X 12"
	21" X 15"	24" X 15"
	18" X 18"	20" X 18"

## NOTES:

1. WIDTH AND DEPTH DIMENSIONS CAN BE INTERCHANGED.

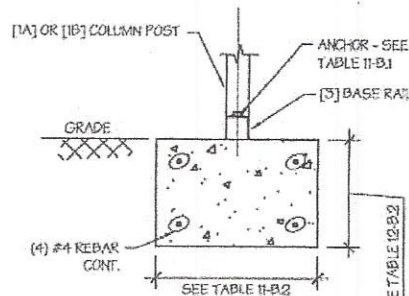


CONCRETE STRIP FOUNDATION

SCALE: NTS

## CONCRETE STRIP FOUNDATION NOTES:

1. DESIGN SHOWN ON THIS SHEET ARE FOR CONCRETE STRIP FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
2. CONCRETE ANCHORS SHALL BE LOCATED AT EVERY NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNER OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL.
3. DEPTH OF CONCRETE STRIP FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
4. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
5. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.



CONCRETE STRIP FOUNDATION DETAIL

SCALE: NTS

MANUFACTURED BY:



METAL BUILDINGS

501 EAST LOOP 340, WACO, TX 76705  
TEL: 1-855-333-1005  
WWW.SAFEGUARDMETALBUILDINGS.COM

ENGINEERED BY:



A&amp;A ENGINEERING

CIVIL • STRUCTURAL

5911 Remington Place, Suite B • Toledo, OH 43603  
TEL: 419-239-1583 • FAX: 419-239-4953  
www.a-a-engineers.com

## DRAWING INFORMATION

PROJECT: 12' TO 30' WIDE BUILDINGS

LOCATION: STATE OF TEXAS

PROJECT NO.: 318-14-0643

SHEET TITLE:

FOUNDATION OPTION 2:  
CONCRETE STRIP

SHEET NO.: 11-B / 11

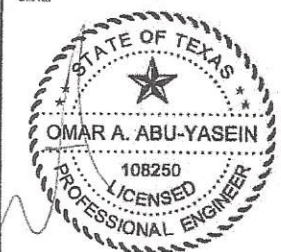
DRAWN BY: IZM DATE: 3/25/15

CHECKED BY: OAA DATE: 3/25/15

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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF SIGNATURE

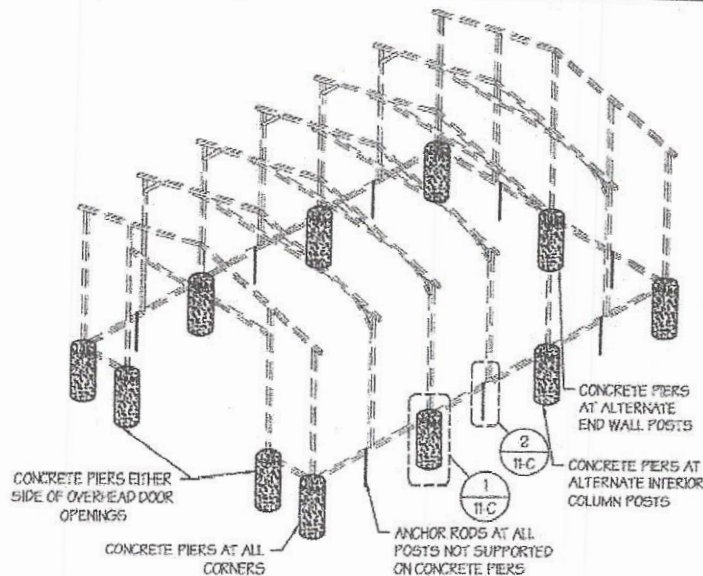
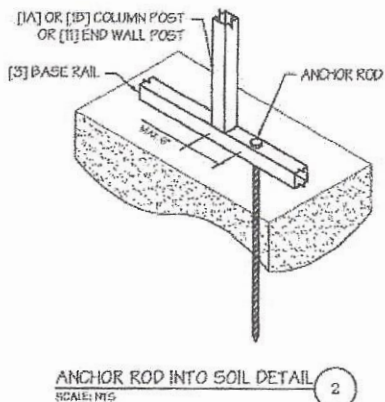
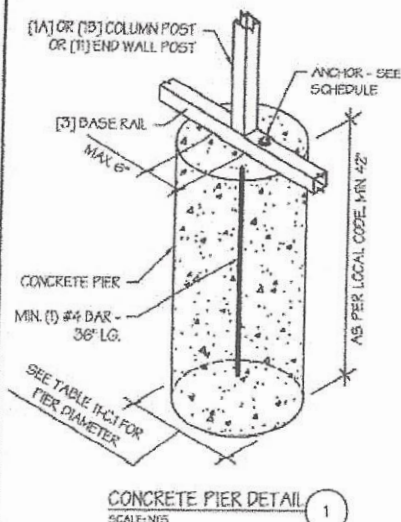
SEAL:



DATE EXPIRES: MAR 31 2016

DATE SIGNED: MAR 25 2015





CONCRETE PIERS FOUNDATION  
SCALE: NTS

**CONCRETE PIER FOUNDATION NOTES:**

1. DESIGN SHOWN ON THIS SHEET ARE FOR CONCRETE PIER FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
2. CONCRETE PIERS SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
3. PIERS SHALL BE FORMED BY DIGGING A HOLE OF THE SAME SIZE AS THE PIER ON LEVEL GRADE AND FILLING WITH CONCRETE. THRD. ROD ANCHORS SHOULD BE DROPPED INTO THE PIERS PRIOR TO POURING THE CONCRETE.
4. ALL POSTS NOT SUPPORTED ON CONCRETE PIERS SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 36" LG. THREADED ROD. RODS WILL HAVE A WELDED NUT AT THE TOP AND ONE COAT OF RUST PROOF PRIMER.
5. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 P/SF.
6. CONCRETE STRENGTH TO BE A MIN OF 2500 P/SI @ 28 DAYS.

TABLE 11-C.1: CONC. PIER SCHEDULE

WIND SPEED (MPH)	FRAME WIDTH	
	12' to 22'	24' to 30'
90 TO 110	18"Ø X 42"	24"Ø X 30"
120 TO 130	18"Ø X 54"	24"Ø X 45"
140 TO 150	24"Ø X 48"	24"Ø X 54"

NOTE: MIN. DEPTH OF PIERS SHOULD BE BELOW FROST DEPTH SPECIFIED PER LOCAL CODE.

TABLE 11-C.2: CONCRETE PIER ANCHOR SCHEDULE

WIND SPEED (MPH)	ANCHOR SIZE
90 TO 120	1/2"Ø X 7"
130 TO 150	5/8"Ø X 7"

**NOTES:**

1. EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
2. MIN. EMBEDMENT DEPTH TO BE 4".
3. ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
4. ALL ANCHORS TO BE A307 EQUIVALENT OR BETTER.

MANUFACTURED BY:



ENGINEERED BY:



**DRAWING INFORMATION**

PROJECT: 12' TO 30' WIDE BUILDINGS

LOCATION: STATE OF TEXAS

PROJECT NO.: 318-14-0643

SHEET TITLE:

FOUNDATION OPTION 3:  
CONCRETE PIERS

SHEET NO.: 11-C / 11

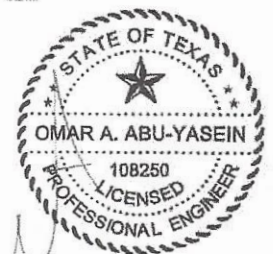
DRAWN BY: IZM DATE: 3/25/15

CHECKED BY: OAA DATE: 3/25/15

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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF SIGNATURE

SEAL:



DATE EXPIRES: MAR 31 2016

DATE SIGNED: MAR 25 2015

**From:** Ramin Zavareh  
**To:** [Sirwaitis, Sherri](#)  
**Subject:** Re: FW: Voice Message from 5122946337  
**Date:** Thursday, April 23, 2020 3:34:38 PM

---

\*\*\* External Email - Exercise Caution \*\*\*

my main business is auto sales and not service . we do service in sense that we have to replace batteries and or do minor work on car that is ready for sale and we are not mechanic shop if you look up our profile or our website you will see that we are not service facility , but 95 percent of our business is auto sales only. but our online application when u look at what the city has typed in it saids auto service only and mentions nothing about the auto sales side and that's what I wanted to be changed.

when I looked at what was typed in the system this morning it only showed auto service and now it shows sales and service which is correct since we do have service in our business even though its very very smart part of our business

Ramin Zavareh  
512-294-6337

On Thu, Apr 23, 2020 at 3:07 PM Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:  
Hi Mr. Zavareh,

I received your voice mail today. Here is the rezoning application that was submitted for this case. The application states that the proposed use is for Automotive Sales and Automotive Service. If you need to clarify the proposed uses for this property, please e-mail a signed letter to me that states the zoning you are requesting and the proposed uses you are planning to develop at this location.

Thank you,

Sherri Sirwaitis  
City of Austin  
Planning & Zoning Department  
[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)  
512-974-3057(office)

-----Original Message-----

From: [ctmavayaalerts@austintexas.gov](mailto:ctmavayaalerts@austintexas.gov) <[ctmavayaalerts@austintexas.gov](mailto:ctmavayaalerts@austintexas.gov)>  
Sent: Thursday, April 23, 2020 10:04 AM  
To: Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>  
Subject: Voice Message from 5122946337

Voice message copy

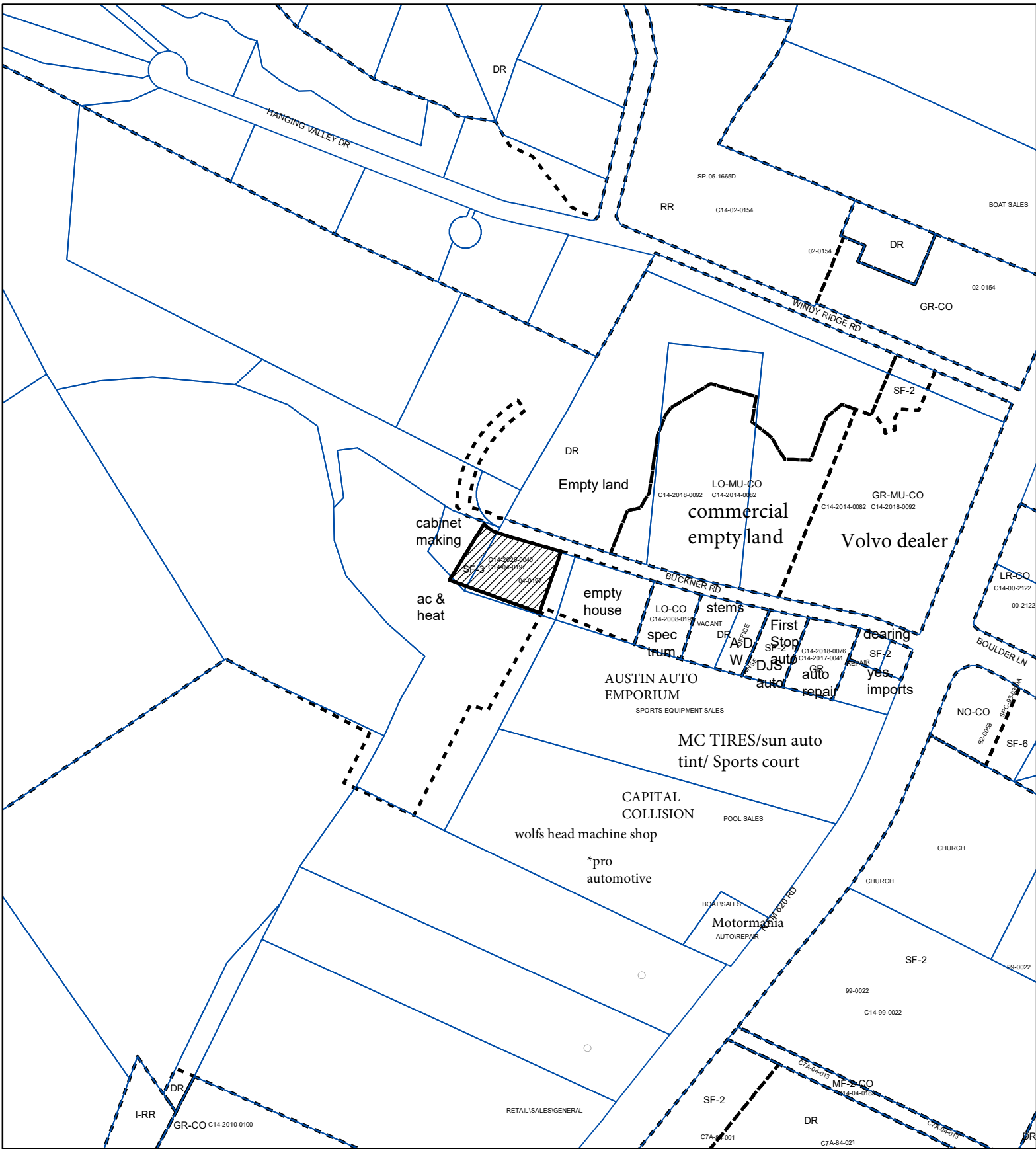
Caller: 5122946337  
Duration: 01:29






To hear the voice message, play the attached recording or call your Messaging mailbox.

Messaging access number: (512)974-9410

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-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

## ZONING

ZONING CASE#: C14-2020-0040

1" = 400'

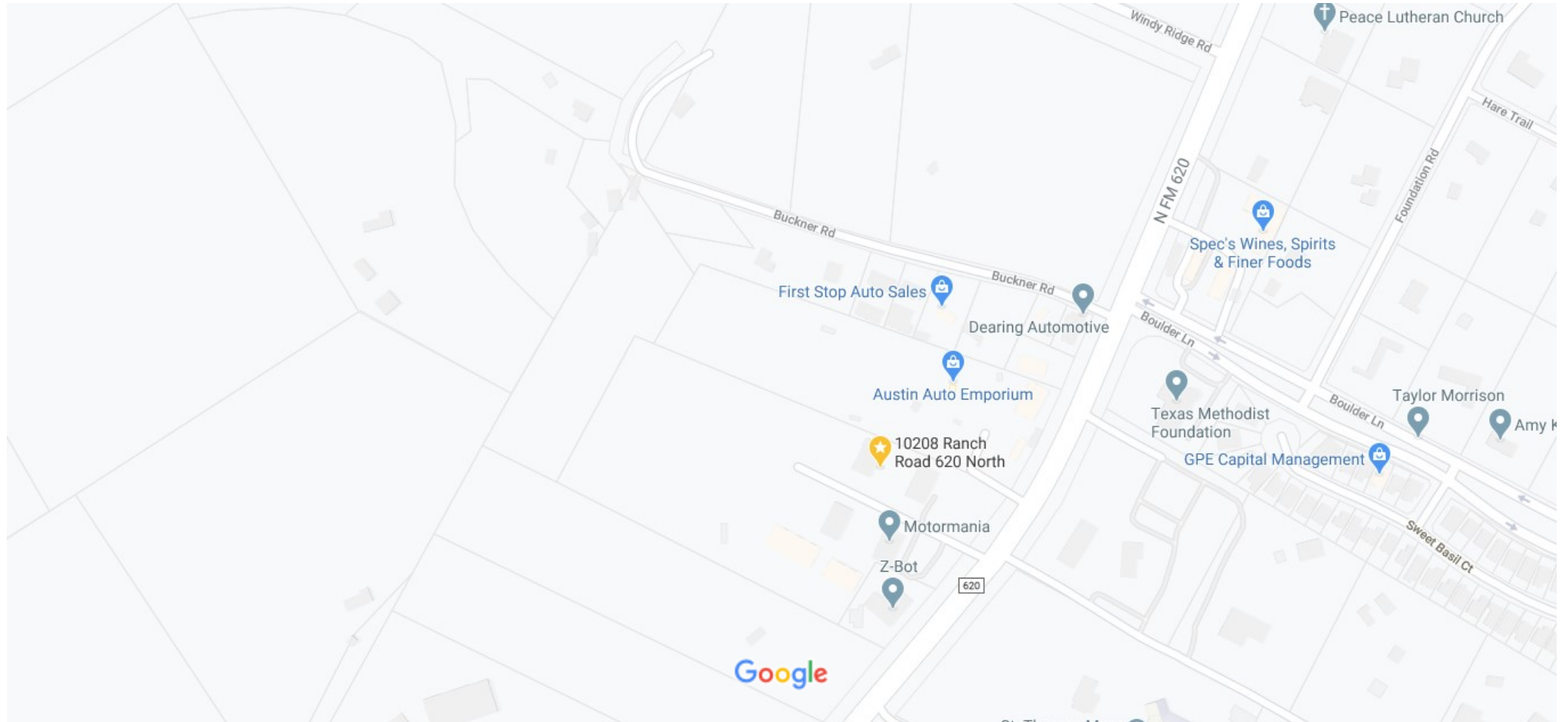
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Created: 3/19/2020

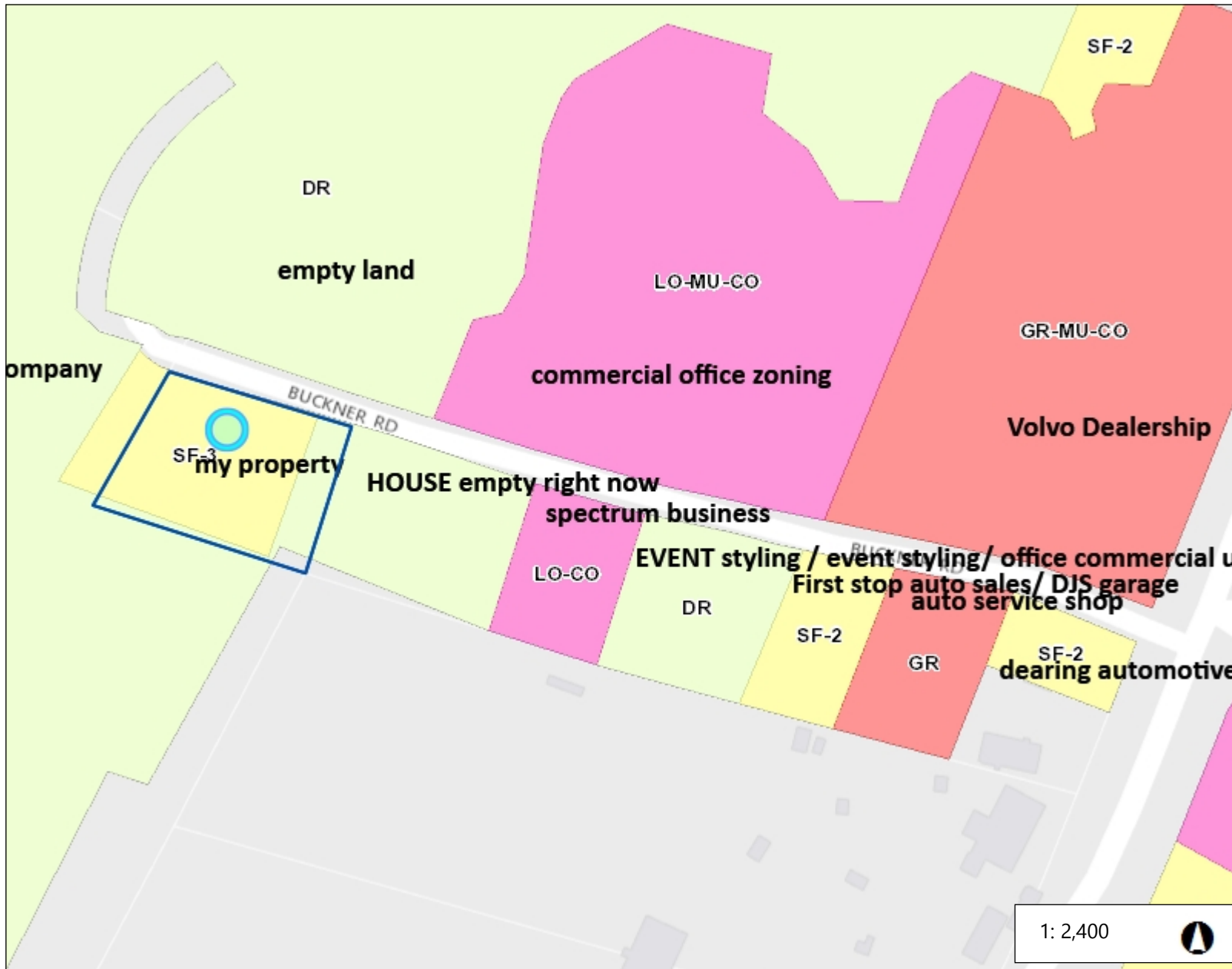




Map data ©2020 Google 200 ft



# Property Profile



## Legend

### Zoning

- Lake Austin, Rural Residence (LA; SF-1; SF-2; SF-3; SI)
- Single Family (SF-1; SF-2; SF-3; SI)
- Mobile Home (MH)
- Multi-family (MF-1; MF-2; MF-3; MF)
- Commercial (CH; CR; CS; CS-1; G)
- Office (GO; LO; NO)
- Industrial (IP; LI; MI; R&D; W/LO)
- CBD; Downtown Mixed Use (DMU)
- ERC; NRG; TND; TOD
- Planned Unit Development (PUD)
- Agriculture, Development Reserve
- Aviation, Public, Unzoned (AV; P; U)
- Unclassified

☐ Zoning Text

1: 2,400



0.1 0 0.04 0.1 Miles

NAD\_1983\_StatePlane\_Texas\_Central\_FIPS\_4203\_Feet

Date Printed:

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## Notes





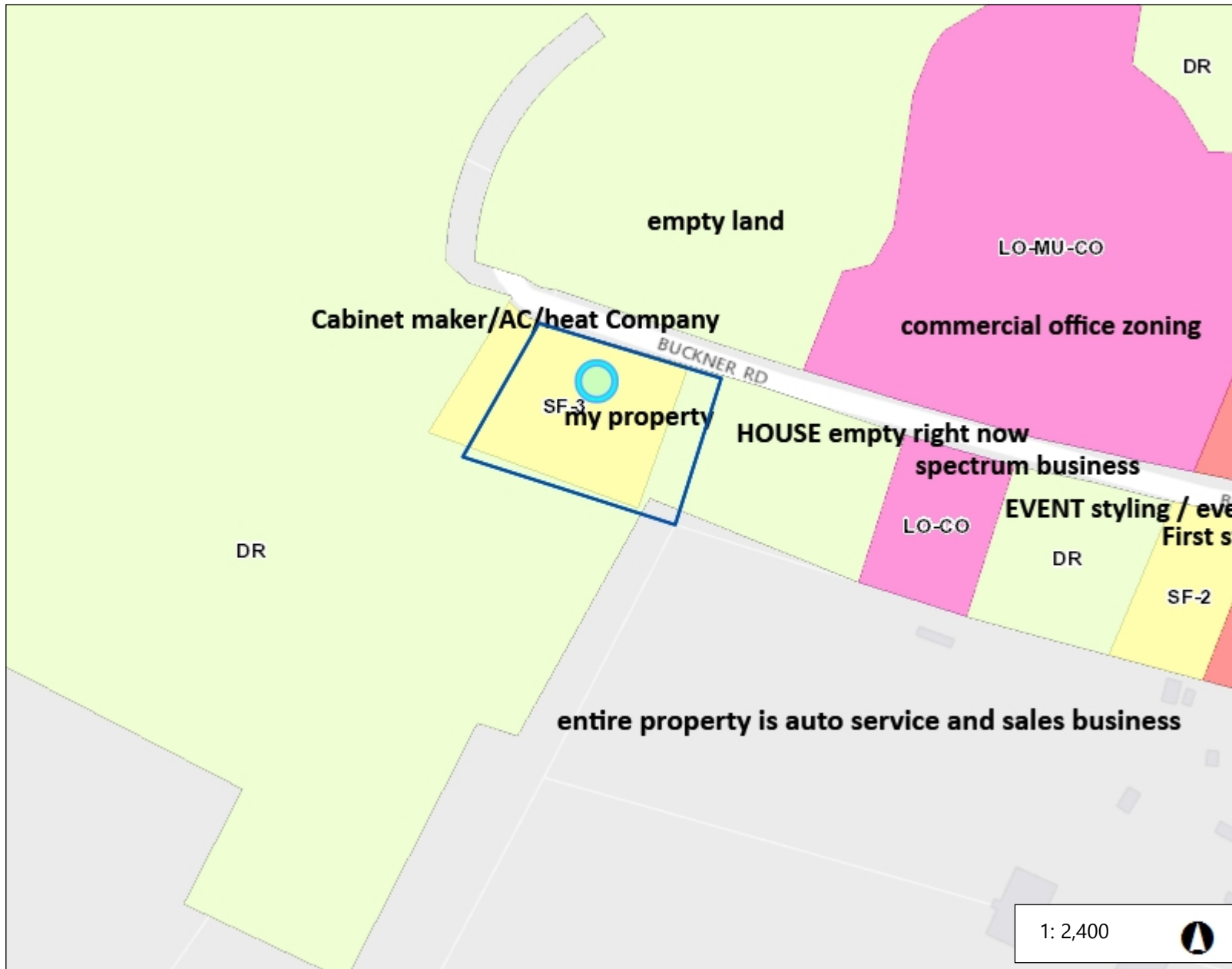
# Property Profile

## Legend

### Zoning

- Lake Austin, Rural Residence (LA;
- Single Family (SF-1; SF-2; SF-3; SI
- Mobile Home (MH)
- Multi-family (MF-1; MF-2; MF-3; MF
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☐ Zoning Text



0.1 0 0.04 0.1 Miles

NAD\_1983\_StatePlane\_Texas\_Central\_FIPS\_4203\_Feet

Date Printed:

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Notes



Austin, Texas

JASS

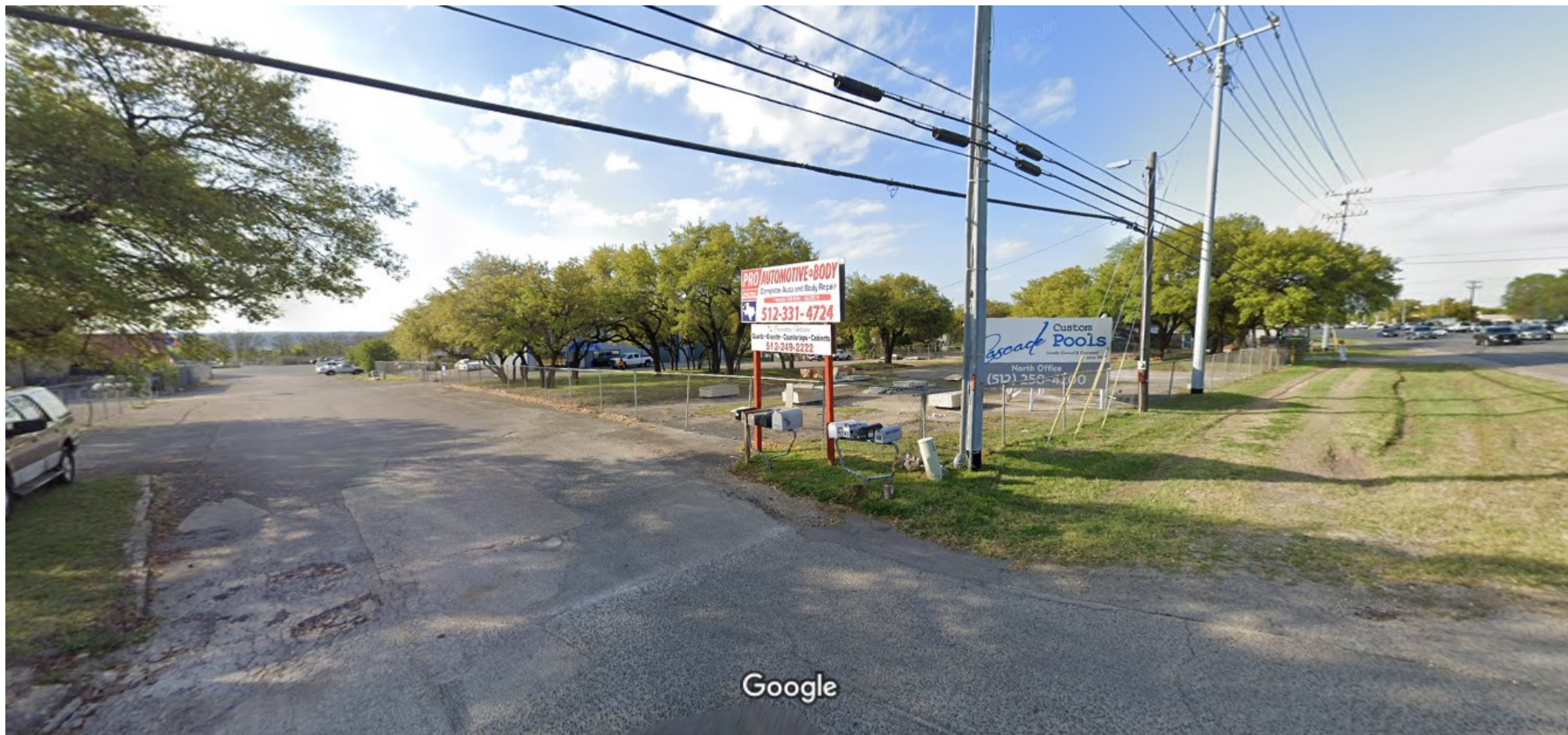


Image capture: Mar 2019 © 2020 Google

Google

Street View





Austin, Texas

JASS motormania



Image capture: Mar 2019 © 2020 Google

Google

Street View





Austin, Texas

MC tires and austin auto emporium



Image capture: Jan 2019 © 2020 Google

Google

Street View





10328 Ranch Rd 620

MC tires and tint shop and sports court



Image capture: Apr 2019 © 2020 Google

Austin, Texas

Google

Street View



10418 N FM 620

dearing automotive



Image capture: Apr 2019 © 2020 Google

Austin, Texas

Google

Street View





11801 Buckner Rd

volvo dealership



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11801 Buckner Rd  
nikitos auto upholstery



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11809 Buckner Rd

auto shop sams



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11817 Buckner Rd

first stop auto sales / djs auto service



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11821 Buckner Rd

american drywall systems inc



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View



11900 Buckner Rd

stems floral designs and event planing



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11827 Buckner Rd  
spectrum



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





11829 Buckner Rd  
house for rent



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





12098 Buckner Rd

My property



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

Street View





12025 Buckner Rd

cabinet making /ac and heating company



Image capture: Mar 2019 © 2020 Google

Austin, Texas

Google

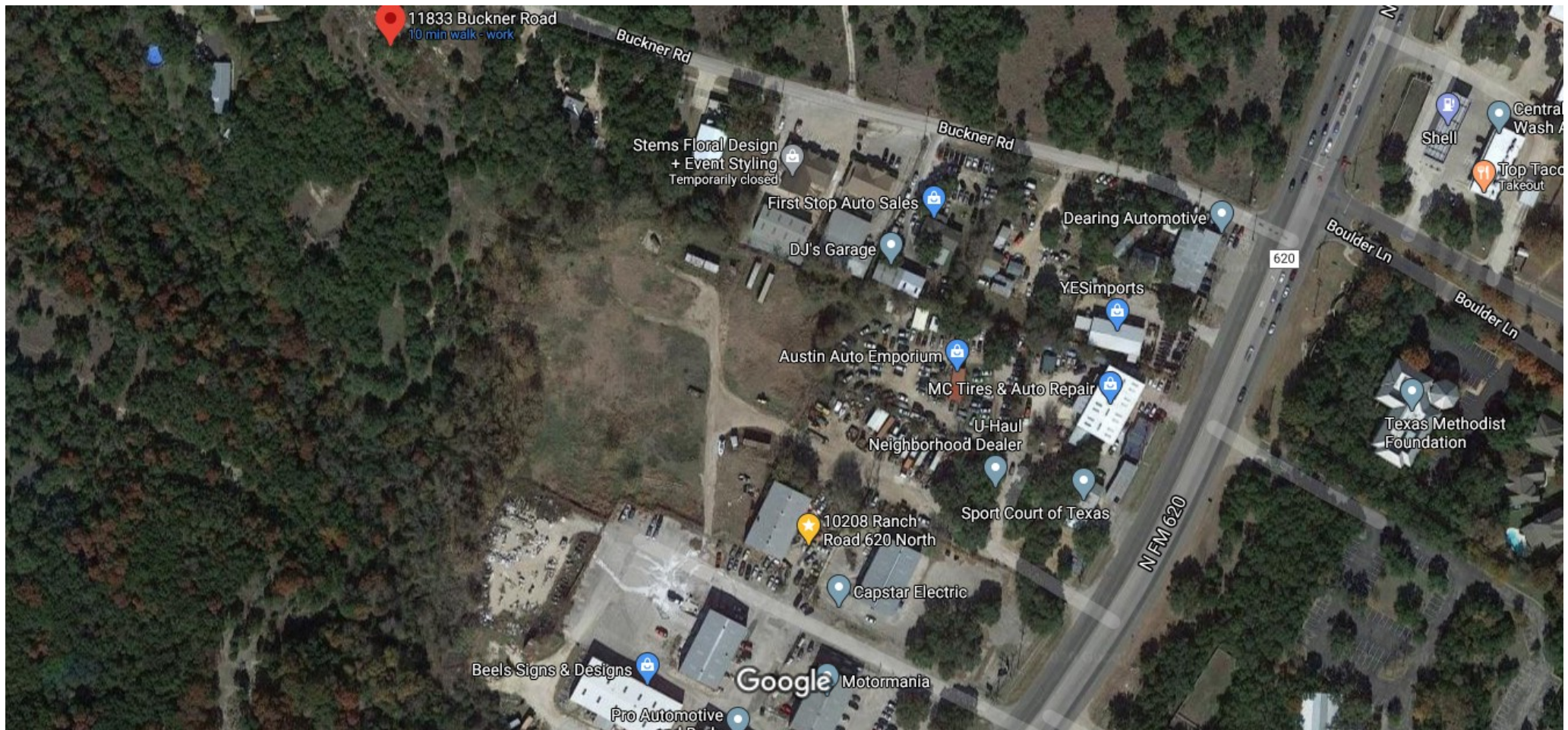
Street View





11833 Buckner Rd

map with all business showing



Imagery ©2020 CAPCOG, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2020

100 ft

**From:** Cindy Smith  
**To:** [Sirwaitis, Sherri](#)  
**Subject:** C14-2020-0040  
**Date:** Tuesday, May 12, 2020 7:55:31 AM

---

\*\*\* External Email - Exercise Caution \*\*\*

I live next door at 12013 Buckner Road. The subject property is in between two residential properties and our neighbor owns the property behind it. Our well is very near the western property line. We've heard the proposed development is an automotive shop and used car lot.

The very definition of GR is ...serving neighborhood and community needs... There is already a used car dealer up the road, Volvo is building on the other side of the road, there's an automotive shop at the front of the road. Our community doesn't need more junky cars on the road and I don't want them to put in something without the proper grease/oil traps and disposal because our well could possibly become tainted. Our well is our only water source. I also don't want my property value to go down.

The used car place up the road already has moved a line of cars outside their fence and they are right up the edge of the narrow road. It's not a pleasant experience and I fear that another such business will add to the unsightly mess, but my largest fear is my well being contaminated and my property value going down.

Mr. Zavareh cut down all the heritage oaks on the property, started building up the building forms, brought in gravel, etc. when the property wasn't zoned for this building. That very act doesn't show me good faith that the property will be developed within city codes which will be safe for my residence. It does show me that he will try anything in hopes that he won't be caught. Did he have a building permit? Did he go through proper planning?

My husband and I would like to attend the online zoning and platting commission on May 19, 2020

Cindy Smith  
12013 Buckner Rd.  
Ausitn, TX 78726  
512-578-9027

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## PUBLIC HEARING INFORMATION

This zoning/rezoning request will be reviewed and acted upon at two public hearings: before the Land Use Commission and the City Council. Although applicants and/or their agent(s) are expected to participate in a public hearing, you are not required to participate. This meeting will be conducted online and you have the opportunity to speak FOR or AGAINST the proposed development or change. Contact the case manager for information on how to participate in the public hearings online. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During its public hearing, the board or commission may postpone or continue an application's hearing to a later date or may evaluate the City staff's recommendation and public input forwarding its own recommendation to the City Council. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice is required.

During its public hearing, the City Council may grant or deny a zoning request or rezone the land to a less intensive zoning than requested but in no case will it grant a more intensive zoning.

However, in order to allow for mixed use development, the Council may add the MIXED USE (MU) COMBINING DISTRICT to certain commercial districts. The MU Combining District simply allows residential uses in addition to those uses already allowed in the seven commercial zoning districts. As a result, the MU Combining District allows the combination of office, retail, commercial, and residential uses within a single development.

For additional information on the City of Austin's land development process, visit our website:

[www.austintexas.gov/planning](http://www.austintexas.gov/planning).

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before the public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: C14-2020-0040

Contact: Sherri Sirwaitis, 512-974-3057

Public Hearing: May 19, 2020, Zoning and Platting Commission

Petrucci + Alise McElwainy

Your Name (please print)

12005 Buckner RD - Austin 78726

☐ I am in favor  
☒ I object

Your address(es) affected by this application

Alison McElwainy

5-18-2020

Signature

Date

Daytime Telephone: 512-335-6781

Comments: This plot sits in the middle of 3

residences. All are on wells that are

close to the property being re-zoned. We

are worried that hearing commercial

establishment so close may affect our

wells, and quality of life.

Thank you,

Alison + Pat McElwainy

If you use this form to comment, it may be returned to:

City of Austin, Planning & Zoning Department

Sherri Sirwaitis

P. O. Box 1088, Austin, TX 78767-8810

Or email to:

[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)

**From:** Jill  
**To:** [Sirwaitis, Sherri](#)  
**Cc:** [Zavareh Ramin](#)  
**Subject:** Case #2020-043819  
**Date:** Monday, May 18, 2020 10:55:18 AM

---

\*\*\* External Email - Exercise Caution \*\*\*

In Reference to Case #2020-043819 : 11833 Buckner Road, Austin, TX 78726

Dear Mrs. Sirwaitis,

My name is John Cheline and am owner of Innovative Construction Services. I have officed at this location for the better of 30 years and am very familiar with all the adjacent businesses on Buckner Road and at 10208 RR620 complex, (i.e. MotorMania, Don's Classic Cars, Wolf Auto, Pro Automotive, MC Tires, DJ Garage, Time Warner, Kindred Services, Magic Touch Auto, Austin Auto Emporium, Austin Motor Sports, Cascade Custom Pools, Beels Signs and Designs, Venture Underground, Sport Court, etc) and a new Volvo dealer going in soon. These are very much daily working businesses, not storage, not warehouses.

Buckner Road is currently comprised of businesses including the Cabinet Shop, right next to the property in question, along with an A/C Company, Kindred Services, on the other side of the property. I am in favor of rezoning to commercial vs residential due to the fact there are already a majority of businesses.

Thank you,  
John Cheline  
Innovative Construction Services  
10208 RR 620 North  
Austin, TX 78726

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**From:** [Sirwaitis, Sherri](#)  
**To:** [Ramin Zavareh](#)  
**Subject:** RE: FW: Voice Message from 5122946337  
**Date:** Monday, May 18, 2020 8:51:00 AM

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Hi Mr. Zavareh,

I am forwarding the pdf information that I can access that you sent you me late Friday afternoon to the Commission Liaison, Andrew Rivera, so that he can include it with the backup material for this case. The information that you have provided speaks to businesses that front onto and take access to North FM 620 Road, not onto Buckner Road. Some of these businesses, including the properties owned by JASS and JASS2, are located outside of the City of Austin in Travis County. Therefore, they are not subject to zoning regulations.

Sincerely,

***Sherri Sirwaitis***

*City of Austin*

*Planning & Zoning Department*

[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)

*512-974-3057(office)*

**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>  
**Sent:** Friday, May 15, 2020 6:12 PM  
**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>  
**Subject:** Re: FW: Voice Message from 5122946337

if u can please call me when u get this documents that shows the info you have is wrong based on letters that has gone out surrounding properties and the entire buckner rd , the property next to me is house and you are correct on that but all the other surrounding properties are business and have multiple business listings registered with travis county.all these files are maps with business listings and what they all do in all the surrounding area including JASS and JASS2 that back of it meets my property and thats why letters was sent out to the owner and all the tenants that are in them. please look at the files I sent u last time that has the map and all the business listings and pic of street view of each business that if you go by them you will see that they are business that I have written on the sheet for them and almost all of them have registered business with travis county as well. if you call me I can go over them one at a time with u over the phone

On Fri, May 15, 2020 at 10:43 AM Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Hi Mr. Zavareh,

I checked the Travis County Appraisal District records for the properties directly adjacent to your

site. The property to the east at 11829 Buckner Road (Property ID: 440701) is owned by River Place Holdings Corp. and is taxed as a 1568 sq. ft. single family dwelling unit. The property to the west at 12013 Buckner Road (Property ID: 440724) is owned by Phillip M. Smith and is taxed as a 1814 sq. ft. single family dwelling unit. The tract of land to the north is part of the old Stokes Ranch site (Property ID: 440987). It is now owned by Budget Leasing, Inc. and is undeveloped (no improvements) zoned DR and fronts onto FM 620 Rd. The property to the south at 12025 Buckner Road (Property ID: 441023) is owned by Patrick and Alice McElhenny and is taxed as a 1456 sq. ft. residential manufactured home.

The surrounding properties are all listed as residential uses by the County. The zoning for these tracts, DR and SF-3, only permit residential uses.

The property that you spoke of that is owned by Jass 2 Inc. is located at 10208 N Ranch Road 620 (Property ID: 440715) and is listed as an office/warehouse. This property is not directly adjacent to your tract of land. It is located to the southeast in the county and fronts onto FM 620 Road.

Sincerely,

***Sherri Sirwaitis***

*City of Austin*

*Planning & Zoning Department*

[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)

*512-974-3057(office)*

**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>

**Sent:** Friday, May 15, 2020 10:06 AM

**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>

**Subject:** Re: FW: Voice Message from 5122946337

is it too late for me to add a few travis county appraisal district pages that shows all the business that are surrounding the lot to my case file ? I have record of all businesses that are registered with travis county that shows that all the surrounding properties are being used for commercial including the 2 properties right after me except 3 properties that 2 are empty lands ?  
ty to t

On Fri, May 15, 2020 at 9:29 AM Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)> wrote:

thanks for all your help and putting up with me so far. I appreciate your patients

On Fri, May 15, 2020 at 9:16 AM Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)> wrote:

thanks

On Fri, May 15, 2020 at 9:13 AM Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Mr. Zavareh,



Andrew Rivera, the Commission Liaison, will contact you about the Commission speaking process.

Thank you,

***Sherri Sirwaitis***

*City of Austin*

*Planning & Zoning Department*

[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)

*512-974-3057(office)*

**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>

**Sent:** Friday, May 15, 2020 8:38 AM

**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>

**Subject:** Re: FW: Voice Message from 5122946337

thanks for the info , I have called the person that handles the meeting phone calls so I can register with them for tuesday but havent heard back yet. will they email me or call me or something to be set up for that ? what kind of software will they be using so I can make sure my documents and proofs are compatible for the presentation?

On Fri, May 15, 2020 at 8:13 AM Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Hi Mr. Zavareh,

Here is the posting information for the Zoning and Platting Commission meeting where the backup material can be reviewed:

[http://austintexas.gov/cityclerk/boards\\_commissions/meetings/54\\_1.htm](http://austintexas.gov/cityclerk/boards_commissions/meetings/54_1.htm)

The Commission agenda should be posted later today on this web page and it will contain directions on how to speak on the items on the agenda.

Sincerely,

***Sherri Sirwaitis***

*City of Austin*

*Planning & Zoning Department*

[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)

*512-974-3057(office)*

**From:** Don Schmidt  
**To:** [Sirwaitis, Sherri](#)  
**Subject:** Cause c14-2020-0040  
**Date:** Monday, June 1, 2020 6:11:47 AM

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\*\*\* External Email - Exercise Caution \*\*\*

I believe this property should be zoned commercial as all of the property up to this is commercial except for the rent house next to him and I understand the owner wants to turn that into office space. Even the people that are complaining about this are running businesses from their homes, cabinet shop and A/C company. Thank you Don Schmidt

Sent from my iPhone

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**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>  
**Sent:** Thursday, May 14, 2020 11:16 AM  
**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>  
**Subject:** Re: FW: Voice Message from 5122946337

did you get the email with the 20 file attachment of all the area businesses and maps to the area so it is attached for my presentation for tuesday?

On Thu, May 14, 2020 at 11:13 AM Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Hi Mr. Zavareh,

I would recommend that you watch the last land use commission meeting, the May 12, 2020 Planning Commission meeting, on the city's website at:

<http://austintx.new.swagit.com/videos/61813>

<http://austintx.new.swagit.com/videos/search?utf8=%E2%9C%93&q=planning+commission>

This will help you follow the process for presentations on items on the Commission agenda.

Thank you,

***Sherri Sirwaitis***  
*City of Austin*  
*Planning & Zoning Department*  
[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)  
*512-974-3057(office)*

**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>  
**Sent:** Wednesday, May 13, 2020 6:05 PM  
**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>  
**Subject:** Re: FW: Voice Message from 5122946337

the last zap meeting you had I am trying to watch it so I can have idea of how my case has to go to prepare myself on it .do u have the link to the recorded video? I have looked it up but its not showing me the right video since non of them seem to have any zoning discussion?

On Wed, May 13, 2020 at 3:34 PM Sirwaitis, Sherri  
<[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Hi Mr. Zavareh,

You can state over the phone when you are asked to speak on the case that you wish for your attorney to speak for you on the case. You will both need to call in and be on the teleconference line.

The Planning and Zoning Department's mailing address is:

CITY OF AUSTIN  
PLANNING & ZONING DEPT.  
ATTN: SHERRI SIRWAITIS  
P.O. BOX 1088  
AUSTIN TX 78767

Please be aware that a representative from the department is only checking mail once a week while we are under stay at home/teleworking orders.

Thank you,

***Sherri Sirwaitis***

*City of Austin*

*Planning & Zoning Department*

*[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)*

*512-974-3057(office)*

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**From:** Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)>

**Sent:** Wednesday, May 13, 2020 2:46 PM

**To:** Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>

**Subject:** Re: FW: Voice Message from 5122946337

\*\*\* External Email - Exercise Caution \*\*\*

sherri if I want my attorney to talk on my behalf on the day of the hearing is there anything in particular I need to do? or can he call in from different phone than me ? or do we have to be both on the same call?

Also what is your address if we need to send you certified letter or if he needs to contact you?

Ramin Zavareh

On Mon, May 11, 2020 at 4:56 PM Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)> wrote:

attached are print screens of the maps of the area that shows the street and all



the business that are around my property line and it shows how Majority of them are all auto sales/ service . please attach the 4 to my case and I will try to work on getting my neighbors to write me letters as well that are in support of my rezoning. thanks

On Mon, May 11, 2020 at 2:05 PM Ramin Zavareh <[raminbz@gmail.com](mailto:raminbz@gmail.com)> wrote:

Can u please call me at 512 294 6337 or if there is wat we can do face time or sometjing about my application as i might need to post pone the hearing and i needed to talk u in more detail about my apllication

Thanks

Ramin zavareh

On Thu, Apr 23, 2020, 3:07 PM Sirwaitis, Sherri

<[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)> wrote:

Hi Mr. Zavareh,

I received your voice mail today. Here is the rezoning application that was submitted for this case. The application states that the proposed use is for Automotive Sales and Automotive Service. If you need to clarify the proposed uses for this property, please e-mail a signed letter to me that states the zoning you are requesting and the proposed uses you are planning to develop at this location.

Thank you,

Sherri Sirwaitis  
City of Austin  
Planning & Zoning Department  
[sherri.sirwaitis@austintexas.gov](mailto:sherri.sirwaitis@austintexas.gov)  
512-974-3057(office)

-----Original Message-----

From: [ctmavayaalerts@austintexas.gov](mailto:ctmavayaalerts@austintexas.gov) <[ctmavayaalerts@austintexas.gov](mailto:ctmavayaalerts@austintexas.gov)>

Sent: Thursday, April 23, 2020 10:04 AM

To: Sirwaitis, Sherri <[Sherri.Sirwaitis@austintexas.gov](mailto:Sherri.Sirwaitis@austintexas.gov)>

Subject: Voice Message from 5122946337

Voice message copy

Caller: 5122946337

Duration: 01:29

To hear the voice message, play the attached recording or call your Messaging mailbox.

Messaging access number: (512)974-9410

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## JASS

1.390902 Property ID Number  
10208 N RANCH RD 620 Austin TX 78726  
1-B  
MOTOR MANIA  
INC Auto service/boat sales/auto sales ETJ Travis county  
2.403236  
10208 N ranch rd 620 Austin TX 78726  
Dons classic automotive Sold to Capital collision ETJ Travis County  
Auto Paint and body shop  
3.848353  
10208 N ranch rd 620 Austin TX 78726  
6-A  
Wolf automotive machine LLC  
4.880267  
10208 N ranch rd 620 Austin TX 78726  
3-B  
5.880267  
10208 N ranch rd 620 Austin TX 78726  
3-b  
Traveltime artisian LLC ETJ travis county ETJ Travis county  
Rock/ counter top sales  
6.394135  
10208 N ranch rd 620 Austin TX 78726  
5-A  
Pro automotive Travis county ETJ  
Auto sales and service and bodyshop  
7.407912  
10208 N ranch rd 620 Austin TX 78726  
6-C  
Terry Maxwell electric INC  
Electrician shop  
8.910350  
10208 N ranch rd 620 Austin TX 78726  
2-A  
Cascade custom pools INC Travis county ETJ  
Commercial pool company  
9.825989  
10208 N ranch rd 620 Austin TX 78726  
6-B  
Beels signs and designs Sign making company  
10.796281  
10208 N ranch rd 620 Austin tx 78726  
4C  
Austin Motor Sports  
used car dealer sales