

**RESOLUTION NO. 20050623-063**

**WHEREAS**, the City Council of the City of Austin has found that public necessity requires the acquisition by the City of certain real property interest as stated hereinafter for the purposes hereinafter stated; and

**WHEREAS**, the City of Austin has attempted to purchase said real property interest and has been unable to agree with the owners of that real property interest on the fair market value thereof; **NOW, THEREFORE**,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:**

That the City Attorney, or other authorized designee, is hereby authorized and directed to file or cause to be filed a suit in eminent domain on behalf of the City of Austin against the owners now having or who may acquire an interest in the real property interest needed by the City, to acquire a certain real property interest at the location hereinafter stated, for the purpose hereinafter stated, and from the owners hereinafter stated and/or their successors in interest, and to take whatever other action may be deemed appropriate to economically effect the needed acquisition; said real property interest to be acquired is described in Exhibits "A," which is attached hereto and made a part hereof for all purposes.

The City Attorney or other authorized designee shall file eminent domain proceedings for:

Owner: Michael R. Hemer and Carolyn Blasdale

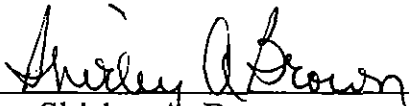
Project: Downtown/White Horse Trail Wastewater Improvements Project, a portion of the Austin Clean Water Program

Intended Purpose: temporary working space easement, the temporary easement listed above is necessary to install wastewater lines to upgrade and improve wastewater lines, to prevent leakage of wastewater lines, and to comply with a federal mandate.

Location: 2400 White Horse Trail, Austin, Texas, and see attached field note.

ADOPTED: June 23, 2005

ATTEST: \_\_\_\_\_

  
Shirley A. Brown  
City Clerk

Michael R. Hemer and Carolyn Blasdel  
Lot 60, Allandale Section Three  
To  
City of Austin  
(For 15' Temporary Working Space Easement)

**FIELD NOTES FOR PARCEL 5106.18 TWSE**

**ALL OF THAT CERTAIN 0.052-ACRE (2,256 SQUARE FEET) TRACT OR PARCEL OF LAND SITUATED IN THE GEORGE W. SPEAR LEAGUE AND THE JAMES P. DAVIS SURVEY, CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OUT OF LOT 60, ALLANDALE SECTION THREE, A SUBDIVISION IN THE CITY OF AUSTIN, RECORDED IN PLAT BOOK 5, PAGE 102 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS AS CONVEYED BY WARRANTY DEED TO MICHAEL R. HEMER AND CAROLYN BLASDELL RECORDED OCTOBER 13, 1995 IN VOLUME 12543, PAGE 1451 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:**

**BEGINNING FOR POINT OF REFERENCE** at a 1/2" iron rod with plastic cap set on the north right-of-way line of White Horse Trail (50' R.O.W.) at the common front corner of said Lot 60 and Lot 59 of said Allandale Section Three; **THENCE**, with the north right-of-way line of said White Horse Trail N62°41'28"W a distance of 100.00 feet to a calculated point having Texas State Plane Coordinate (Texas Central Zone, NAD '83 (CORS), U.S. Feet, Combined Scale Factor 0.999919) values of N= 10,096,676.09 and E= 3,113,895.54 for the southeast corner and **POINT OF BEGINNING** of the herein described tract of land;

**THENCE**, with said north right-of-way line of White Horse Trail, N62°41'28"W a distance of 15.00 feet to a calculated point in the west line of a 5-foot public utility easement (P.U.E.) as recorded in said Allandale, Section Three plat and also in Volume 1059, Page 98 of the Deed Records of Travis County, Texas for the southwest corner of this tract;

**THENCE**, with said west line of 5-foot P.U.E., N27°19'38"E", passing at a distance of 145.39 feet the south line of another 5-foot P.U.E. as recorded in said Allandale, Section Three plat and continuing for a total distance of 150.39 feet to a calculated point on the rear line of said Lot 60, same being the south line of Lot "A", Fred McNair Subdivision as

recorded in Book, 77, Page 201 of the Plat Records of Travis County, Texas for the northwest corner of this tract;

**THENCE**, with the common line between said Lot 60 and said Lot "A, S62°42'18"E a distance of 15.00 feet to a calculated point for the northeast corner of this tract;

**THENCE**, S27°19'38"W, passing at a distance of 5.00 feet said south line of said 5-foot P.U.E. and continuing for a total distance of 150.40 feet to the **POINT OF BEGINNING** and containing 0.052-acre (2,256 square feet) of land, more or less.

**I HEREBY CERTIFY** that these field notes were prepared by Landmark Surveying, Inc. from a survey made on the ground in November of 2004 under my supervision.

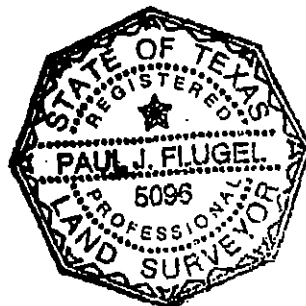
Prepared by **Landmark Surveying, Inc.**

  
Paul J. Flugel

Registered Professional Land Surveyor No. 5096

Date: December 21, 2004

Revised: January 25, 2005



Bearing Basis: Texas State Plane Coordinates (Texas Central Zone, NAD '83 (CORS), U.S. Feet, Combined scaled factor = 0.999919). All data derived from NAD '83 grid coordinates for CB53, Cb54 and CB55 as supplied by the City of Austin Monument Data Sheets

Z:\ClaunchandMiller\Whiterock\fieldnotes\lot60-Allandale3-15'twse  
Austin Map No 525, Grid J28  
TCAD No. 02-3203-0506

**FIELD NOTES REVIEWED**

By:  Date: 1-27-05

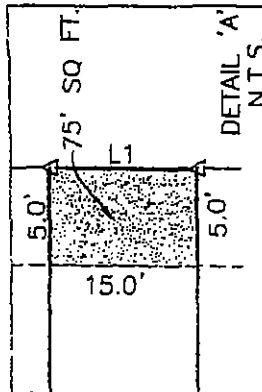
Austin Clean Water Program  
Survey Coordinator

LLV/ML

- 1/2" IRON ROD SET W/CAP
- 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
- △ CALCULATED POINT (NOT ESTABLISHED ON GROUND)
- ( ) RECORD INFORMATION
- P.O.R. POINT OF REFERENCE
- P.O.B. POINT OF BEGINNING
- P.R.T.C.T. PLAT RECORDS
- D.R.T.C.T. DEED RECORDS, TEXAS
- O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS
- R.P.R.T.C.T. REAL PROPERTY RECORDS
- T.R.T.C.T. TRAVIS COUNTY, TEXAS

# LINE TABLE

L1 S 62°42'18" E 15.00'  
 L2 N 62°41'28" W 15.00'  
 L3 S 62°42'18" E 5.00'



NAD 83  
 COORDINATE SYSTEM (GRID)  
 TEXAS CENTRAL (4203)  
 COMBINED SCALE FACTOR 0.9999919  
 NAVD 88 VERTICAL DATUM  
 HORIZONTAL AND VERTICAL COORDINATES FOR CB 53, CB 54, AND CB 55 AS PUBLISHED BY THE CITY OF AUSTIN, WERE USED AS THE CONTROLLING MONUMENTS FOR THIS SURVEY.

AS SURVEYED BY  
 LANDMARK SURVEYING, INC.

*Paul J. Fluegel*

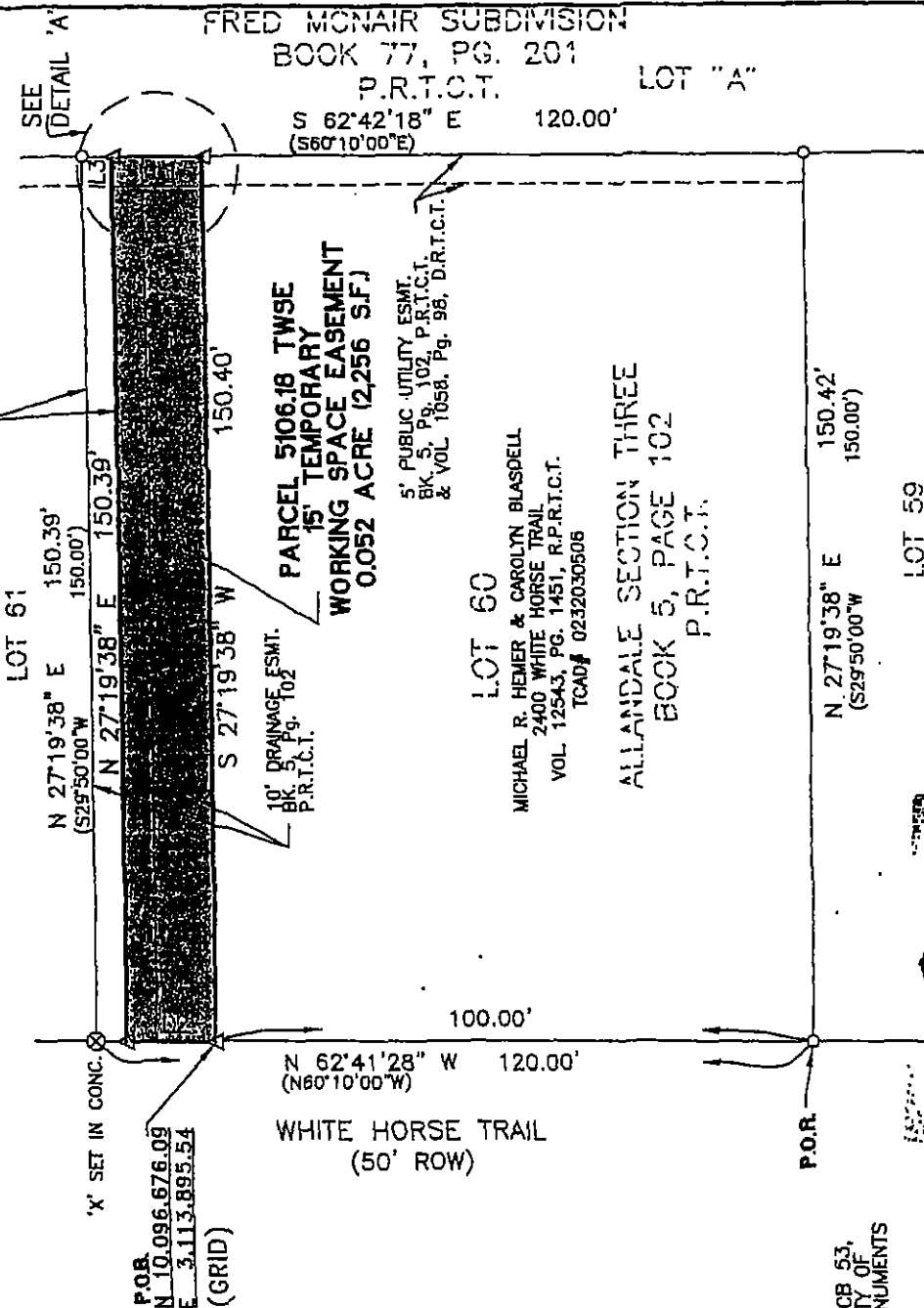
PAUL J. FLÜGEL  
 Registered Professional Land Surveyor No. 5096  
 DATE : DECEMBER 21, 2004

THIS SURVEY PLAT IS VALID ONLY IF IT BEARS THE  
 SIGNATURE AND SEAL OF THE ABOVE SURVEYOR.

Client: CLAUDE & MILLER, INC.  
 Date: DECEMBER 21, 2004  
 Office: KGV  
 Draw: JMG, AOC, JMG  
 F.B.: 777, 780  
 Disk: c:\jmg\claunch and miller\whitlock\drawings\grid-sta\claunch-whitlock  
 Cogo: c:\jmg\claunch\whitlock c:\jmg\claunch\whitlock  
 Job No.: 368-03-04

## SURVEY OF A PORTION OF LOT 60, ALLANDALE, SECTION THREE, CITY OF AUSTIN, TRAVIS COUNTY, TEXAS

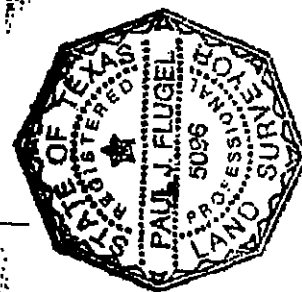
SCALE 1"=30'



SKETCH TO  
 ACCOMPANY  
 FIELD NOTES

**Landmark**  
 SURVEYING, INC.

1301 S. CAPITAL OF TEXAS HWY.  
 BUILDING 6, SUITE 315  
 AUSTIN, TEXAS 78746  
 PH: (512)328-7411 FAX: (512)328-7413



claunch-whitlock-estmils.dwg