

DESIGNWORKSHOP

REPUBLIC SQUARE MASTER PLAN REPORT

Austin, Texas

MASTER PLAN

July 22, 2013 FINAL DRAFT





Photo of "Auction Oaks" within parking lot, circa 1960.
(Photo courtesy of Austin History Center)

Purpose of this document

This document captures the process and outcomes of the master planning effort by Design Workshop undertaken from March through September 2012. The clients for the 1.8 acre site are representatives of the Parks and Recreation Department within the City of Austin (PARD). The objective of this phase was to develop a master plan guided by principles of sustainability and urban design connectivity to create a first-class, community-supported, functional urban park space.

Design Workshop's Legacy Design process emphasizes a deliberate approach to sustainable design solutions that is comprehensive of four Legacy categories: environment, community, art and economics. All aspects of the design process and foundational thinking for a project are captured in this document. *Issues* associated with the project and our client's *Critical Success Factors* are defined at the outset. The design team and client define a project *Vision*, a problem statement called a *Dilemma* and a design solution called a *Thesis*. These steps are intended to build a strong foundational story for the project that aligns the design team and client to the same *Principles* and *Legacy Goals*. DW Legacy Design® metrics are employed to ensure that the project is accountable to comprehensive *Legacy Goals* set at the beginning of the process.

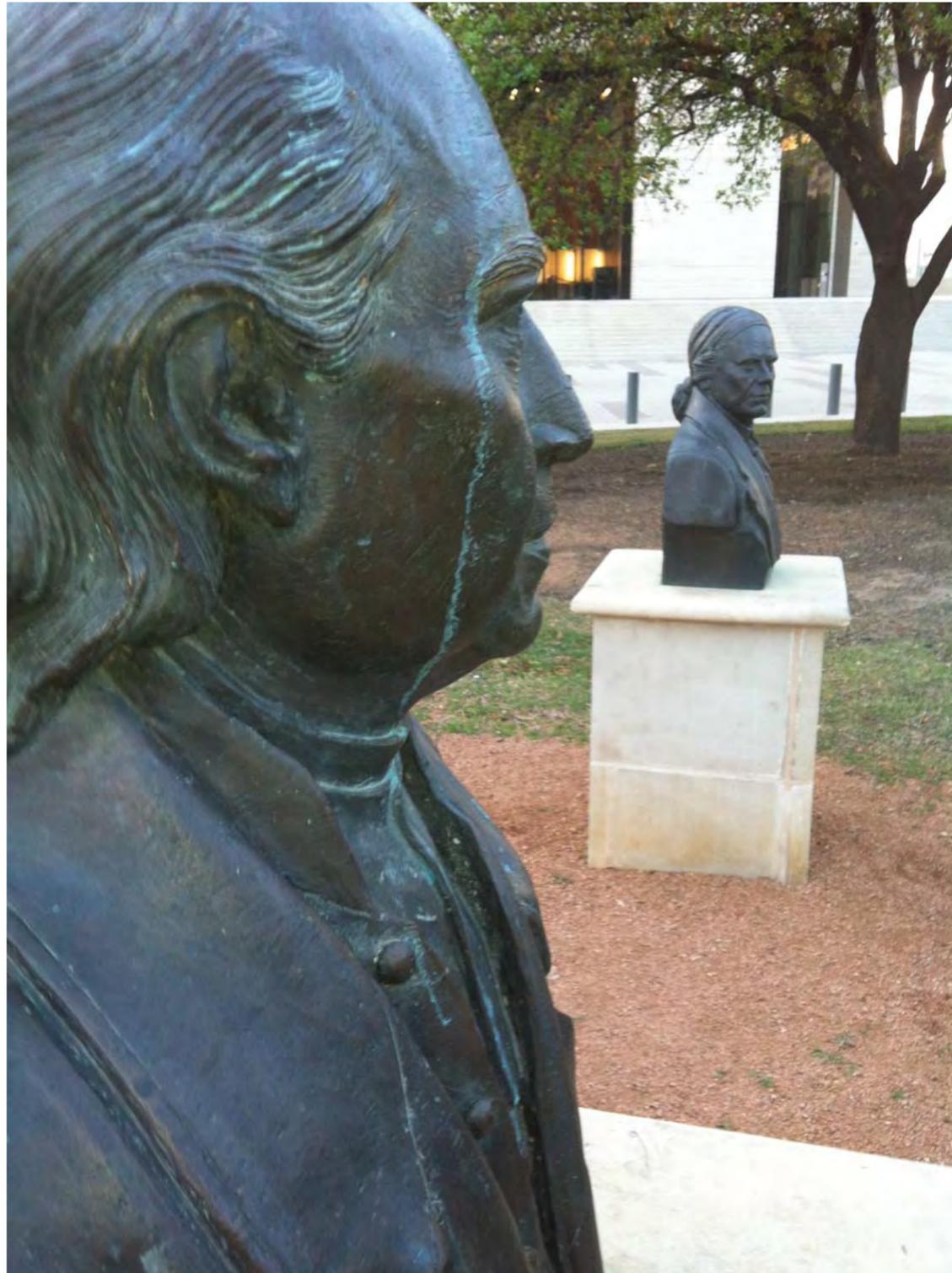
This document provides a visual and textual story of the design analysis, definitions and discoveries that led to planning solutions and conclusions. It is intended for client use in presenting the Master Plan vision to municipal officials for approvals, to educate the public on the decision-making process, and to serve as the foundation for the next phases of the design process in which the plan will evolve.

Cover Image: Rendering showing proposed promenade area along 5th St.

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PROJECT OVERVIEW



Sculptural busts of "Founding Fathers" Miguel Hidalgo and Jose Morelos were moved from Waterloo Park to just north of the deck at Republic Square due to the construction of the Waller Creek Tunnel in 2011.

Project Background

Republic Square has gone by many names and has hosted many uses since its inception in the 1830s. It was originally set aside as one of four “Public Squares” and has been a prominent social space for much of its history. It includes three of the most significant trees in the city. Frequently called the “Auction Oaks”, this group of trees formed the location of the auctioning of Austin’s original city lots in the 1800s. The trees have witnessed the transformations of the Park, as well as the city around it. Today, the Park is at the center of a rapidly changing district within downtown Austin. As a result of development pressure, several stakeholders in the area have initiated planning, programming and design efforts that revolve around the Park, with the most recent being an update of the “Vision Plan” created for the Park and Operations Plan.

City leadership and downtown interest groups all recognize the importance of planning for urban parks as community resources, and they intend to make places such as Republic Square more than incidental green space. Urban parks in downtown Austin should emphasize sustainable economics, community relevance, cultural significance, environmental leadership, and local pride. The Park should be a highly influential part of downtown, reaching into adjacent blocks to influence how redevelopment occurs.

Recent transportation planning around the Park has added a new and complex layer of activity. Effectively planning for such activity involves more than just installing a sidewalk along the edge of a busy street. It requires the careful creation of an environment that suits walking, bicycling, and transit, and it requires planning for speeds that allow for mobility and commerce while providing safe environments for pedestrians and bicyclists. Importantly, planning for urban parks should also consider the economic health of adjacent land uses and help plan for potential development and redevelopment that enhances the economies of local communities.



Park use during the week is dominated by nearby residents and their pets.



The Park hosts a wide range of events throughout the year.



Demolition of sidewalks and flat work beneath “Auction oak” trees as part of recent improvements. (Photo courtesy of DWG)



View of “Auction Oaks” prior to recent improvements. (Photo courtesy of DWG)

Photo by Daniel Woodruff

DW Legacy Design® Method

To generate the Republic Square Master Plan, Design Workshop employed the DW Legacy Design method, which begins with a narrative foundation for the project and then continues to advance the various components of that narrative throughout the design process.

At the outset, Design Workshop defined issues associated with the project and the project's Critical Success Factors, as developed in concert by the design team, the client and various stakeholders. In the initial stages of the project, the team worked with the client group to define a Project Vision, Project Dilemma, which is a problem statement, and a Project Thesis, which is a potential design solution. These steps led to a strong foundational story for the project from which the consultant team and the client were able to establish set of common principles and goals for the project. The consultant team used metrics based on existing site conditions and benchmarks from similar built projects to develop a set of project elements that can be measured. These metrics provide the consultant team with evidence that allows them to compare the Master Plan's Preferred Concept with the Park's existing conditions from the project's outset as well as with other comparable built projects. All metrics fall into four categories as defined by Design Workshop Legacy Design: environment, community, art and economics.

Information Gathering

The first step in the design process involves gathering and assembling the facts at hand in order to understand the issues and opportunities surrounding the project. This comprehensive analysis helps to inform the plan.

Critical Success Factors:

The Design Workshop consultant team identified and confirmed the following Critical Success Factors for Republic Square with leadership from the Austin Parks and Recreation Department and through conversations with stakeholders. These factors reflect the results that are most important for the communities to consider the Republic Square planning process a success.

- The team shall inform the plan with a comprehensive analysis;
- The decision-making process shall be transparent and inclusive;
- The project shall develop the approach and outcomes so that they may serve as a prototype for other downtown parks in respect to furnishing and process;
- The project shall create a realistic (and therefore creative) operations and management strategy by providing an analysis of potential revenue generating sources including vendor and partnership opportunities;
- The project shall provide an implementation plan that includes priorities, sequencing and funding/leveraging opportunities;
- The project shall fully explore public art opportunities (including both temporary and permanent art, the existing sculptural busts and the planned 5th St Mexican-American Heritage Corridor);
- The project shall preserve the existing "Auction oaks" and other significant trees;
- The project shall integrate with "Great Streets" policy and implementation in the area;
- The project shall provide opportunities for multi-generational users;
- The project shall create a "signature" park, reflecting the identity of the neighborhood;
- The project shall suggest design parameters for the surrounding developments;
- The team shall prepare detailed construction documents for Phase 2 improvements within available budget;
- The plan shall accommodate maintenance by PARD or in partnership with other organizations.

Project Vision:

This is a continuation of a design process that is in partnership with the Austin Parks Foundation. The team must work with project stakeholders to update the Republic Square Vision Plan, with particular attention paid to Park frontages of West 5th St, Guadalupe St, West 4th St and San Antonio St, which may include future streetscape and right-of-way ("Great Streets") improvements. A vision and character of the Park shall be defined and crafted into the plan and design of future phases, with phase 2 construction documents focusing upon the parkland proper.

Project Dilemma:

This dilemma highlights the complexities of the project and the need to create a comprehensive solution. Republic Square has the potential to be a premier park for thousands of local and regional users, but its current incarnation is largely under-programmed and fails to reflect the dynamic spirit of Texas' capital city. Furthermore, the challenge of achieving broad support for the Park's re-design is complicated by the Park's significance to stakeholders at many levels, ranging from federal, state and city governments, to members of the community who frequent the Park during events, to people who work downtown and residents living near the Park. Additionally, with limited public open space nearby, the Park is subject to more intense use than other comparable sized urban parks, and without adequate planning for Operations and Maintenance it faces the possibility of being loved to death.

Project Thesis:

The project thesis is a proposed solution to the central problem or issue articulated in the project dilemma;

- Acknowledgement of the history of the site and other plans that will influence this process such as Phase One and surrounding neighborhood plans;
- Enhancement of the connections – cultural, physical, historical, artistic, emotional, ecological, and economic;
- Comparability to other outstanding, urban, destination parks (and where possible surpass existing case studies) ;
- Ability to pay for implementation;
- Ability to financially support on-going operations and maintenance.

Project Goals

The following goals helped provide direction for the Project's development:

- Ensure funding for the long term operations and maintenance of the Park.
- Ensure the Park increases hedonic value of adjacent properties.
- Manage grackle population.
- Increase habitat for birds, squirrels and butterflies.
- Increase the comfort of Park users.
- Increase the health of plant material.
- Manage the Parks stormwater on-site.
- Minimize the amount of potable water used at the Park.
- Use reclaimed water for irrigation.
- Reduce heat island effect.
- Create a carbon-neutral Park.
- Increase diversity of programming.
- Increase diversity soft programming.
- Ensure the continued flexibility of the Park
- Increase awareness of the Park's historical significance.
- Ensure the Park users feel safe in and around Republic Square 24 hours of the day.
- Ensure views into Park are open and clear.
- Create seamless connections to the Park for pedestrians, bicyclists, transit riders, and people arriving by car.
- Incorporate the connection to the City's early history as a design narrative.
- Incorporate truly site specific cues into design and planning.
- Expand the seasonal interest of the Park to add dynamics.
- Increase the opportunities for creative expression in the Park.
- Allow local character to shine through in the design of the Park.
- Create an interesting view from above.
- Use local materials.

ANALYSIS AND BASELINES



The new Federal Courthouse and plaza were completed along the west side of the park in 2012. This facility required the closure of San Antonio St adjacent to the park, creating the possibility of a seamless connection between Park and plaza.

This section provides detailed analysis of the Park as it exists today. Each analytical piece begins with an introduction to the subject of analysis and is followed by a summary of the associated issues, opportunities and stakeholder feedback. The section is concluded with a summary of Community Workshop 1 and the first online poll, where the above analysis was presented to members of the public.

Project Context

Republic Square was established as one of four public squares and embedded into the fabric of downtown Austin as part of its original grid. Three of these squares, including Brush Square and Wooldridge Square, still exist, but the fourth public square, Hamilton Square, has since been developed.

Brush Square is located near the Austin Convention Center and current terminus of the METRO Red Line (commuter rail). It currently hosts a relocated historic home, fire station and open green space that is used for limited downtown events. The primary link to the site would be along 5th St due to improved pedestrian facilities and the planned 5th St Mexican-American Heritage Corridor. Wooldridge Square is a short distance to the north of the site, and currently consists of a performance platform surrounded by grassy slopes and mature shade trees.

The Shoal Creek and Lady Bird Lake systems are near the park, and provide a range of recreational opportunities. Extensive trails, cultural features and native vegetation areas line the edges of these systems, making them crown jewels of Austin. Likely linkages to these systems would be 4th St, and Guadalupe St respectively.

Other key features around the park include City Hall, ACL Moody Theater, Congress Avenue (which includes many cultural and arts attractions), and the Lance Armstrong Bikeway.

Land uses around the park are diverse. In addition to State, County and City office uses, the area is at the heart of a rapidly emerging mixed use district. There are an estimated 1,500 residences within a quarter mile of the Park, not to mention projects in planning or design will easily double that figure in the next decade. The Park is near several very popular entertainment and retail districts: Ballet Austin, 2nd St Retail District, 4th St (Warehouse district), and West 5th and 6th St.

Issues

- Conditions around the park are likely to change very quickly and may affect the Park in many ways.

Opportunities

- The ongoing Downtown Wayfinding Project can help park users find other resources, and potential Park users to find the Park;
- Through a diverse land use context, the Park has the potential to be utilized by many different people over different times of day;
- The Park could be a platform for the expansion of cultural attractions already in Downtown;
- The existing parks in the area are diverse, and serve a range of needs;
- The Park can provide a meaningful beginning or ending for people interested in the planned 5th St Mexican-American Heritage Corridor.

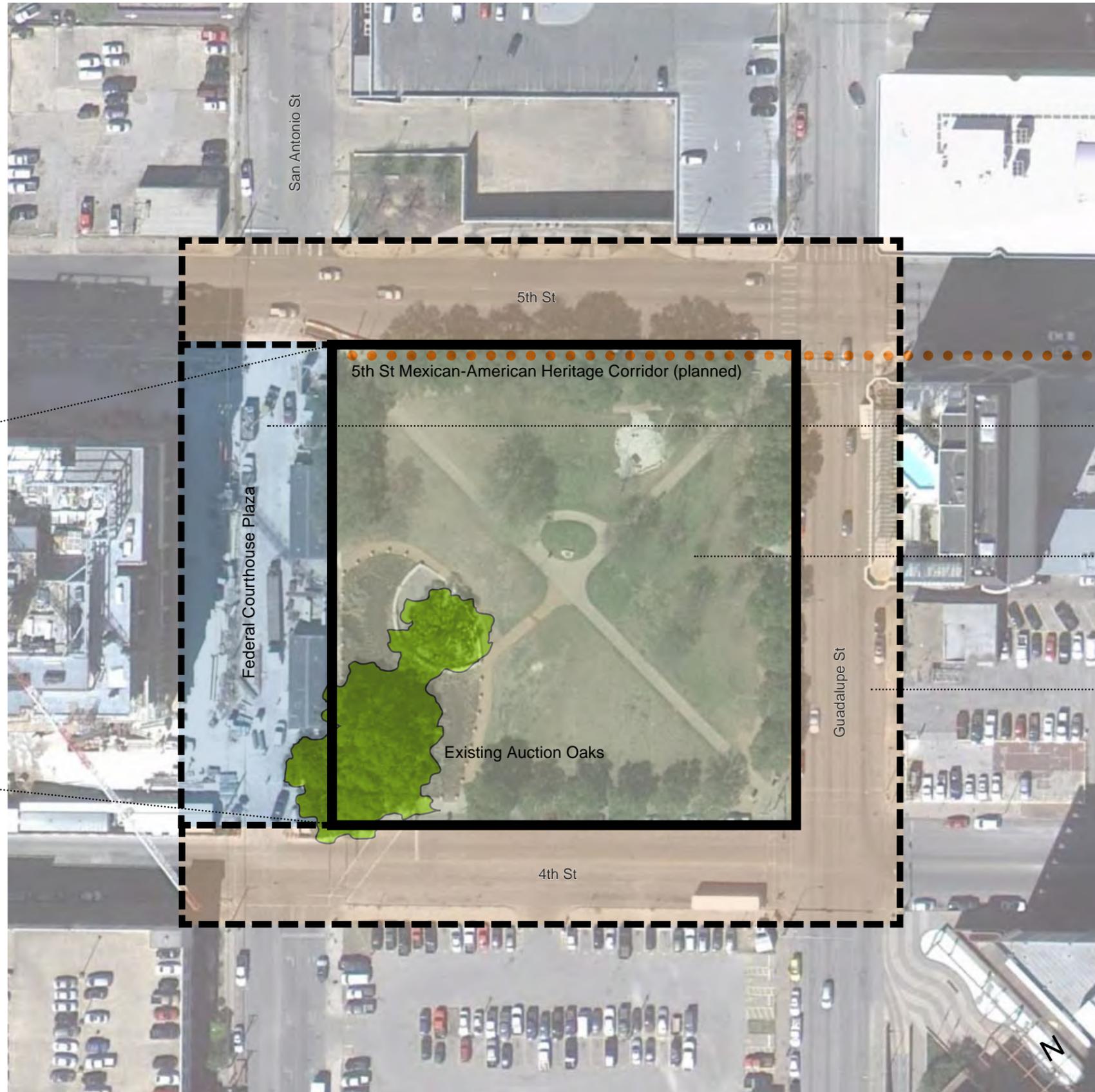
Stakeholder or Public Feedback

- Republic Square should work in concert with the other historic squares for both local and event needs;
- The Park should feel connected to cultural features around Downtown
- It is believed that Republic Square has a higher concentration of residents within a five block radius than any other park in the city;
- An Austin group is proposing a 5th St Mexican-American Heritage Corridor connecting Republic Square and Saltillo Plaza in East Austin;
- The City's ongoing Downtown Wayfinding Project to create a common theme of signage in downtown should pay attention to "branding" of different areas and points of interest in Downtown Austin.

1,508

Number of dwelling units within 1/4 mile of the site in 2010. There were 372 dwelling units in 2000.





0.46 acres

Federal Courthouse Plaza

2 acres

Republic Square (to curbs)

1.86 acres

Adjacent Remaining Right of Way

Benchmarks:

- Market Square (Houston, TX); 1.78 acres*
- Madison Square Park (NYC); 6.65 acres*
- Schenley Plaza (Pittsburgh, PA); 2.8 acres*
- Bryant Park (NYC); 5.1 acres*
- Jamison Square, Portland; 1.5 acres*

Park Context

The Park is situated between 4th St and 5th St to the north and south, as well as Guadalupe St and a closed portion of San Antonio St to the east and west respectively. The west edge of the Park will be adjoined to a plaza space that is being implemented as part of the overall federal courthouse project. The most significant existing features in the Park are the "Auction Oaks" that played a part in the history of the city. The park is also planned to serve as one of the terminus points for a planned 5th St Mexican-American Heritage Corridor that runs between downtown and East Austin.

Issues

- The dedicated park area is somewhat small compared to other urban parks with similar context;
- The adjacent right of way along 5th St and Guadalupe St are high volume and unlikely to be closed for events;
- Operational constraints for the new Federal Courthouse Plaza are somewhat unknown, and beyond City control in the future.

Opportunities

- 4th St is occasionally closed for events;
- Several surrounding properties are likely to redevelop and may be able to host programmable space.

Stakeholder or Public Feedback

- The block south of the Park is planned to become the Travis County Courthouse;
- Details on future uses on the blocks to the Southwest and Southeast are unknown, but are likely to be redeveloped to their highest use;
- The Federal Courthouse Plaza is seen as an extension of the Park.

Republic Square Today

The current conditions and uses of the Park are changing as the city around it is changing. It currently hosts a range of popular programs, and serves as a local park for the recent influx of downtown residents.

The daily use of the Park is focused on a modest number of visitors walking dogs or eating lunch. The weekends often fill the Park with visitors enjoying the Farmers' Market and other scheduled events.

Issues

- The current park elements do not create enough recreational diversity for the area;
- The Park often feels empty and does not have a strong sense of community ownership;
- Much of the content of the Park feels out of date;
- The Park is likely to be heavily used, meaning that it will need significant funds for adequate maintenance.

Opportunities

- The Park is very flexible and can accommodate a wide range of activities;
- There are many people living near the Park;
- Tree canopy in the Park makes it a relatively comfortable place to visit in the summer.

Stakeholder and Public Feedback

- The Park design should balance local use and event use;
- The Park should be more usable after dark;
- Sustainability is a significant issue with the downtown squares.

12%

Percent of usable park hours currently dominated by programmed events. This assumes the park is open 24-7.

16%

Percent of users who think the Park "captures the essence of Austin" (Public Meeting May 12, 2012).



Views to the west are dominated by the new Austin Federal Courthouse, "Auction Oaks," and wood deck area recently added to the Park. (Photo by Design Workshop)



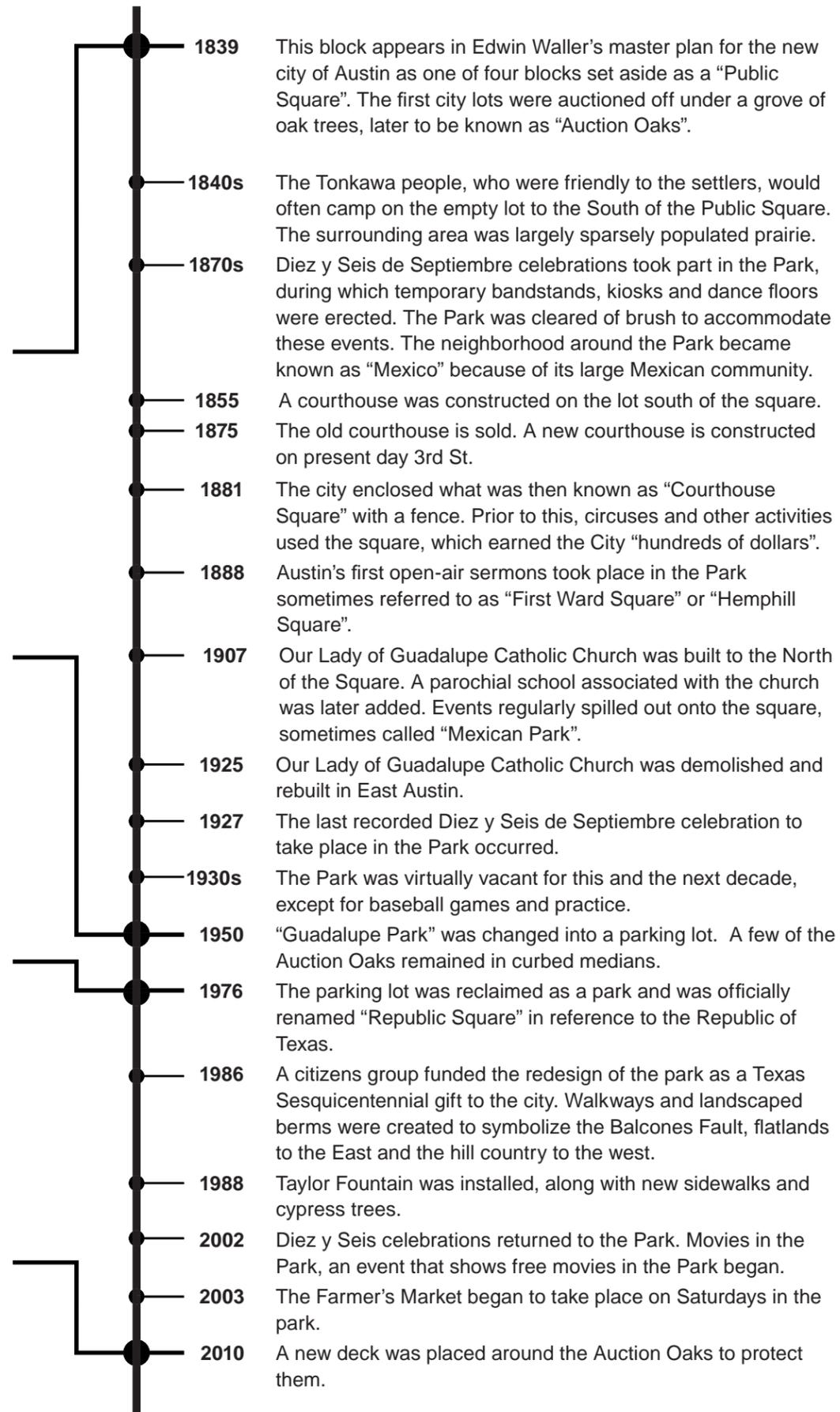
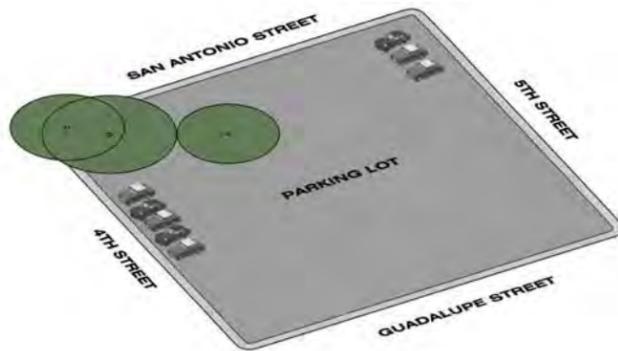
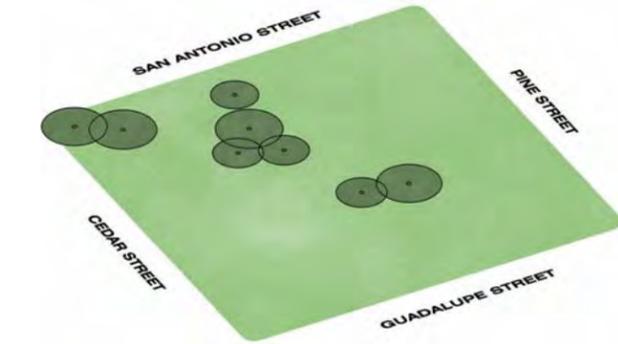
The street edges are currently defined by parking, furnishings, Live Oak trees, and paving areas implemented during the 1976 Park construction. (Photo by Design Workshop)



Deciduous trees, rolling berms, and open lawn areas dominate the core of the Park. Some portions of the circulation routes that were part of the 1976 Park construction remain. (Photo by Design Workshop)



The downtown Farmers' Market is the dominant temporary use of the Park. (Photo by Michael Knox)



General History

As one of the four original "Public Squares" designated in Austin's original master plan, the Park has hosted many uses over the years. At its inception, the Park was a flexible space that served many community needs. One particularly important event in the Square's early history was its role as the site where the first city lots were auctioned off under a grove of oak trees, later to be known as "Auction Oaks." In addition to serving the city's need for open space, the Square had a close association with Austin's Mexican-American and Catholic populations, largely due to its adjacency to the Our Lady of Guadalupe Catholic Church just one block north.

The Park has been known by a number of different names during its history, including "Public Square," "Courthouse Square," "First Ward Square," "Hemphill Square," "Mexican Park," and "Guadalupe Park." Over time, the Square was used less and less frequently and slowly transitioned into a parking facility for automobiles with only a collection of oaks preserved in a curbed area.

As part of the City's celebration of the US Bicentennial, the Square was reclaimed as a park and given its current name, "Republic Square." In the years that followed the Park was given the general layout that is there today, including the landscape berms, cruciform paths and the Taylor Fountain.

In the early 2000s the park began to host new community programs such as the Diez y Seis celebration, Movies in the Park, and the Farmers' Market. Around 2010, some of the landforms and walkways were removed to improve the health of the existing "Auction Oaks," and a new deck/stage feature was implemented.

Issues

- The existing "Auction Oaks" are currently thriving, but will inevitably decline in health as they continue to age;
- It is unclear what portions of the park should be considered "historic";
- As the park edges change, the historic footprint of the park may lose definition;
- Much of the context that historically drove the function of the park is gone.

Opportunities

- The historic story of the park should be expressed in the design;
- Trees propagated from those of the existing "Auction Oaks" could be used in the future.

Stakeholder and Public Feedback

- The park design should be consistent with the character of Austin;
- Preservation and continued emphasis on the health of the existing "Auction Oaks" is a priority;
- Too much emphasis on the Square's history could limit the Park's value and function for future users.

50%

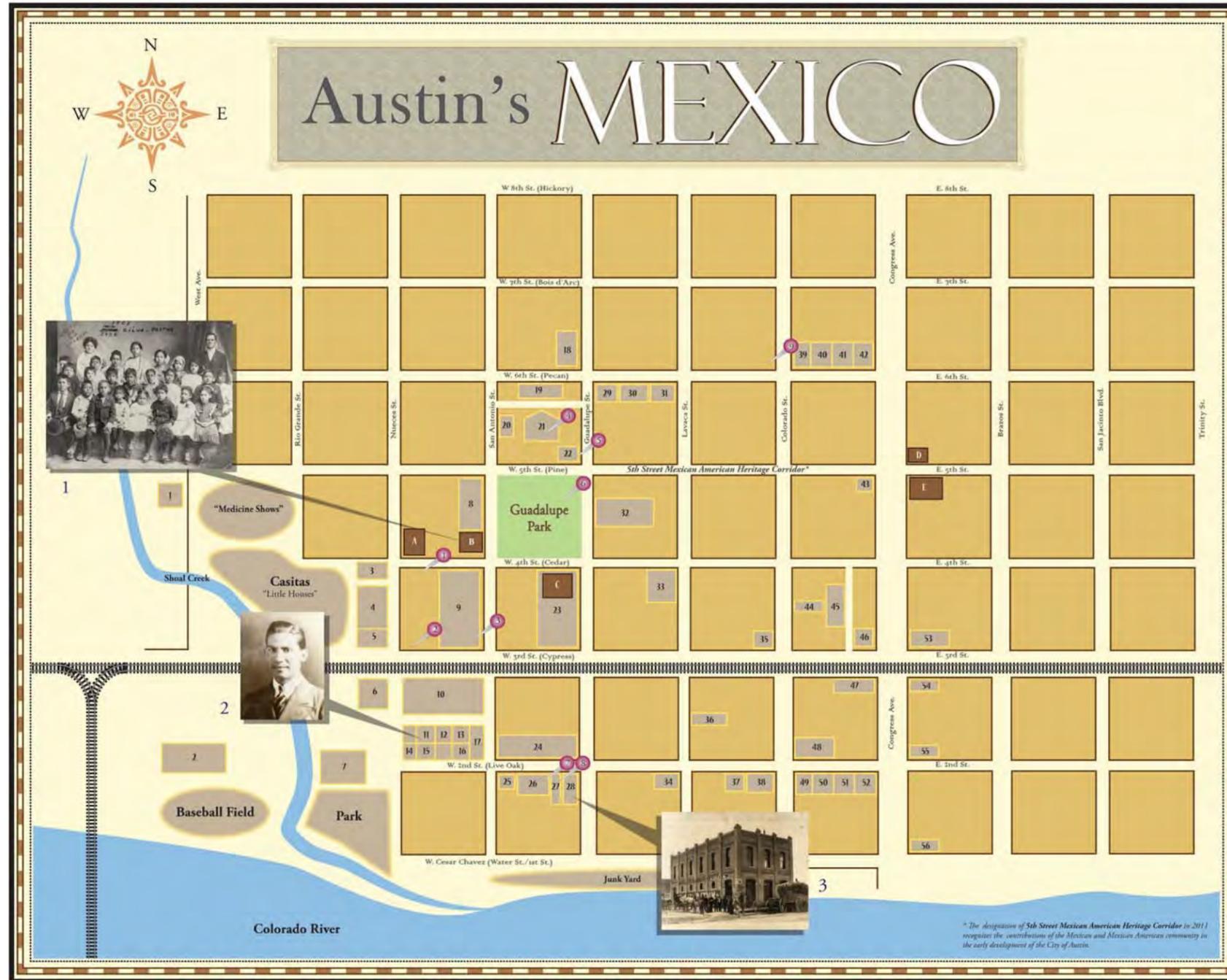
Percent of users who have an accurate understanding of the park's role in the heritage of Austin (Public Meeting May 12, 2012).

Republic Square and Austin's Mexico

Beginning in the 1870s, the neighborhood around what is now Republic Square was known as "Mexico" because of the number of Mexican and Mexican-American residents living in the area. At this time Republic Square was often referred to as "Mexico Park" and was a significant part of daily life for residents of the surrounding neighborhood. One block north of the Park Our Lady of Guadalupe Church, which was in part a response to racial segregation in other city churches, was built in 1907. In 1917 a parochial school associated with the church was built on the same block.

The map to the right "shows the locations of the homes, businesses, and social organizations that arose to support and define the neighborhood. Most of the locations are noted in the remembrances of Jose Trevino (pictured at bottom left of map), who grew up in this neighborhood, as recorded in an oral history interview conducted by his daughter-in-law, Modesta Trevino. The sites identified in the Trevino interview are transposed here without correction except where a minor clarification such as a more complete name was needed" (quoted from Austin's Mexico Map, courtesy of the Austin History Center, Austin Public Library).

In the 1920s and 1930s, the area's residents gradually left the neighborhood, with many of them relocating to Austin's East Side. This move was partly driven by racial discrimination and Austin's 1928 City Plan, which advanced the idea of racial segregation in the city. Our Lady of Guadalupe Church was demolished in 1925.



(Austin's Mexico Map, Austin History Center, Austin Public Library) The proposed 5th St Mexican-American Heritage Corridor seeks to provide a comprehensive network of information related to early Mexican settlement in Austin. The vision is for visitors to access related information while moving around the focus area, which includes sites between the "Treaty Oak" just west of Lamar Boulevard over to Plaza Saltillo in East Austin. There is currently no funding to implement or develop this plan.

Jose Trevino Recollections:

1. West Ave School
2. Seaholm Power Plant
3. Y.W.C.A.
4. Mexican Neighborhood
5. Luis' Cantina
6. Quality Mills Flour Mill
7. Water Plant
8. Mexican Neighborhood
9. (New) Chili Factory
10. Kerosene Station and Refinery
11. Jose Trevino's Home
12. Marlo Residence
13. Macia Residence
14. Faro Store
15. Faro Residence
16. Lopez Residence
17. Other Mexican Homes
18. Alamo Hotel
19. Ice Cream Factory
20. Catholic Nun's Residence
21. Our Lady of Guadalupe Catholic Church
22. Our Lady of Guadalupe School
23. (Old) Chili Factory
24. Mexican Neighborhood
25. Ramirez Residence
26. Segovia Tortilla Factory
27. Segovia Residence
28. J.P. Schneider Store
29. Buick Auto Co.
30. Caruso's Restaurant
31. Wooten Building
32. Mexican Neighborhood
33. Tom Miller's Poultry Warehouse and Tannery
34. Eusebio Rodriguez Grocery Store
35. Bakery
36. Ice Station
37. Luis Sabas' Barbershop
38. Cantina
39. Post Office
40. Hancock Theater
41. Shoe Shop
42. Hotel and Shops
43. Paris Cafe
44. Ice Station
45. Casitas ("little houses" facing alley)
46. Jefferson Hotel
47. MKT Railroad Depot
48. Marathon Dances (OK Garage)
49. Lonestar Ice Company
50. Gato Negro Restaurant
51. Carmona's Barbershop
52. Meat Market
53. Southern Pacific Railroad Depot
54. Sam Wah Cafe
55. Meat Market
56. Meat Market

Other Sites:

- A. Mexican Methodist Episcopal Church
- B. First Mexican Baptist Church
- C. Travis County Courthouse
- D. Phillip's Building - Mexican Music Hall
- E. Mexic-Arte Museum

Photographs:

1. [Young people at First Mexican Baptist Church], 1908, Image # PICA 16161
2. Jose Trevino, Undated, Image # PICB 211637
3. J.P. Schneider & Bros., Undated, Image # C00130



Our Lady of Guadalupe Church was built one block north of the Park in 1907, in part as a response to racial segregation. Pastor P.J. O'Reilly, whose image is inset above, led the congregation in Spanish. (AR.2009.047(12), Austin History Center, Austin Public Library).



Our Lady of Guadalupe School was built in 1919 on the same block as the church. It was a valuable alternative for non-English speaking students who would otherwise be forced to attend special public school a significant distance from the neighborhood (PICA 36925, Austin History Center, Austin Public Library).



Walker's Austex Chili Factory was found in 1900 located one block south of the Park and employed approximately 15% of the city's Mexican and Mexican-American population. After a fire in 1916, the factory was rebuilt one block west (PICA 15019, Austin History Center, Austin Public Library).

Streets

The Park is surrounded by 4th St and 5th St to the north and south, along with Guadalupe St and San Antonio St to the east and west. Despite a common right of way width, these are very different in character. Guadalupe St and 5th St regularly see traffic counts in excess of 10-20,000 trips per day, while San Antonio St and 4th St are well under 10,000 trips per day. The portion of San Antonio St adjacent to the park has been closed for security purposes of the new Federal Courthouse.

Issues

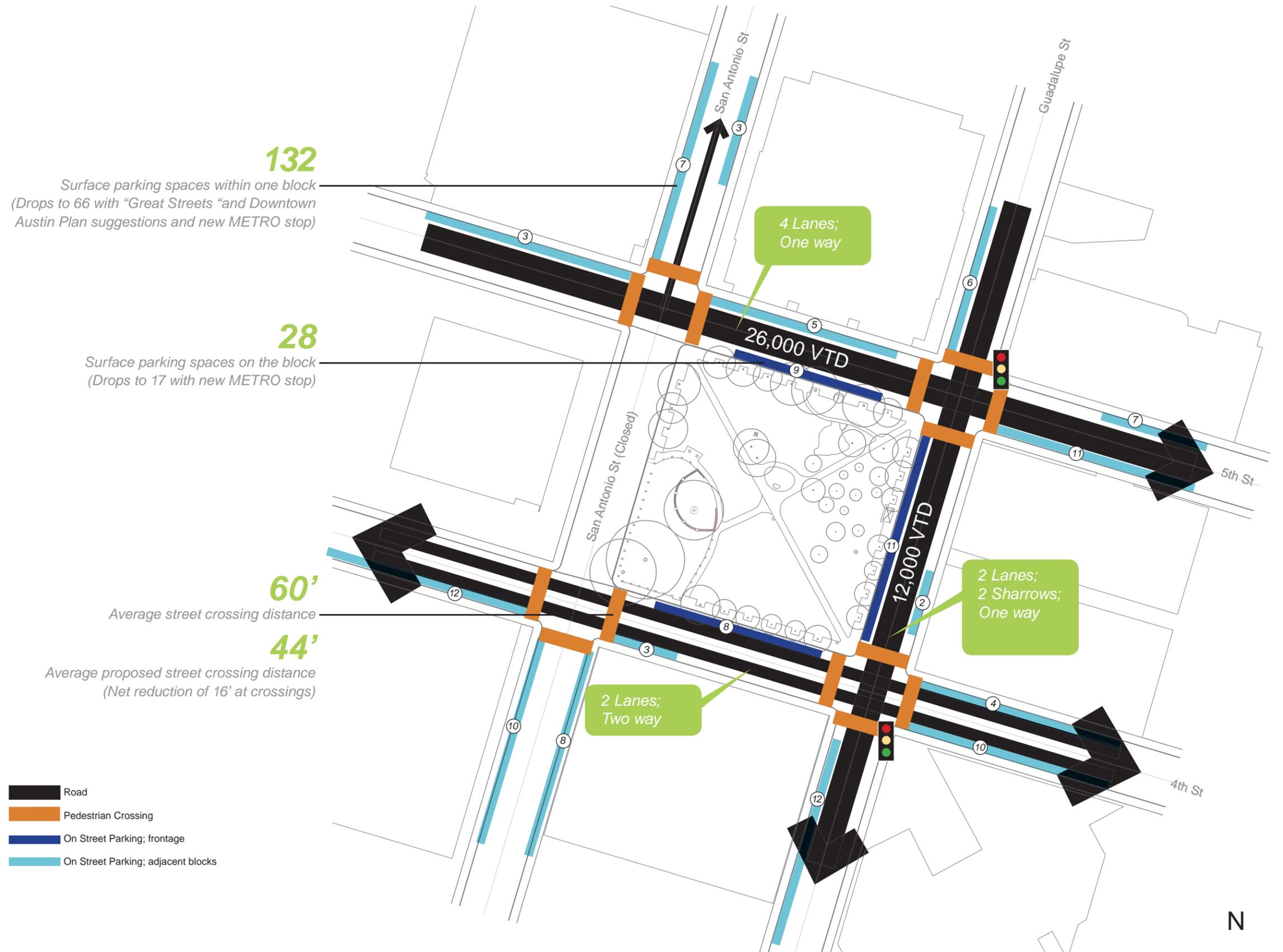
- Traffic along 5th St and Guadalupe St can be fast-moving and intense, especially during evening hours when nearby residents are most likely to use the Park;
- Roadways are wide;
- San Antonio St has been closed, which reduces access to the Park and available parking;
- 4th St is the only direct connection to the Park east-bound;
- There is no true north-bound vehicular circulation around the park.

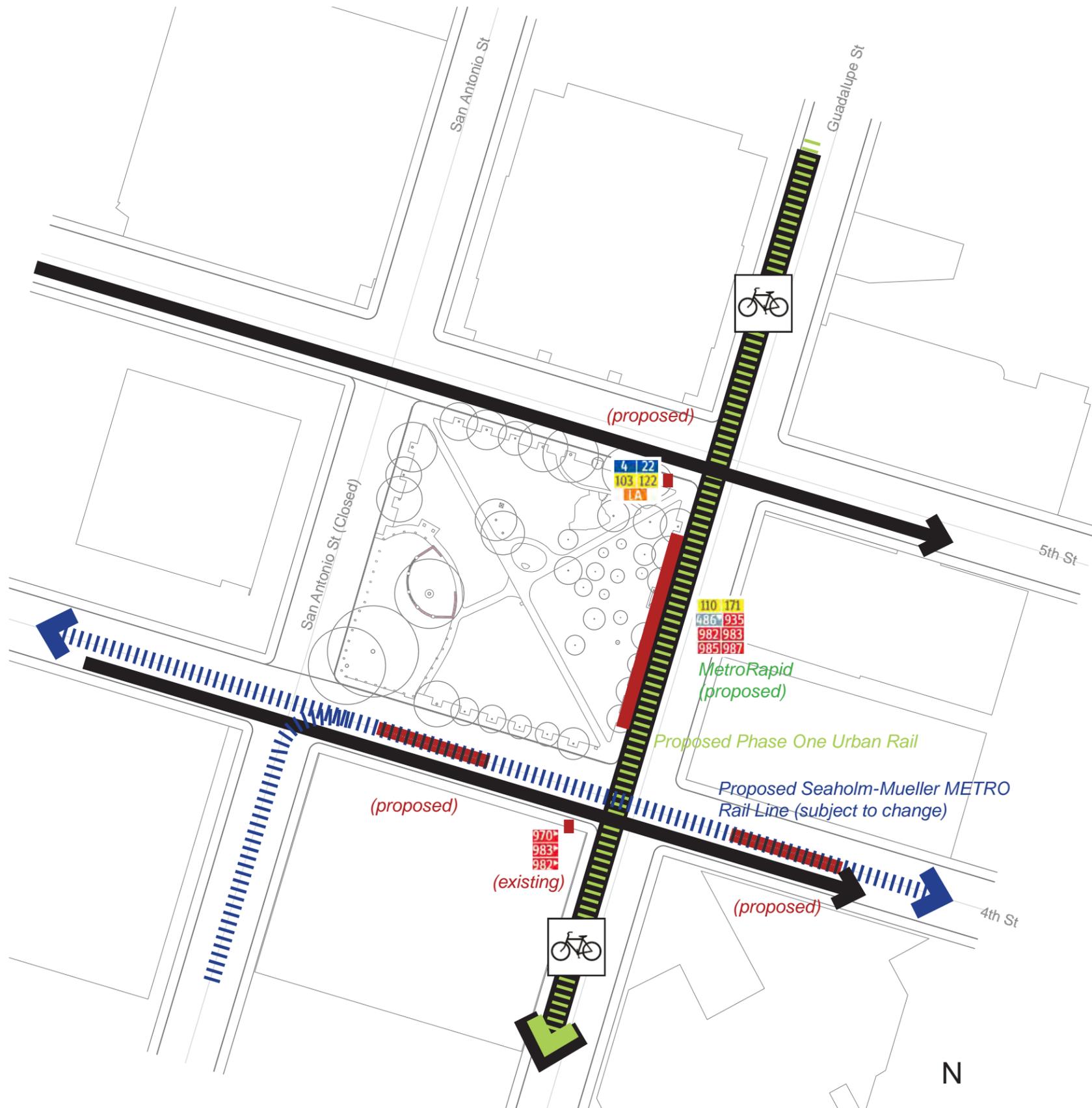
Opportunities

- The high number of trips per day make the Park extremely visible and part of many people's commutes;
- The planned Travis County Courthouse will have approximately 538 parking spaces for courthouse use during the day, and the spaces will be available to the public after courthouse hours;
- The closure of San Antonio St allows for the Park to have some quiet spaces.

Stakeholder or Public Feedback

- Parking in nearby parking garages meets parking needs of visitors to the Park;
- The connection between Republic Square and its surroundings via the City's "Great Streets" program is highly recommended;
- Cars parked around the Square currently act as a safety buffer for Park visitors, and the proposed removal of street parking will be an issue that will have to be addressed.





6 Number dedicated bike racks currently in Republic Square; a total of 12 dedicated bike parking spaces.

8 Number of dedicated bike racks currently in the adjacent remaining right of way; a total of 16 dedicated bike parking spaces. This number will increase to 32 racks with 64 parking spaces upon completion of "Great Streets" work.

Benchmarks: Other parks with significant transit hubs

Dolores Park, San Francisco
 Pioneer Square, Seattle
 Jamison Square, Portland

- Bus Route(s)
- Transit Station/Stop (existing or planned)
- Future Rail Line Extension
- Future Phase One Urban Rail
- Sharrow (on-street bike lane)

Transit

The Park currently includes limited bus stops, but planned projects will dramatically change the relationship between the Park and transit. In addition to the Park's east-west route, the Park will host a major bus stop that is part of the new Rapid Bus system in Austin. This facility is projected to provide rapid service at least every 15 minutes, with additional routes stopping as well. CapMetro projects that there will be up to 50 riders waiting at a time.

In addition to this, CapMetro plans to locate a future urban rail stop along 4th St. This will not occur in the Park, but it will directly affect the Park's use and role as a transfer station between bus and rail.

The Park currently includes 8 dedicated bike racks, and is adjacent to the Guadalupe St sharrow. Many events held in the Park see high numbers of bicycle commuters.

Issues

- There is not enough bike storage for future daily use and current special events;
- Rail would eliminate any ability to close 4th St for events;
- 4th at Guadalupe will become a very transit heavy crossing for pedestrians;
- Transfers between bus and rail will affect the use of the Park;
- Such a large transit presence can be detrimental to the feel of the Park.

Opportunities

- Transit riders can be a great source of Park users throughout the day;
- Transit facilities and maintenance can also serve Park users;
- Create engaged and committed partnership with CapMetro.

Stakeholder or Public Feedback

- The Park could be a good location for a future bike share station;
- There is not enough bike parking to attract the bicycle community on a regular basis;
- There is concern about what affect the bus service will have within the Park.

Cover and Soils

Impervious surfaces on the site include basic streetscape features, sidewalks, stone fountain, and the deck area recently built. The current amount and variety of hard surfaces does not meet demands of event program, nor provide basic accessibility up to federal standards.

Soils on the site are diverse in condition and composition. Much of the soil around the perimeter of the site is heavily compacted. Soils in the center of the site vary from native profiles that were uncovered after artificial berms were removed to introduced topsoils used to create berms as part of the 1976 Park construction.

Issues

- Native soils exposed after berm removal do not support healthy turf growth;
- Soils have a low percolation rate, which increases runoff from the site;
- Streetscape features do not meet ADA standards;
- Streetscape features will not meet demands of new CapMetro bus service;
- Fountain is non operational.

Opportunities

- The new Federal Courthouse Plaza will reduce demand for impervious areas as part of the proposed plan;
- The future CapMetro facility has the potential to serve many uses.

Stakeholder and Public Feedback

- Paved areas do not accommodate foot traffic and operational needs of the Farmers' Market, even with the addition of the new Federal Courthouse Plaza;
- The Park improvements should work to meet the goals of Austin's "Great Streets" program;
- A streetscape or hard surface would work best for the Farmers' Market.
- An objective of PARD is to keep pedestrians off the grass during the Austin Farmers' Market events.

99%; Total impervious cover in both existing and proposed "Great Streets" conditions

76%; Total proposed plaza impervious cover

25%

Total existing park impervious cover

Benchmarks:

Market Square (Houston, TX); 64%
Bryant Park (NYC); 57%
Tanner Plaza (Portland, OR); 53%

003, 007; low organics, nitrates, phosphorus, sulfur and potassium

001, 005; low nitrates and phosphorus

002, 004; low nitrates, sulfur and phosphorus

Average pH is 8.1; Moderate alkaline

63%

Total lawn or mowed cover

Benchmarks:

Market Square (Houston, TX); 10%
Bryant Park (NYC); 21%

6%; Percent of Park with seasonal plantings

4%; Area of understory plantings providing wildlife food sources

Existing Trees

The site is dominated by mixed turf/vegetation and Live Oak trees. There are some minimal ornamental plantings, and groups of deciduous trees toward the center of the Park.

Issues

- The Park lacks seasonal interest;
- There is a relatively low amount of material that provides food for urban animals;
- Grackles roost in some of the trees;
- There are few resources to maintain turf or ornamental plantings;
- The existing irrigation system is not effective in keeping plant life alive;
- Many of the trees are in poor condition due to compaction or poor installation.

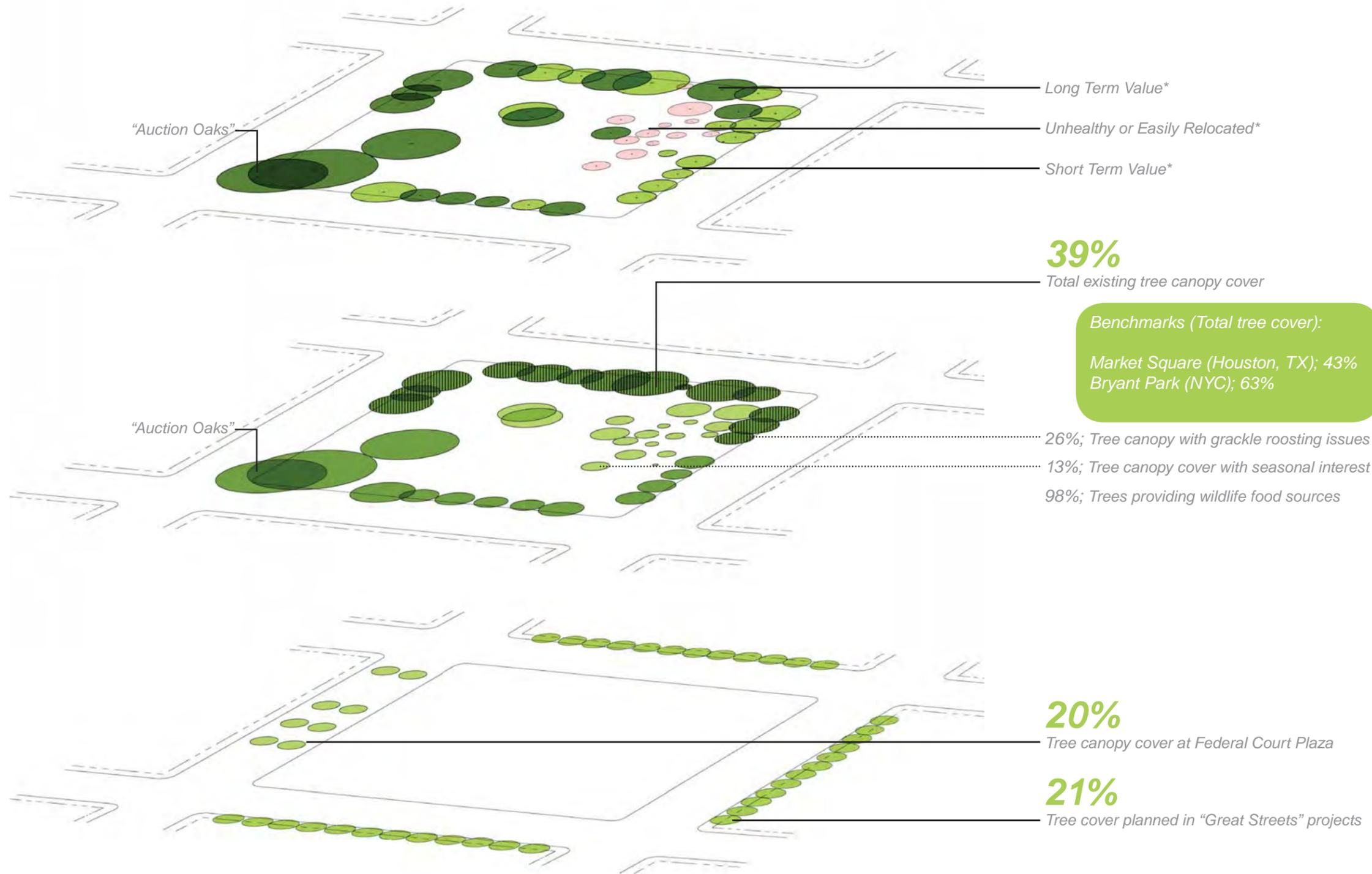
Opportunities

- Trees implemented as part of the “Great Streets” program may contribute to the overall seasonality and habitat value.

Stakeholder or Public Feedback

- The nature of “Great Streets” along the Park edge may have some flexibility to work around existing conditions or to feel like a true extension of the Park;
- The City’s “Great Streets” program prescribes urban design concepts for streets in downtown Austin including those surrounding Republic Square. The “Great Streets” design concepts may need to be altered for the streets surrounding the Park as there are currently some large trees in areas not prescribed by the “Great Streets” guidelines
- Trees and greenery in the Park for sound attenuation are highly recommended by the planned Travis County Courthouse.

*Tree assessment provided by PARD staff.



Sun and Shade; Today

In general, the Park stays fairly sunny during most of the year. Development along the southern edge of the Park is low, and has little impact on the shade of the Park. The existing trees on the site provide much of the shade, which is concentrated on the north side of the Park and into 5th St and Guadalupe St.

Issues

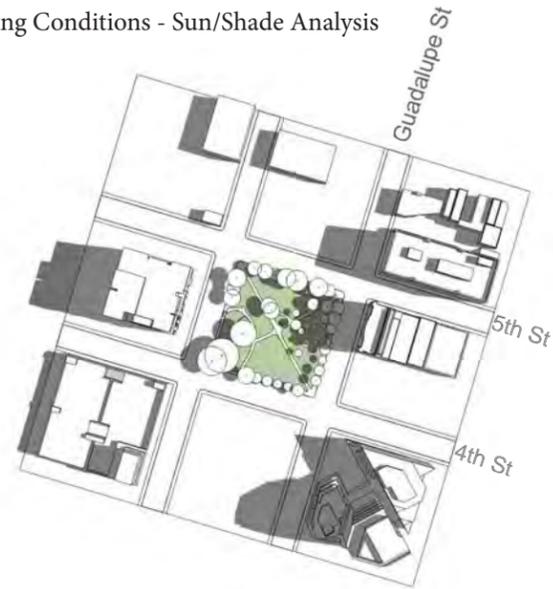
- Existing shade in the Park is enough to support existing levels of use, but not much more;
- Much of the afternoon shade falls in the adjacent streets;
- There is relatively little seating in the shade during summer mornings;

Opportunities

- There is a lot of sunlight available during the winter at all times of day.

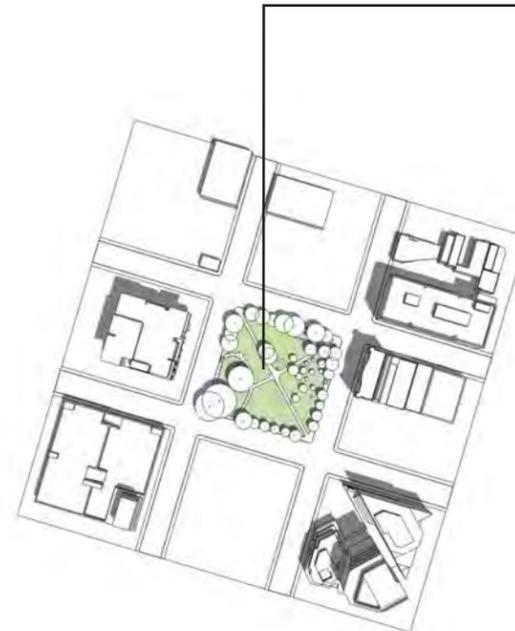
summer

Existing Conditions - Sun/Shade Analysis



August 15 - 9:00 a.m.
Average Temperature - 74-96°F

Total Area: 87,120 sf
Area not in Shade: 35,550 sf - 41%
Area in Shade: 51,570 sf - 59%



August 15 - 12:00 p.m.
Average Temperature - 74-96°F

Total Area: 87,120 sf
Area not in Shade: 46,700 sf - 54%
Area in Shade: 40,420 sf - 46%



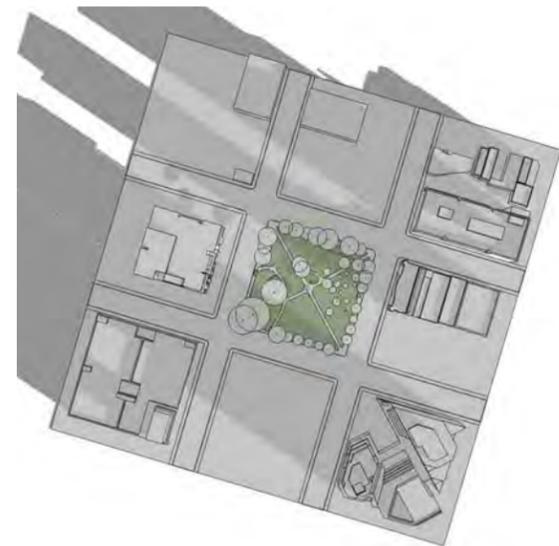
August 15 - 5:00 p.m.
Average Temperature - 74-96°F

Total Area: 87,120 sf
Area not in Shade: 35,400 sf - 41%
Area in Shade: 51,720 sf - 59%

46%

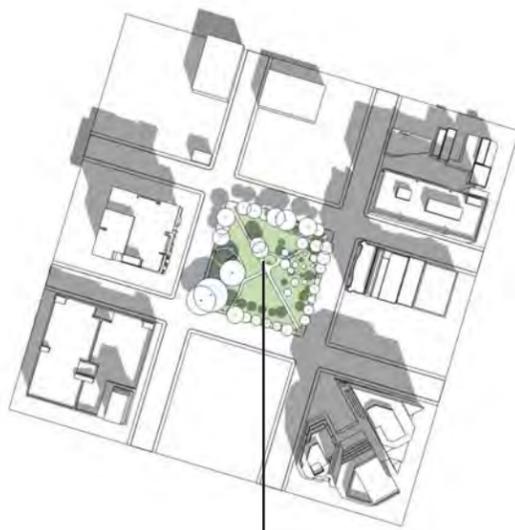
Area of Republic Square in full shade at 12 pm

winter



January 15 - 9:00 a.m.
Average Temperature - 42-60°F

Total Area: 87,120 sf
Area not in Shade: 31,000 sf - 36%
Area in Shade: 56,120 sf - 64%



January 15 - 12:00 p.m.
Average Temperature - 42-60°F

Total Area: 87,120 sf
Area not in Shade: 38,120 sf - 44%
Area in Shade: 49,000 sf - 56%



January 15 - 5:00 p.m.
Average Temperature - 42-60°F

Total Area: 87,120 sf
Area not in Shade: 30,180 sf - 35%
Area in Shade: 56,940 sf - 65%

56%

Area of Republic Square in full shade at 12 pm

Benchmarks:

Market Square (Houston, TX);

Area in shade:

- Jan 15, 9:00 a.m. - 84%
- Jan 15, 12:00 p.m. - 61%
- Jan 15, 5:00 p.m. - 90%

- Aug 15, 9:00 a.m. - 68%
- Aug 15, 12:00 p.m. - 55%
- Aug 15, 5:00 p.m. - 63%

Sun and Shade; Tomorrow

The blocks around Republic Square are likely to change dramatically. Dense developments along the southern and northern edges of the Park will undoubtedly modify the micro environment of the Park.

Issues

- The Park will potentially be almost entirely shaded during the winter months;
- Existing "Auction Oaks" will potentially get a great deal of shade year-round;
- Wind tunneling may also create comfort problems, and make tents difficult to set up
- Glare from buildings north and west of the site could make parts of the Park uncomfortable.

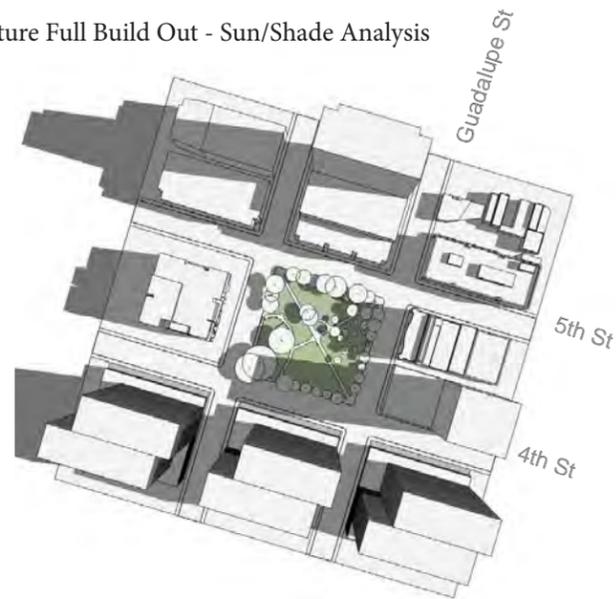
Opportunities

- There will potentially be a nice balance of sun and shade during summer months;
- The City may be able to work with developers to adjust building forms and finishes for sunlight issues.

summer

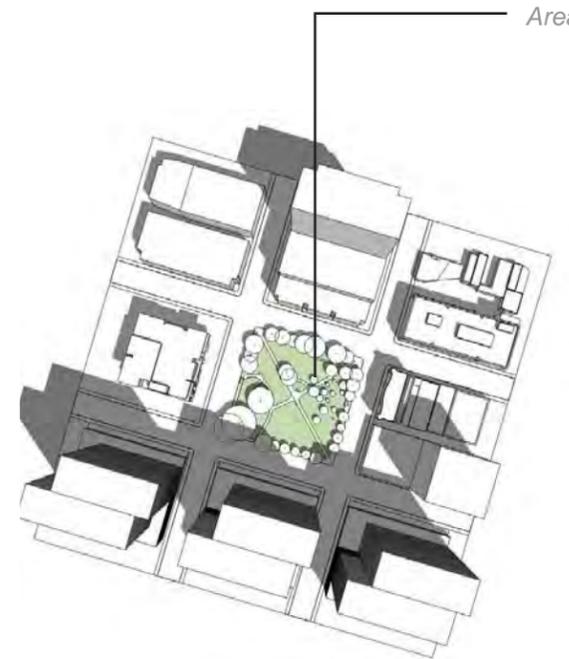
winter

Future Full Build Out - Sun/Shade Analysis



August 15 - 9:00 a.m.
Average Temperature - 74-96 °F

Total Area: 87,120 sf
Area not in Shade: 21,230 sf - 24%
Area in Shade: 65,890 sf - 76%

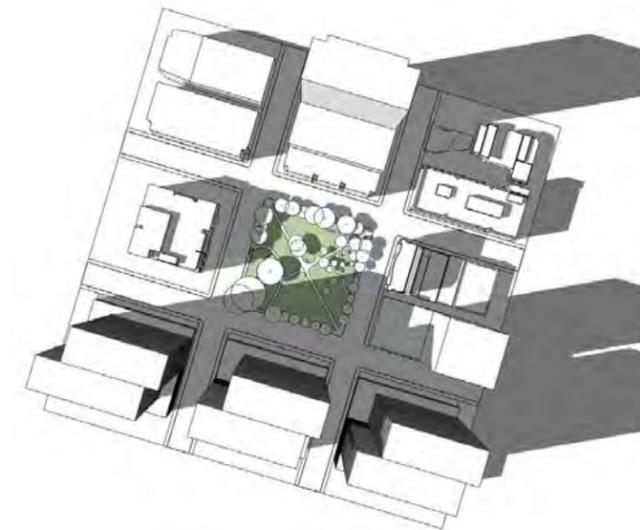


August 15 - 12:00 p.m.
Average Temperature - 74-96 °F

Total Area: 87,120 sf
Area not in Shade: 42,930 sf - 49%
Area in Shade: 44,190 sf - 51%

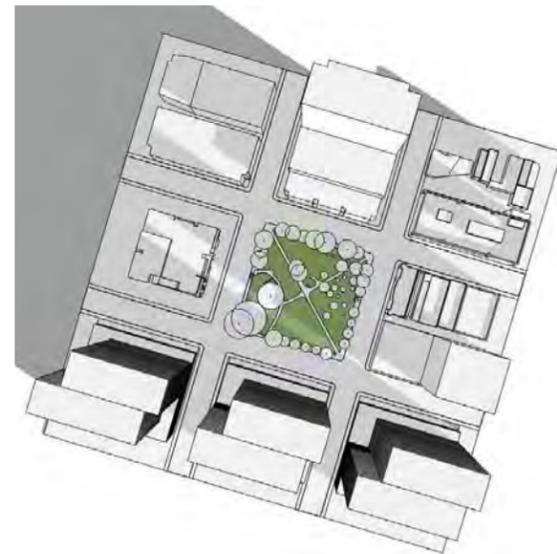
Area of Republic Square in full shade from 12 pm to sunset

51%



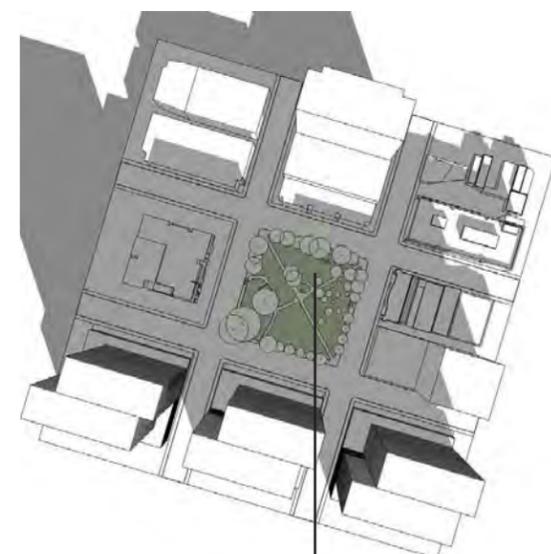
August 15 - 5:00 p.m.
Average Temperature - 74-96 °F

Total Area: 87,120 sf
Area not in Shade: 17,970 sf - 21%
Area in Shade: 69,150 sf - 79%



January 15 - 9:00 a.m.
Average Temperature - 42-60 °F

Total Area: 87,120 sf
Area not in Shade: 9,450 sf - 11%
Area in Shade: 77,670 sf - 89%

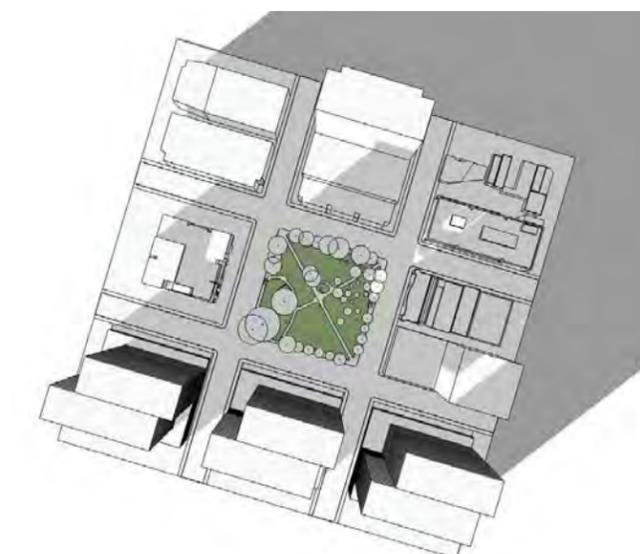


January 15 - 12:00 p.m.
Average Temperature - 42-60 °F

Total Area: 87,120 sf
Area not in Shade: 0 sf - 0%
Area in Shade: 87,120 sf - 100%

Area of Republic Square in full shade from 12 pm to sunset

100%



January 15 - 5:00 p.m.
Average Temperature - 42-60 °F

Total Area: 87,120 sf
Area not in Shade: 0 sf - 0%
Area in Shade: 87,120 sf - 100%

** Total Area = Park Area from back of curb

Park Use

General use of the Park varies by time of day, but is typically dominated by dog walkers and lunchtime visitors.

Issues

- Use is inconsistent overall, and visitors do not tend to linger;
- The site does not have much built-in programming.

Opportunities

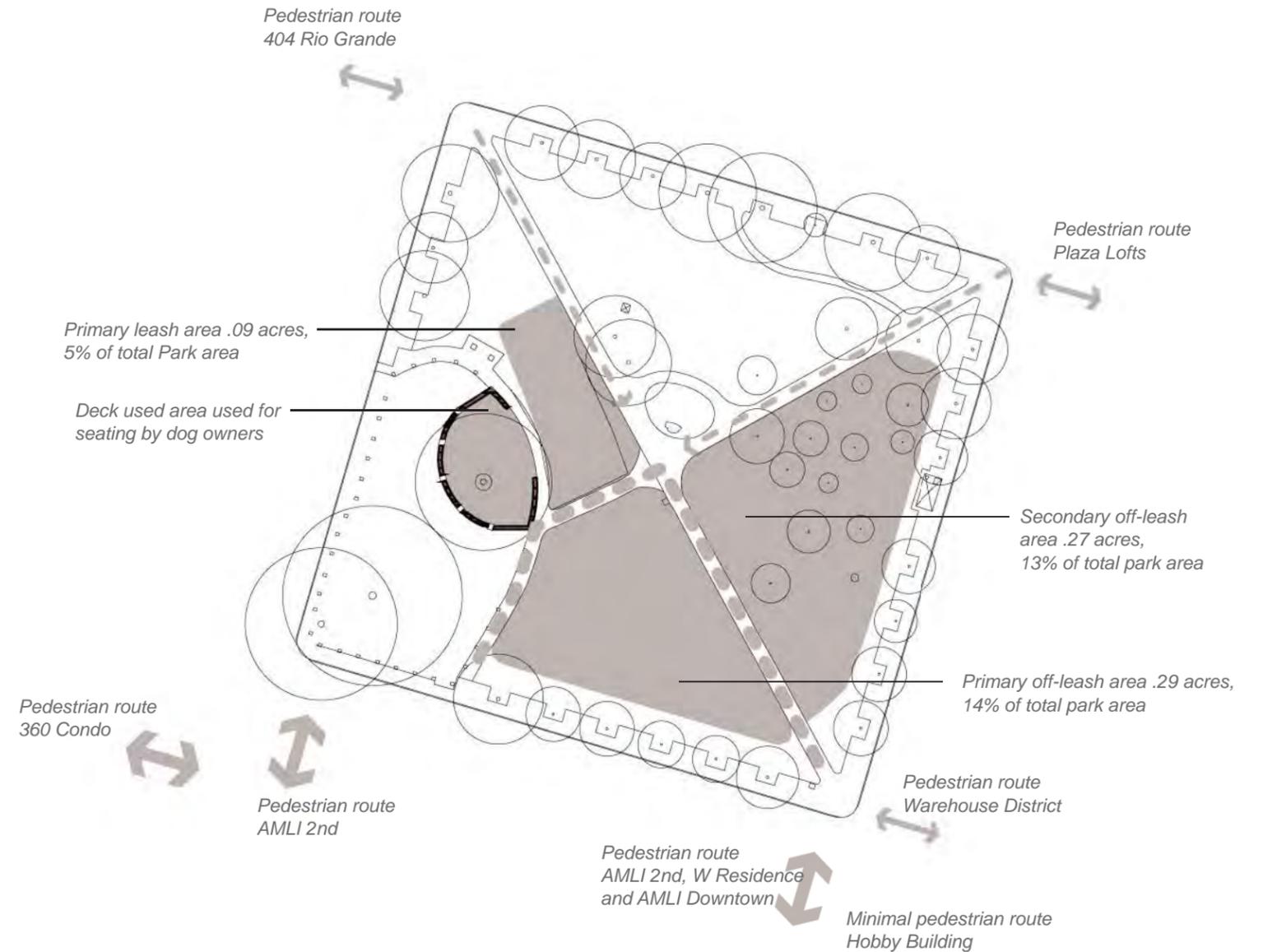
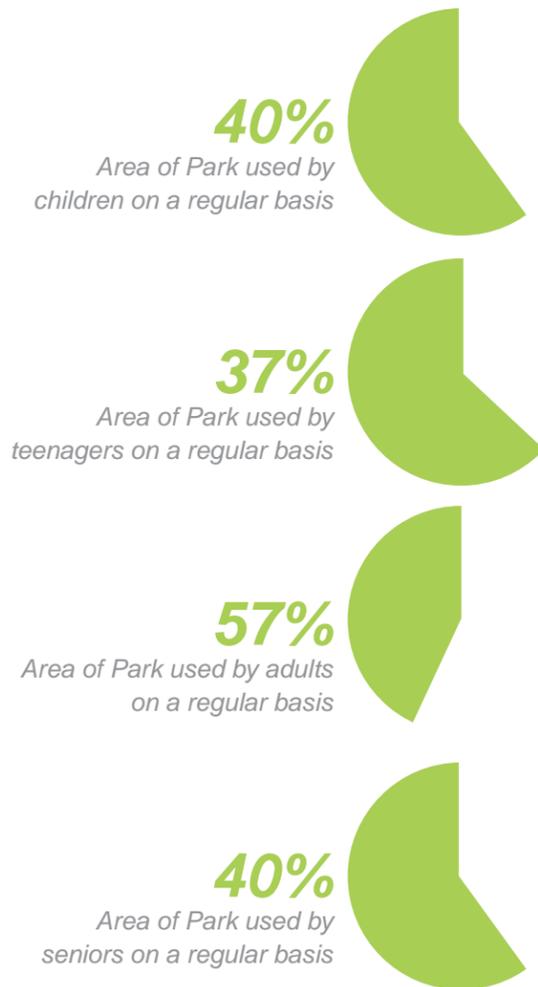
- There is potential to expand built program and make the overall visitor experiences more comfortable.

Stakeholder and Public Feedback

- The County hopes that the enhancements for the Park will be fitness-friendly;
- A café will be included within the planned Travis County Courthouse to serve staff and visitors;
- Part-time child care services for court users (not employees) will be provided within the planned Travis County Courthouse on the ground floor;
- The Park's design should consider uses by people at different times of day;
- The Park should be a beautiful space that draws people in;
- It should be a space that creates a balance between passive and active recreation;
- Mothers and young children would likely use the passive recreation areas, and teens and young adults would use the more active areas of the park;
- Water features and shade are of paramount importance. Use of recycled water in water features is highly recommended;
- The existing berms are used as benches to view within the Park because of their slightly higher elevations.
- The installation of public art needs to be a cautious process as once art is installed it is difficult to remove as people get attached to the art.
- Create a space for the rotation of art works. A protocol for the rotation of such art should be considered.

0.01%
Area of Park currently dedicated to arts or creative programming

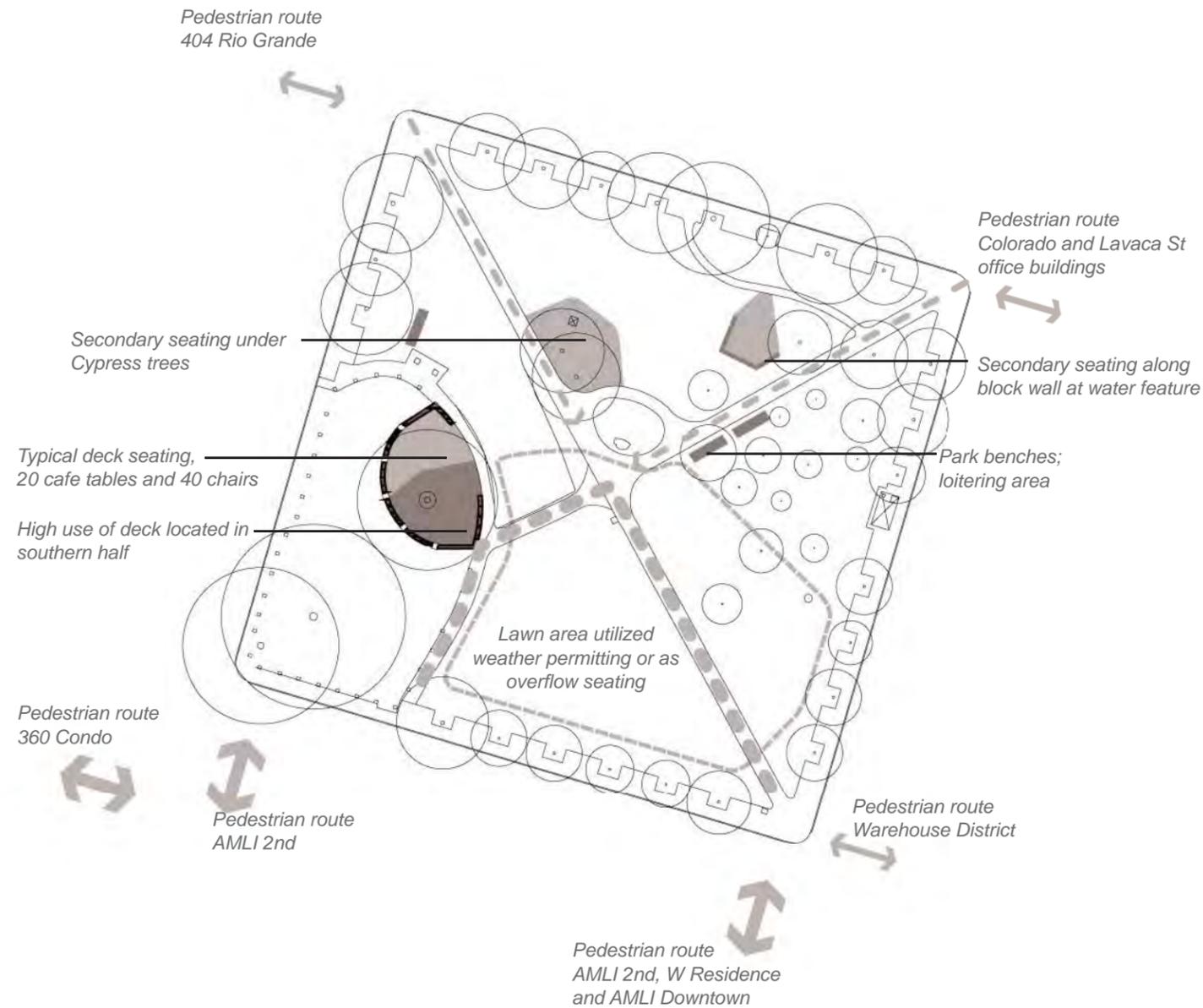
85%
Area of park that is "flexible"; can accommodate more than one use



morning

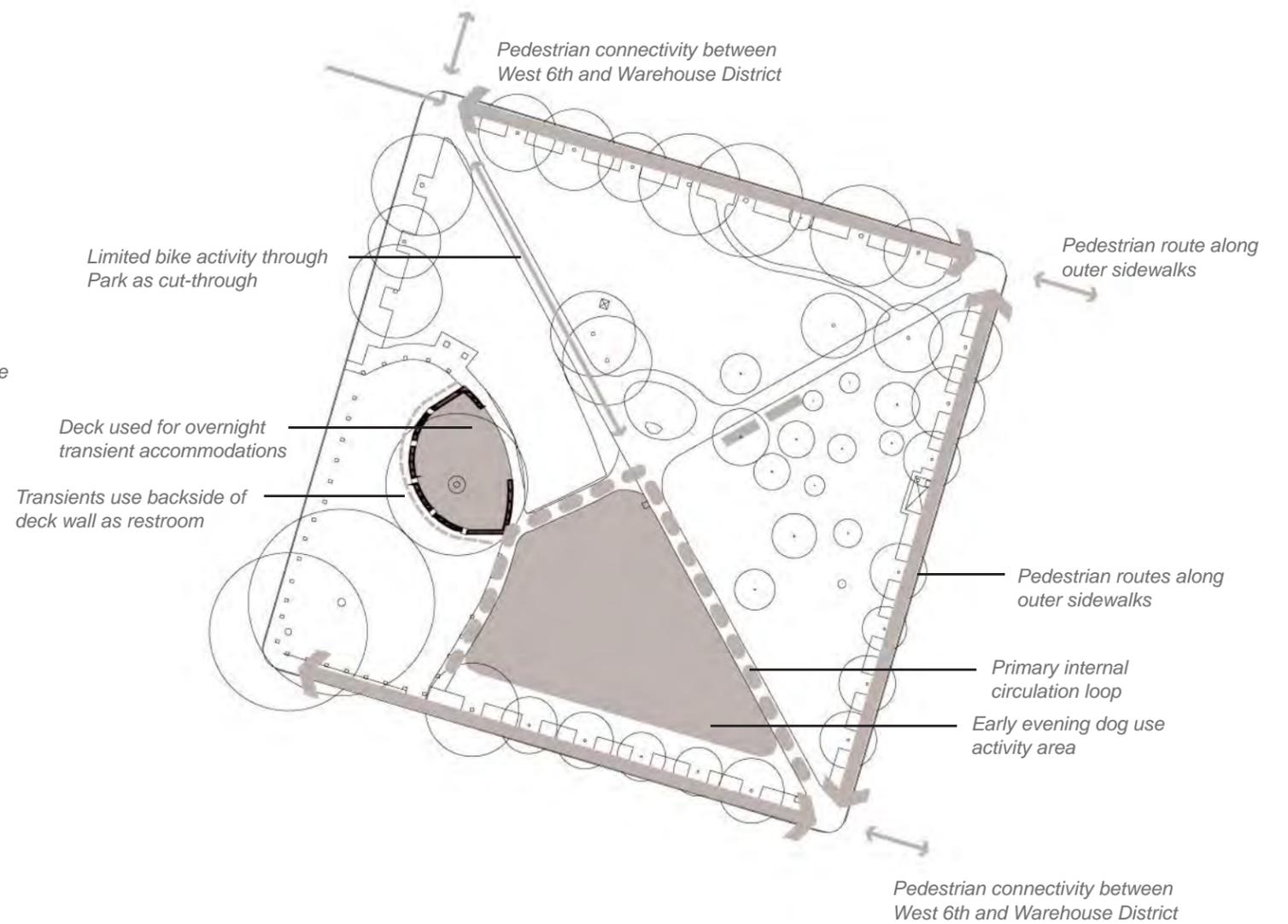
Mornings at Republic Square include heavy dog activities, spontaneous cafe uses and flexible physical workout classes. Morning usage of the Park is one of the most diversely populated and active.

Total area for dog use activity .65 acres, 32% of total Park area



noon

In the afternoon leashes give way for to-go boxes as Republic Square becomes a lunchtime destination. Moveable cafe tables and chairs are the first choice as multiple group arrangements can be accommodated. Additional seating is accommodated with 4 benches along the walk. Occasionally the rock edge of the fountain will be utilized.



evening

The Park sees a decline in use and visitors during the evening hours. The outer sidewalks still serve pedestrian circulation but internal circulation dwindles. Combining the lack of Park activity with the draw of refined furnishings on the deck creates an attractive destination for transients. The overnight influx of transients also increases the use of the Park as a bathroom. An additional concern that is highlighted in the evening hours is the grackle population along 5th St and Guadalupe St.

Special Programming

The Park hosts a range of regular program activities, as well as approximately four single-occurrence events per year.

Issues

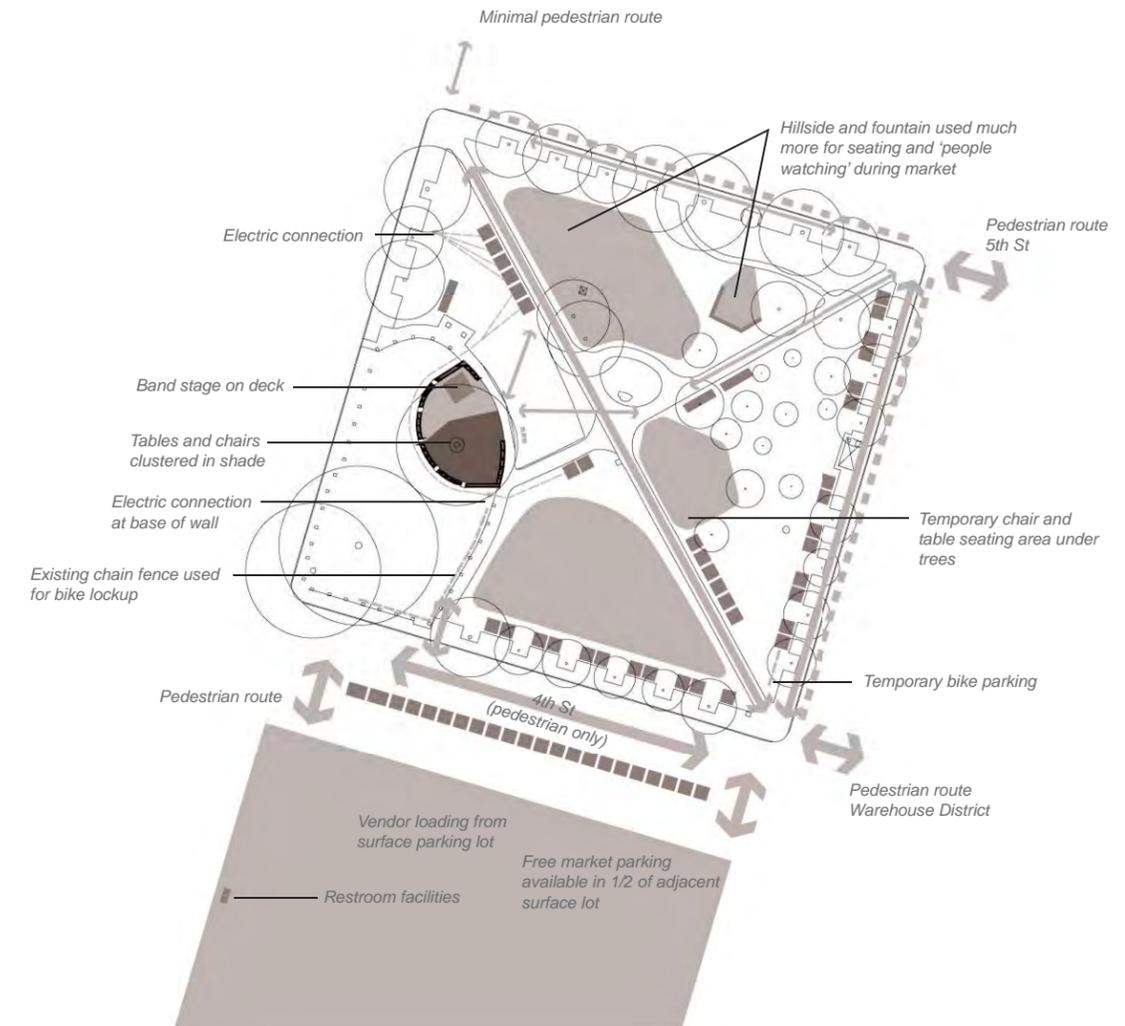
- The Farmers' Market program makes it difficult for the Park to be used for other weekend events during the year;
- Permits for Park use may get more complicated if users wish to set up on the new Federal Courthouse Plaza;
- PARD does not capture any revenue for many of the events held on the Park.

Opportunities

- Programming could be expanded to provide a more diverse event calendar.

Stakeholder or Public Feedback

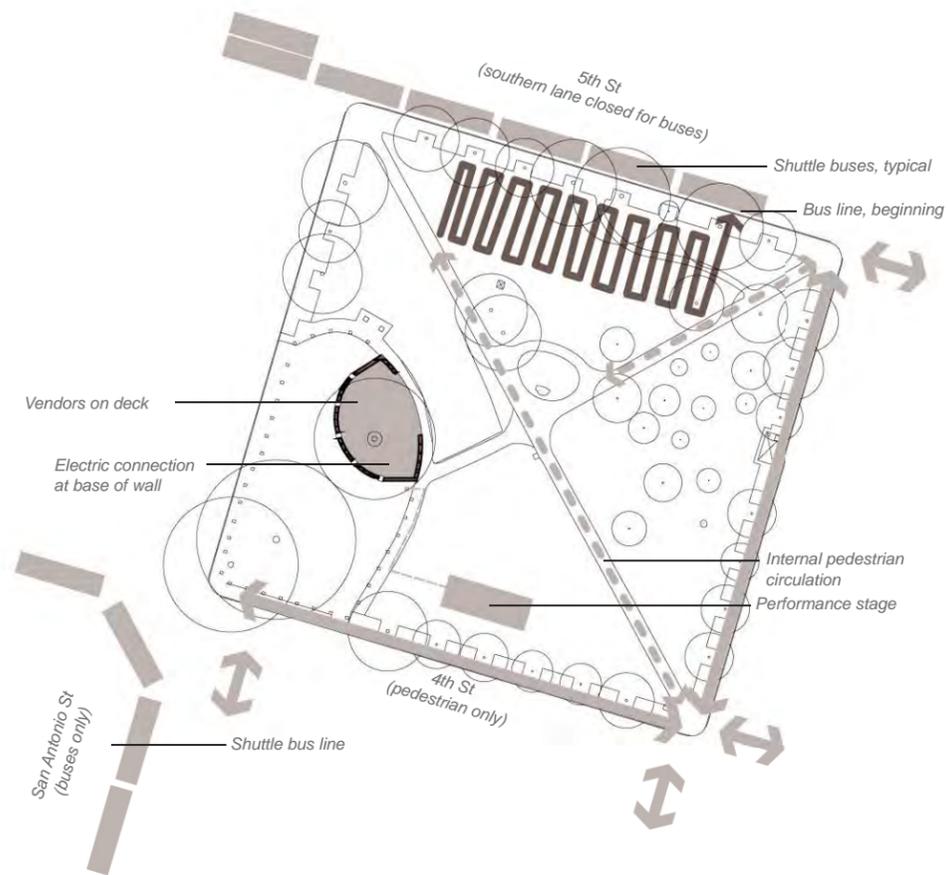
- AMLI's residents support the Farmers' Market as well as a separation of uses to accommodate a wide variety of users and uses;
- The City's Public Works Department is purchasing bicycle infrastructure to provide valet parking for bikers in downtown Austin;
- The City is proposing a bike share program of up to 500 bicycles and 30 to 40 bicycle kiosks throughout downtown on the City's right-of-way by 2013;
- Off-loading on the plaza will be a permitted activity.
- Events on the plaza will be acceptable, but no fund raising activities will be permitted;
- The Park should be a quiet zone; amplified sound would be a problem for the courthouses during work hours, a very sensitive issue with Travis County;
- Travis County will not permit the blocking of its courthouse's entrances;
- White Cane Day draws 200 to 300 participants once a year;
- Diez y Seis de Septiembre draws 300 to 500 participants once a year;
- A balance needs to be achieved between static art and participatory / active art;
- A variety of uses can be hosted in the Park provided they do not interfere with each other.



2.8 acres

Total area used by Farmers' Market program;
408 hours of operation per year.

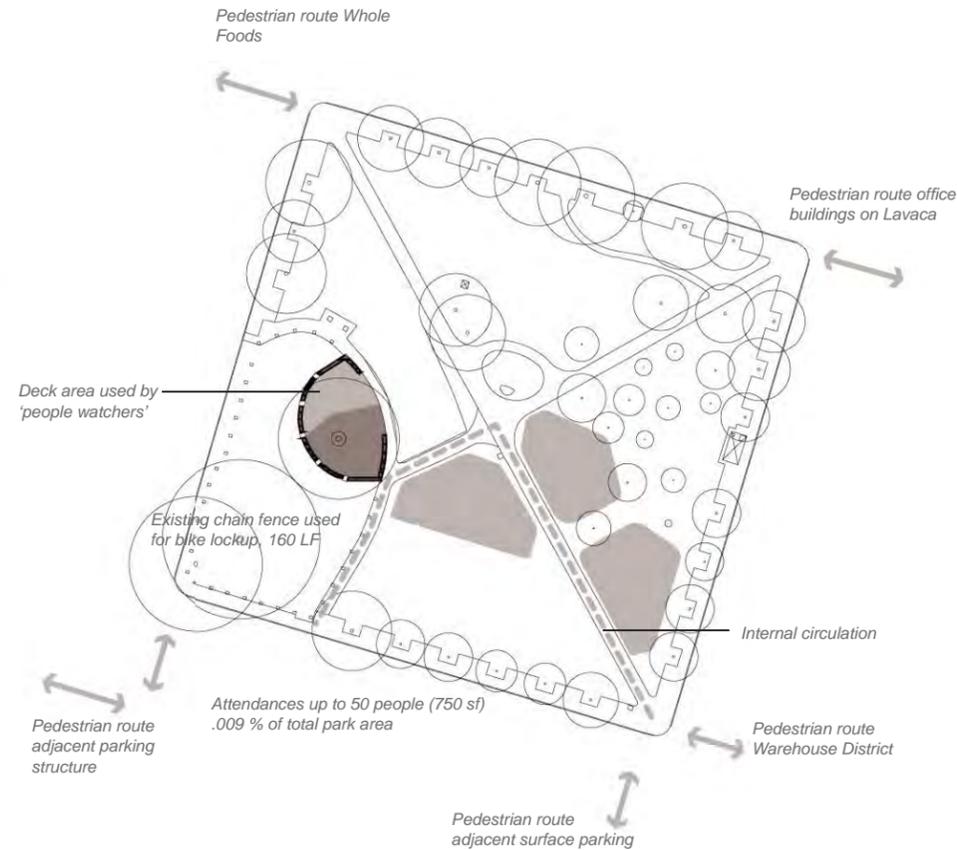
The Saturday SFC Farmers' Market is the most popular event in the park. Throughout the day thousands of users visit the Park to browse the diverse offerings from vendors. The success is evident in that every inch of the Park is explored and uncovered. Up to 63 seasonal vendors provide a variety of foods and crafts, along with live music and other event features.



1.5 acres

Area used by ACL bus loading;
36 hours of operation per year;
500 minimum attendance.

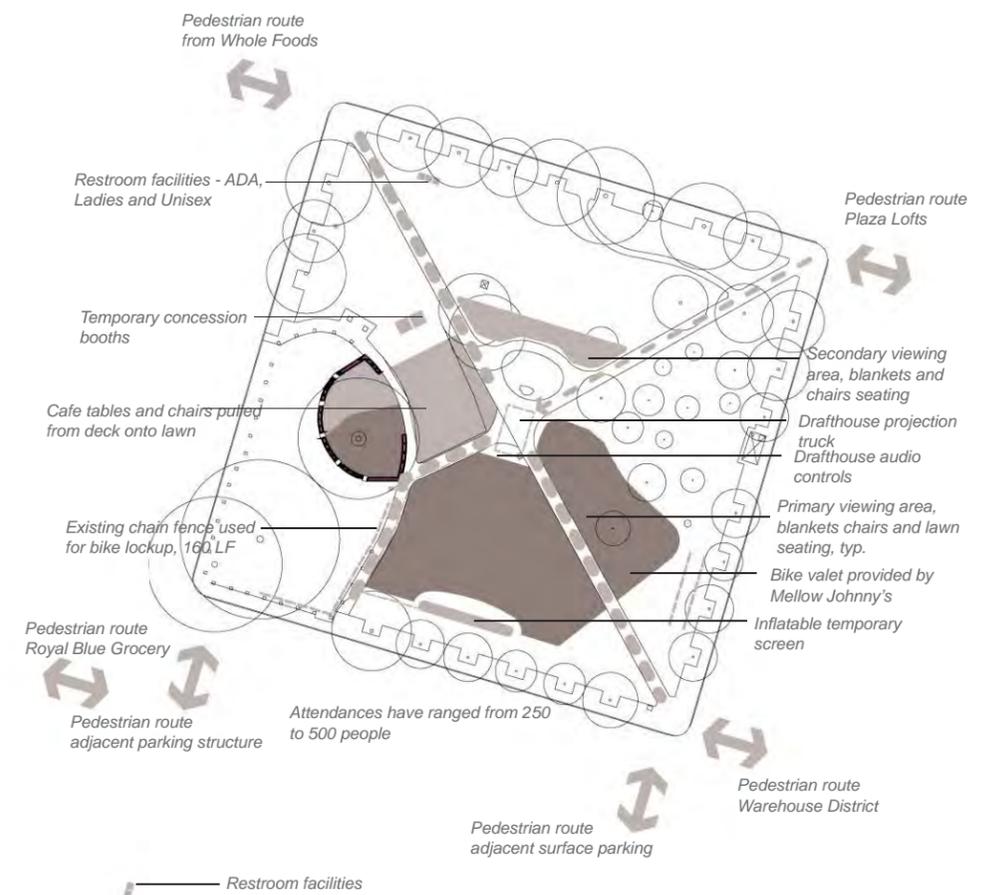
Republic Square Park acts as the downtown staging area for shuttle bus lines to Austin City Limits. Access is limited to the eastern edge of the Park as a majority of roads are closed to accommodate bus staging. Road closures include 4th St, San Antonio St, Nueces St, and the southern lane of 5th St.



.05 acres

Maximum area used by yoga in the park program;
25 hours of operation per year (once per week, May-September);
50 average attendance.

Led by a certified instructor, Yoga in the Park occurs every Wednesday at noon in May, June and September. Attendance is typically from downtown employees on lunch break. Most attendees walk to the Park.



.78 acres

Total area used by Movies in the Park program;
40 hours of operation per year (8 movies);
300-500 average attendance.

Held nearly once a month from April through November - these free events have proven to be highly successful in attendance. Bike valet provided by Mellow Johnny's. Portable rest rooms are available in northwest corner and adjacent surface parking lot to the south. Total viewing area is .78 acres - 39% of total Park area. Attendances have ranged from 250 - 500.

Lighting and Visibility

The site currently includes minimal lighting around the existing "Auction Oaks" and perimeter street lighting. In general, the Park is very dark after sunset.

Issues

- The lack of lighting makes the Park undesirable for use after dark;
- The stage feature built in phase One creates some dark and non-visible spaces in the Park;
- Some berms block views into the Park;
- Many local residents do not leave work until dark, which reduces the value of the Park;
- The Park feels unsafe after dark.

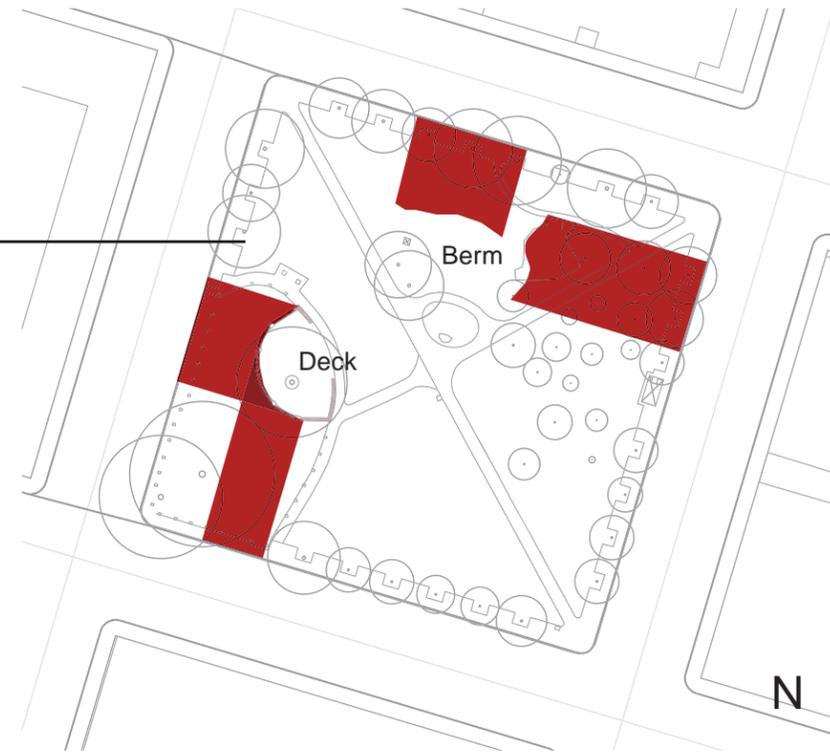
Opportunities

- Increasing lighting will increase the hours of active use in the Park.

Stakeholder and Public Feedback

- Too much lighting might make some events difficult to enjoy (movies, etc);
- Park visitors' safety should be enhanced by ensuring open views and adequate night lighting.

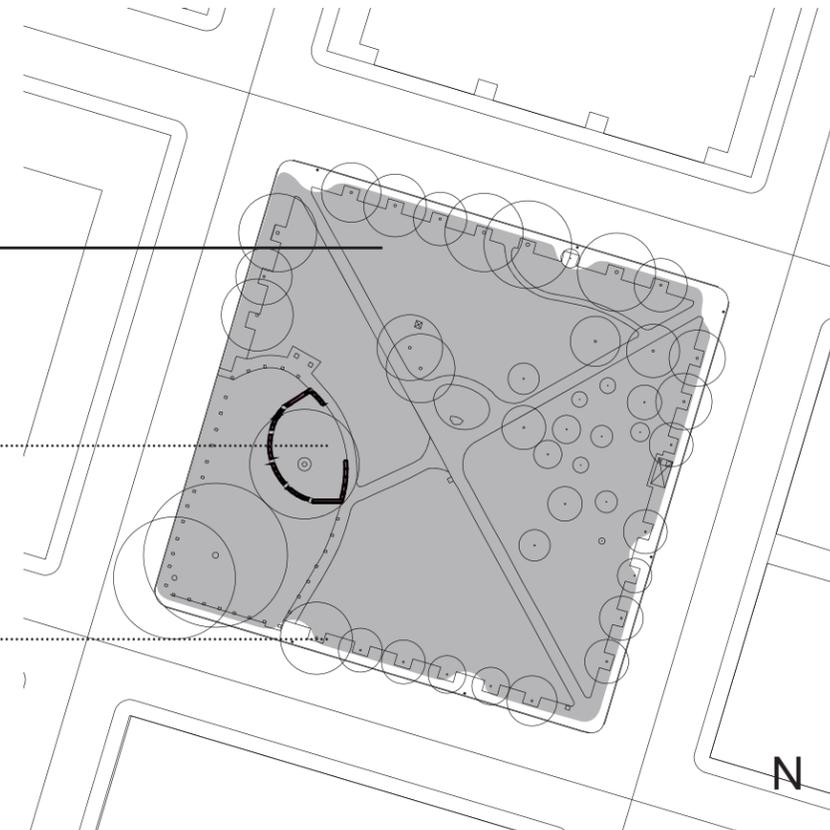
95%
Total frontage that has open views from the street between 2.5' and 7'



98%
Total area that reads below .5 foot candles; which is the minimum amount recommended

Low level uplights were installed with Phase One; these do little to light the ground plane or pedestrian surfaces

The Park has seven roadway lights on its perimeter; most of this light is cast onto the street surfaces or is blocked by street trees



Utilities

Water pressure in the vicinity exceeds 100 psi, meaning that ample service should be available to meet any needs the project might have. However, due to the extreme pressure, a pressure-reducing valve will be required at the service meter. Currently, 6" cast iron lines are located across the street from the property on the south and west sides. An 8" cast iron line is located about 12' off the curb on the east side (Guadalupe) of the property and a 4" cast iron line parallels the northern property boundary (5th St) about 14' off the curb line. Fire hydrants are located at all four intersections bordering the site.

It is anticipated that the wastewater generation rate for the site will be low and the existing system should therefore have ample capacity to meet the project's needs. Gravity wastewater lines exist on all four sides of the site with a 10" line under 4th St (on the Park side of the street) being the most likely candidate for service since it is in the downhill side of the property. Additionally, San Antonio St to the west contains 8" and 15" gravity lines. Guadalupe St to the east contains an 8" gravity line and 5th St to the north contains a 12" gravity line.

Gas is available from a 4" wrapped steel high-pressure main located on the east side of Guadalupe St east of the site. Other service options for gas may be available in the area but will require the approval of Texas Gas Service. Similarly, electric, telephone and data service (if required) are all also available in the right-of-way immediately adjacent to the site, but the actual utility provider will define the point of service. In the future, reclaimed water may be available (for irrigation) to the site through a main planned along 4th St.

Runoff from the site generally drains to the south and west. The existing City of Austin storm sewer system extends to the site at the southwest and southeast corners to collect flow from three existing curb inlets. A trunk line under Guadalupe St conveys flow four blocks south to Lady Bird Lake. A line under 4th St conveys flow two blocks west to Shoal Creek. Assuming that

significant increases in impervious cover are not proposed, it should be possible to discharge flow from the site to the existing drainage system. If impervious cover is increased to the extent that significant increases in street flow occur, it may be necessary to upgrade some of the inlets and storm sewer in the adjacent streets.

In the central business district, on-site detention for the purposes of flood control is generally not required due to the proximity of the ultimate receiving stream (Lady Bird Lake). The system rather relies on conveyance to move storm water runoff to the lake directly. Similarly, flows from less intense storms (such as the two-year event) are conveyed to the lake through street gutters, storm sewers and box culverts. Since runoff from the site is unlikely to increase the erosion hazard downstream (since the conveyance system is "hardened"), two-year detention should not be required on the site.

Depending on the final configuration of the site, permanent water quality controls may be required in association with the redevelopment. If impervious cover is increased to more than 20%, water quality requirements will be triggered. Participation in the City's fee-in-lieu program for water quality may be an option for this site. This approach would involve payment of a fee to the water quality fund which would then be used for water quality improvements elsewhere. However, current City policy typically requires that applicants try to provide a least some measure of permanent water quality control on site. Options for Republic Square include vegetative buffer strips, biofiltration, sedimentation/filtration and re-irrigation/rainwater harvesting. All of these approaches have benefits and drawbacks, which vary with the exact location selected for the water quality controls.

Vegetative filter strips require the largest amount of land area but the strips could be multi-tasked for lawn use as well. The establishment of effective filter strips would likely require significant re-grading and this may not be consistent with other goals for the site Sedimentation/Filtration systems require

a moderate sized footprint and are limited in depth by the ability to gravity drain water to the adjacent storm sewer system (unless a pump is used). Biofiltration ponds are similar in size and volume but provide a more aesthetically pleasing look and typically require slightly less maintenance. A re-irrigation/harvesting system utilizing a buried cistern equipped with an irrigation pump would likely require the least amount of land, but these systems have mechanical parts, require electric service and need routine maintenance. The City is in the process of updating its rules for re-irrigation and rainwater systems to allow them to function more akin to true rainwater harvesting approaches. Assuming the new rules are adopted, a re-irrigation or rainwater system would provide for the beneficial reuse of site runoff.

Issues

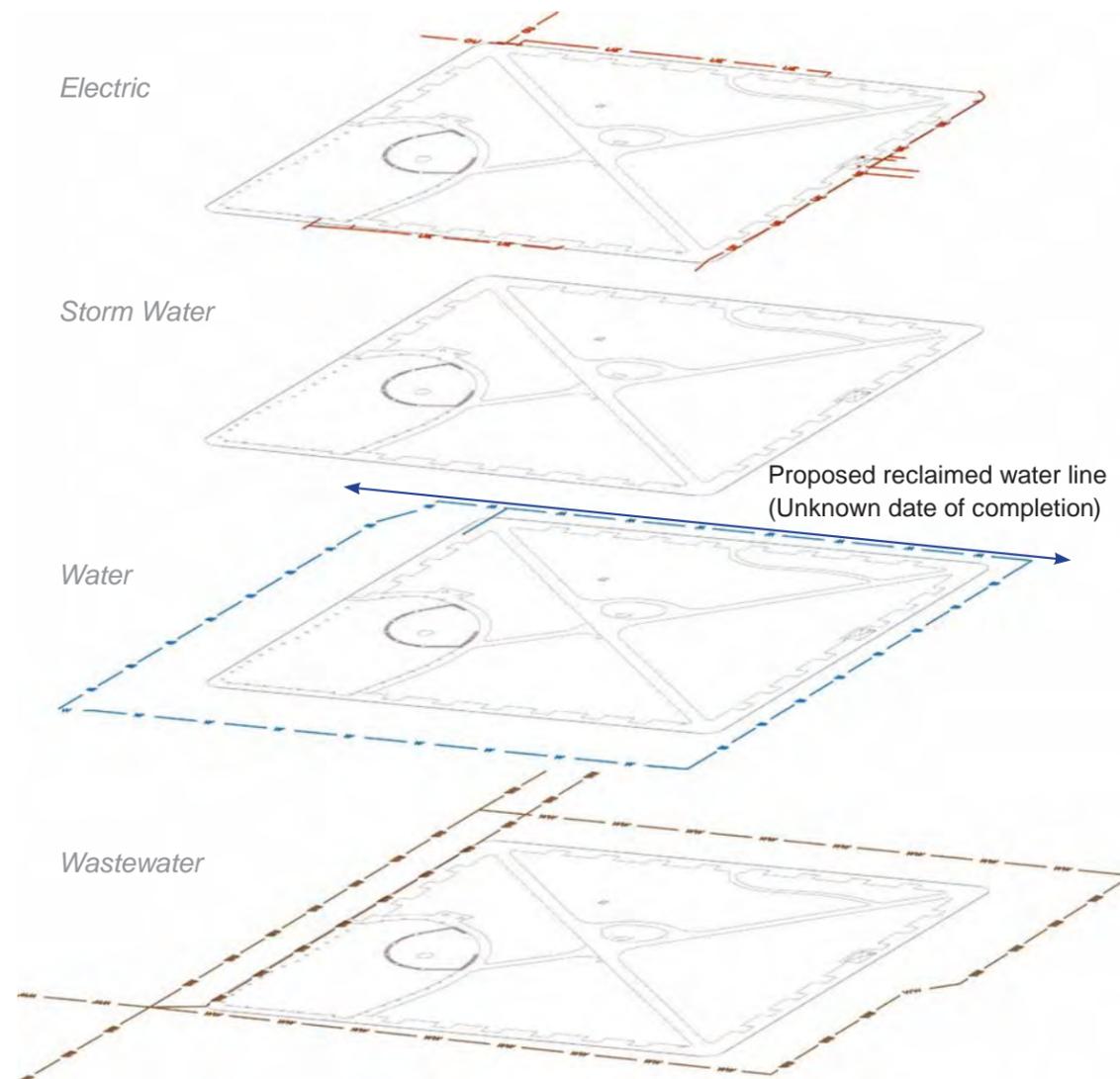
- New utility connections may have to be done in the street;
- Capturing rain water for park use can result in a high maintenance system.

Opportunities

- The proposed reclaimed water line down 4th St would be a much lower maintenance option than reclaimed storm water;
- The site is generally well served by most utilities;
- The site already has WiFi service.

Stakeholder and Public Feedback

- There is not enough electrical service for events that use most of the Park;
- The potable water service is not adequate;
- If recycled water were to be used for irrigation, there would be less opposition to regular and greater irrigation at the Park;
- A public relations campaign was suggested to explain to the public the sources of resources, including recycled water, to be delivered to the Park to increase the public's support for the Square's operations and maintenance initiatives.
- It is not too late to expect it from the planned Travis County Courthouse.



Existing Operations and Maintenance

The process of designing and constructing a park is usually the most engaging part of a project, but the ongoing operations and management of a park is what truly makes it sustainable. There are few things that have a greater role in the ongoing success of a park than management planning.

Issues

- There is a lack of funding to maintain parks above existing conditions;
- There are many partners in current maintenance, but no comprehensive approach.

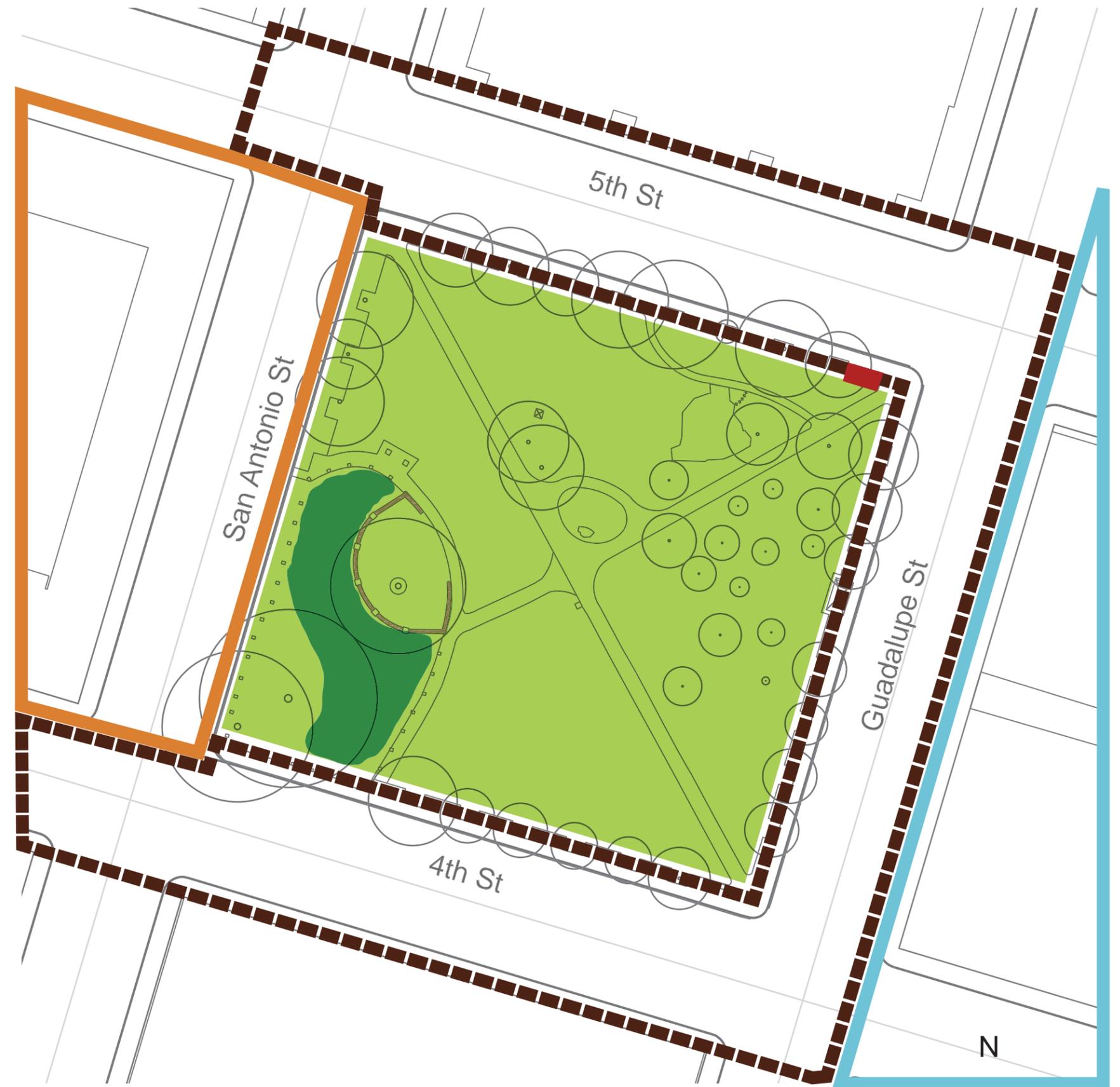
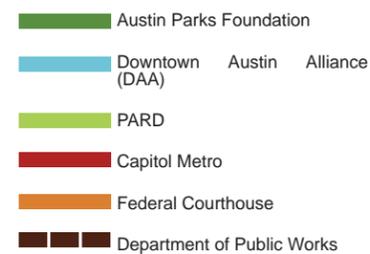
Opportunities

- A conservancy group or other organization could provide consistent leadership and vision for park operation;
- A partnership between existing organizations (e.g. Federal, County, and City governments, CapMetro, the Austin Parks Foundation, the Downtown Austin Alliance, etc.) could also help guide Park operation.

Stakeholder and Public Feedback

- The plaza currently under construction between Republic Square and the courthouse (San Antonio St) will be under the security control of GSA;
- A more robust management organization is needed that would leverage small amounts of funds into larger amounts of funds;
- There should be a management entity for Republic Square responsible for both programming and operations and maintenance. This entity should ensure that the Park has adequate greenery;
- A Park-dedicated organization could solicit funding support for operations and maintenance from properties within a given radius of the Park;
- There are no objections to revenue-generating programming at the park;
- The DAA and the Austin Parks Foundation are interested in a third-party agreement with the City of Austin to generate and capture revenues generated at the Park and

- invest these funds in the Park's operations and maintenance and not be deposited in the City's General Fund;
- PARD has a high level of interest in generating revenues at the Park.





70%

Population within 1/4 mile of the site under 45 years of age. The median age of an Austinite is 31 years and the median age within 1/4 mile is 35.1 years.

68%

Households within 1/4 mile of the site earning more than \$50,132, which is the average for Austin.

1.1

Average number of residents per household within 1/4 mile of the site.

30%

Households within 1/4 mile that are owner occupied.

\$14.21 million

Baseline appraised value* per acre

\$21.75 million

Baseline appraised value* per acre

Blocks likely to redevelop (\$)

Return on investment

Parks have a proven ability to increase the value of adjacent land if they are cared for and considered to be a community asset. According to Trust for Public Land, most people are willing to pay more for a home close to a nice park. This is often referred to as “hedonic value”. In reference to parks, this value is generated by two factors; distance to the park and quality of the park. In the case of Republic Square, the value differences are likely expressed in first tier (views to the Park and within 500’) and second tier blocks (within 1000’). With so much land around the Park likely to develop, this project represents an opportunity for public investment to create real value in the form of tax revenues and property values.

Opportunities

- Early investment in this master plan has the ability to affect property values before they redevelop;
- The City may be able to capture this difference in revenue to accelerate improvements and maintenance of the Park.

Stakeholder and Public Feedback

- The State owns the Hobby Building bounded by W. 4th St, Guadalupe St, W. 3rd St, and Lavaca St as well as 4–story parking garage bounded by Nueces St, W. 4th St, San Antonio St, and W. 3rd St;
- Both of these two properties are grossly under developed, and the State is interested in maximizing the buildings on these sites;
- The Federal Courthouse will be occupied by 80 to 100 employees early in November 2012;
- The proposed redevelopment of the Post Office block north of the Square was discussed in reference to its ground level needing to be “people-friendly” unlike the existing Plaza Lofts development to the east of the Park;
- Gables indicated that the company owns and proposes to develop the southern half of the block east of the Square in the near future as an apartment complex with mixed uses.

Community Workshop 1 and Online Poll 1

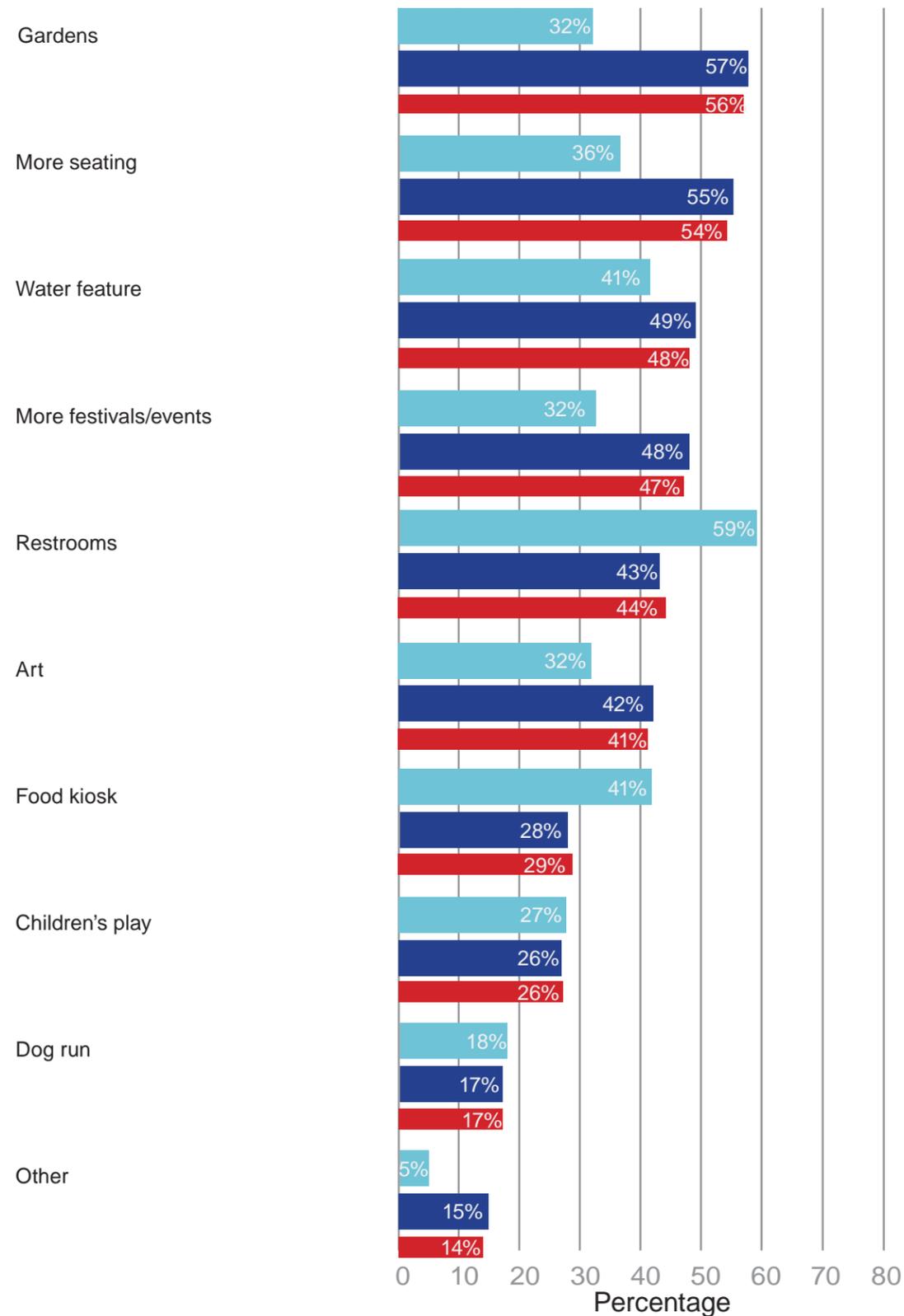
Community Workshop 1 was held at City Hall on May 12, 2012. The meeting was held to present existing conditions and analysis and to gain a sense of the community's goals and what program elements they would like to see at Republic Square. There were approximately 22 people in attendance.

The results of Community Workshop 1 were further supplemented by an open online poll that asked that same questions as the keypad poll from the workshop and allowed participants to write additional comments. Approximately 400 individuals participated in the first online poll.



Community Workshop 1 was held at City Hall on May 12th, 2012.

What new park amenities do you feel should be factored into the design?



The above summarizes results concerning public support for potential Park amenities.

Community Workshop 1 and Online Poll 1

Program Elements

Participants were asked to select which park amenities should be factored into the design.

Top Amenities:

1. Gardens
2. More seating
3. Water feature

Amenities with lowest number of votes:

1. Dog run
2. Children's play

Strategies:

1. Focus resources on the highest ranked program elements: gardens, more seating, water feature, more festivals/events.
2. Eliminate or create alternative strategies for a fenced dog run.



Community Workshop 1 and Online Poll 1

Goals

Participants were asked what top goals they had in the categories of environment, community, art/aesthetics, and economics. The results show the percentage of votes compiled at Community Workshop 1, in the Online Survey 1, and an average of the two. The results display the percentage of people who voted in favor of the goal.

The answers are shown with the highest ranked goal to the lowest ranked goal based upon the average of all respondents from Community Workshop 1 and the Online Survey 1.

Top Community Goals:

1. Increase the perception of safety.
2. Keep views into park open and clear. (Tie)
3. Create seamless connections to the park. (Tie)

Top Environmental Goals:

1. Use diverse and drought tolerant plants.
2. Increase the health of plant material.
3. Reduce heat island.

Top Aesthetic Goals:

1. Use local materials.
2. Expand the seasonal interest to add dynamics.
3. Allow local character to enhance the design.

Top Economic Goals:

1. Balance revenue and costs for operations of the park.
2. Create a vision that is able to be phased over time.



Environmental Goals

Use diverse and drought tolerant plants

Increase the health of plant material

Reduce heat island

Use reclaimed water for irrigation

Increase habitat for songbirds, squirrels, and butterflies

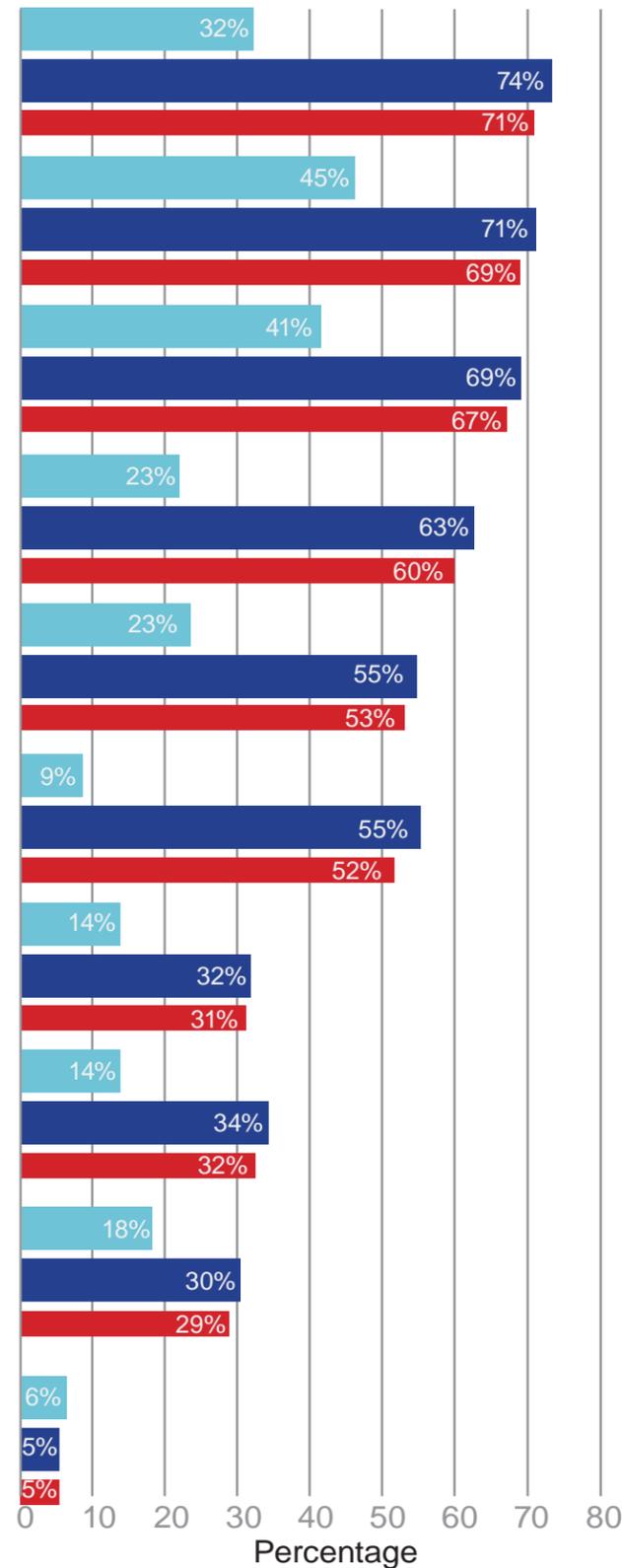
Manage grackle population

Create a carbon-neutral park

Manage the park stormwater on-site

Minimize the amount of potable water used at the park

Other



The above summarizes results concerning public opinion regarding environmental goals for Republic Square

Community Goals

Increase the perception of safety

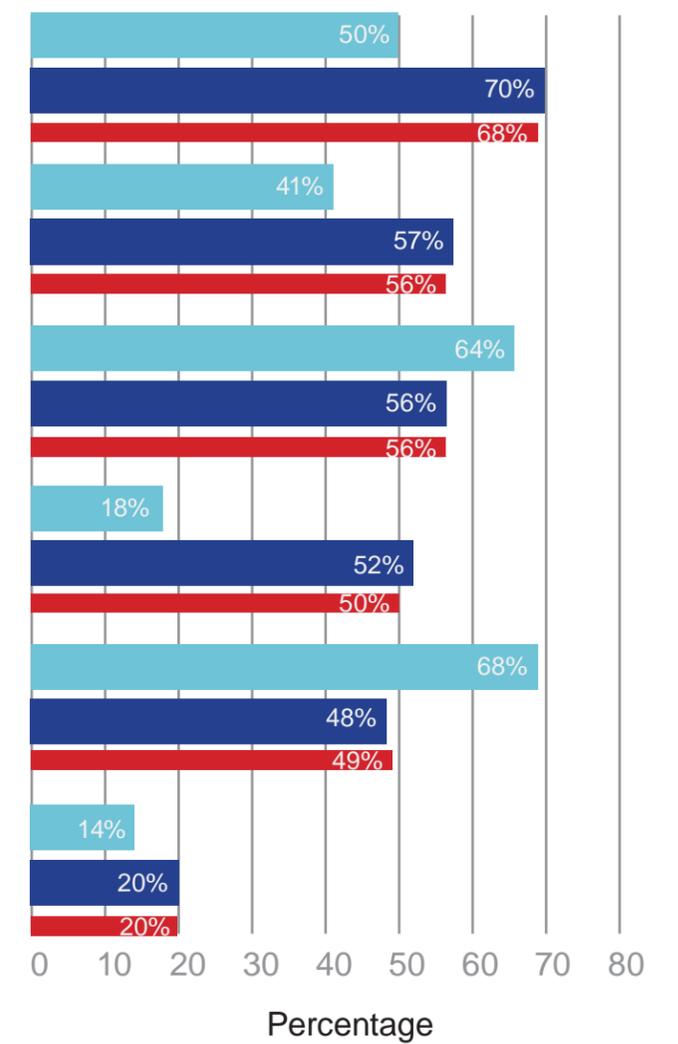
Keep views into park open and clear

Create seamless connections to the park

Increase diversity of park amenities

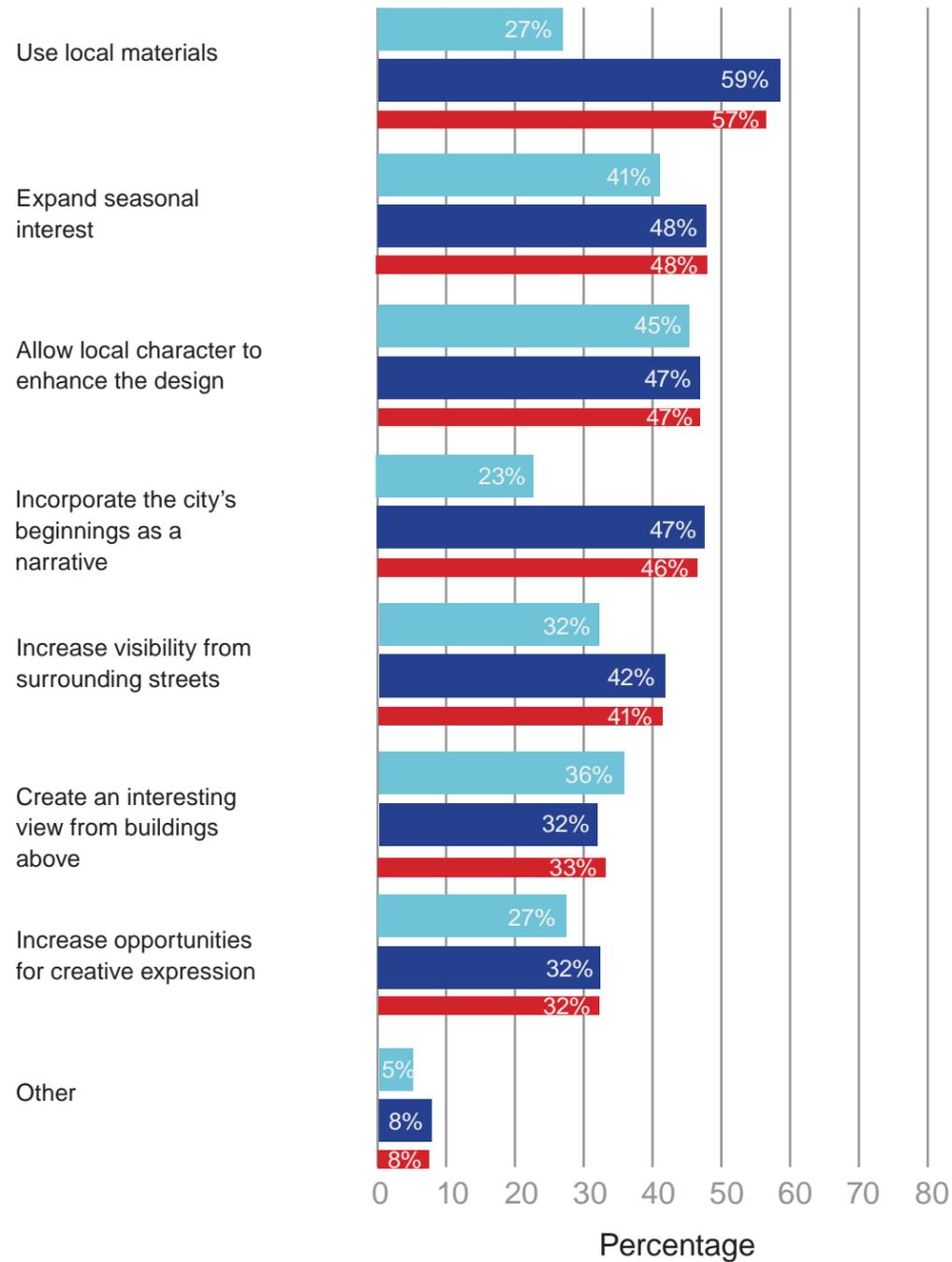
Increase awareness of the park's history

Other



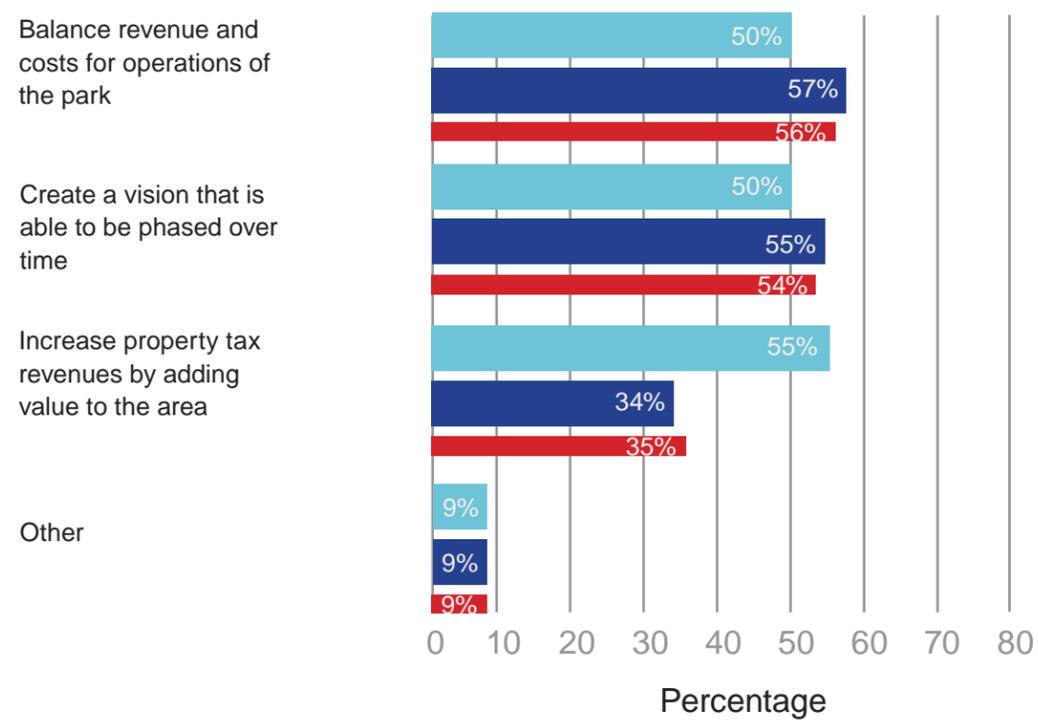
The above summarizes results concerning public opinion regarding community goals for Republic Square

Aesthetic Goals



The above summarizes results concerning public opinion regarding aesthetic goals for Republic Square

Economic Goals



The above summarizes results concerning public opinion regarding economic goals for Republic Square

Strategies:

1. Provide a variety of park amenities.
2. Use plant materials that are lower than 24 inches around the perimeter of the park.
3. Keep visual barriers to a minimum and not around the perimeter of the park.
4. Ensure lighting contributes to the safety of the neighborhood.
5. Schedule evening visits by the Austin Rangers in order to create a safe nighttime experience.
6. Utilize local materials.
7. Utilize larger trees and shade producing structures in the final design.
8. Incorporate diverse plantings.



re·pub·lic

noun

a state in which the supreme power rests in the body of citizens entitled to vote and is exercised by representatives chosen directly or indirectly by them.



Sunset image of "Auction Oak".

Development of Alternatives

This section begins with a summary of the Park influences related to its edges. The bulk of this section then outlines three design alternatives for Republic Square. Some elements informed by the existing conditions are common to all three alternatives, but each alternative is nonetheless a distinctly different vision for the Park's future design, carefully developed to test a wide range of approaches to the Park. The section culminates with a summary of Community Workshop 2 and the second online poll, where the three design alternatives were presented to the public and feedback was gathered for further refinement.

Park Influence

The edges of a park are key to the overall success and economic viability of any urban park space. The character of Republic Square's street edges is currently dictated by the automobile, with no buffer between sidewalks and the street and street trees only on the park side of each edge. Each edge should be analyzed for its unique qualities.

A: All concepts should include a "bridging element" adjacent to the new Federal Court Plaza. These elements include any type of activity that will encourage people to use both the Park and plaza seamlessly, and may include food kiosk/dining, play areas, water features, event spaces, or gallery space.

B: 5th St frontage should be buffered from the Park as it is dominated by auto traffic. The existing on-street parking should be preserved as part of this buffer, and new construction should work to improve the growing conditions for existing trees along this edge. On-street parking here should also be retained for the viability of any proposed food service. Improvements to 5th St should also be made with the planned 5th St Mexican-American Heritage Corridor in mind.

C: Frontage along Guadalupe St should be open, comfortable, and flexible enough to change as the transit system matures. There should be an emphasis on shade, buffering bus activity from the Park, and providing plenty of walking space for pedestrians. All options should consider including textured paving at the back of curb to alert pedestrians of bus activity.

D: 4th St should undergo a right-of-way reassignment to provide a greater balance between vehicular, parking, rail and pedestrian needs. Angled parking all along 4th St is a possible means of mitigating the partial removal of parking along Guadalupe (due to CapMetro bus assignments). Shortening the bulb-outs on corners could create space for bicycle, petty cab, or motorcycle parking. This would also allow the Park to capture additional pedestrian

space and provide greater growing space for existing trees.

E: The re-configuration of 4th St creates more parking and more pedestrian space for outdoor dining between Guadalupe St and Lavaca St, which will benefit the atmosphere around the Park.

F: The space within the right-of-ways of Lavaca St and Colorado St should be redesigned to create a fully accessible walkway at grade, while still preserving the old loading docks on the north side of the street. These crossings are an important part of the pedestrian route to the Park but pose problems for connectivity and overall accessibility as they exist currently (Refer to SECTION A on page 9).

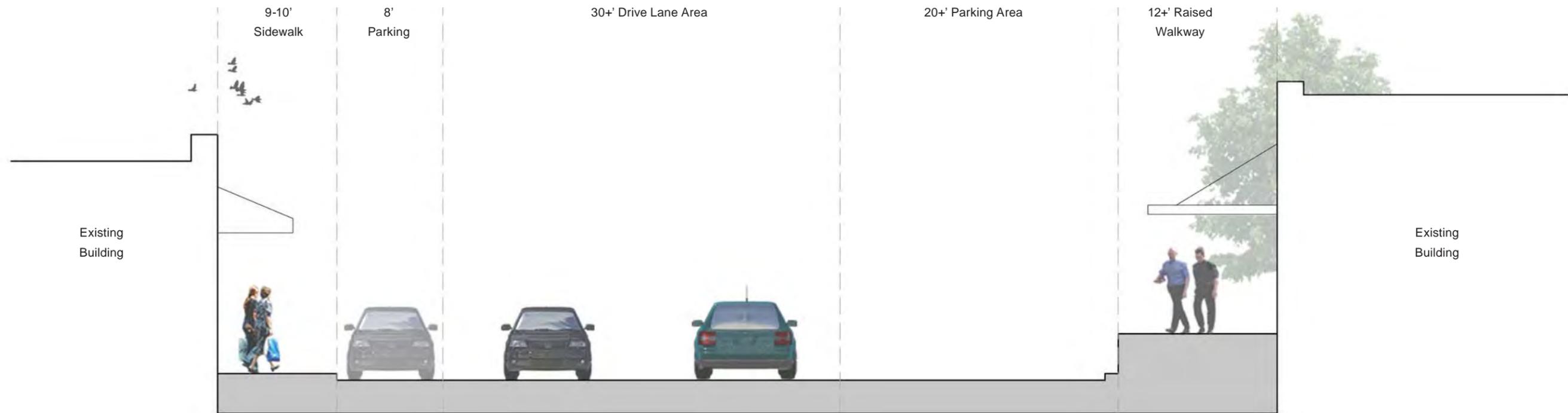
G: Paving on 4th St between San Antonio St and Nueces St should be reduced to create space for additional event space, large-scale bicycle parking or lawn space for pets. Parking will not be permitted along the perimeter of the Federal Courthouse.

H: Intersections connecting to the Park should be improved for both function and aesthetics. Bulb-outs should be created to improve pedestrian-auto visibility, increase space for properly designed ADA ramps, and reduce pedestrian crossing distances. A simple decorative finish incorporated into the crosswalk is recommended to inform pedestrians that they are crossing into something special. This same decorative finish could also be integrated into crossing at the other historic squares.

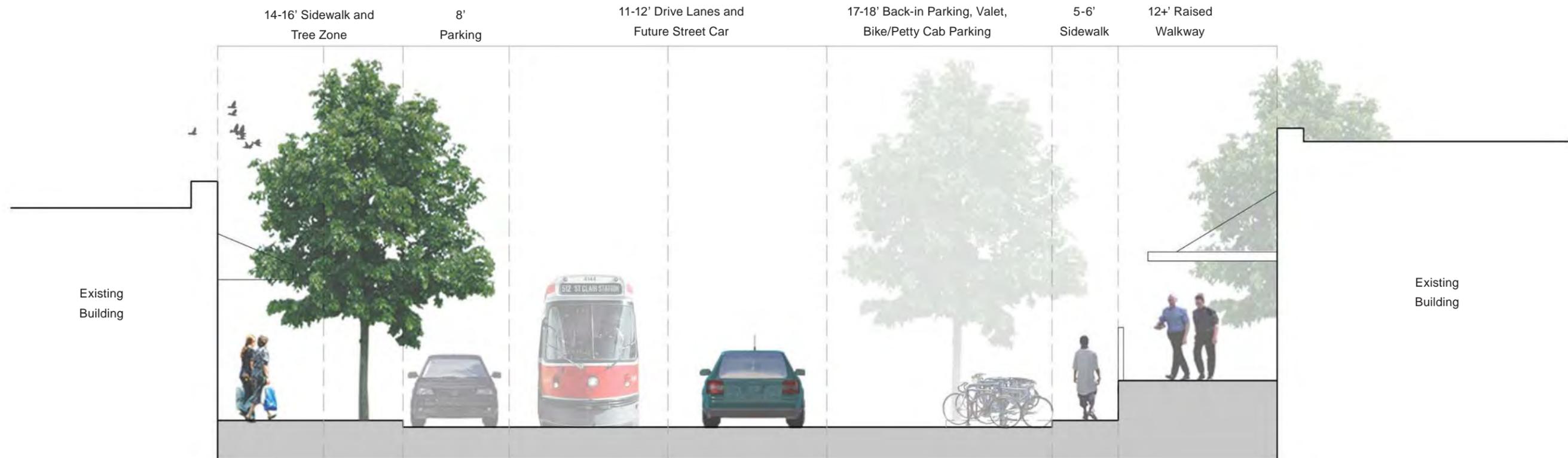
I: The corner of 4th St and Guadalupe St should receive a sculptural iconic element to draw interest from the 2nd St area, and from further down 4th St. The feature should be attractive at night, and have some level of inter-activity at the ground plane.



Park Influence Map; This map identifies key relationships between the park and its edges, as well as improvements that could be considered as part of the "Great Streets" program along 4th St.



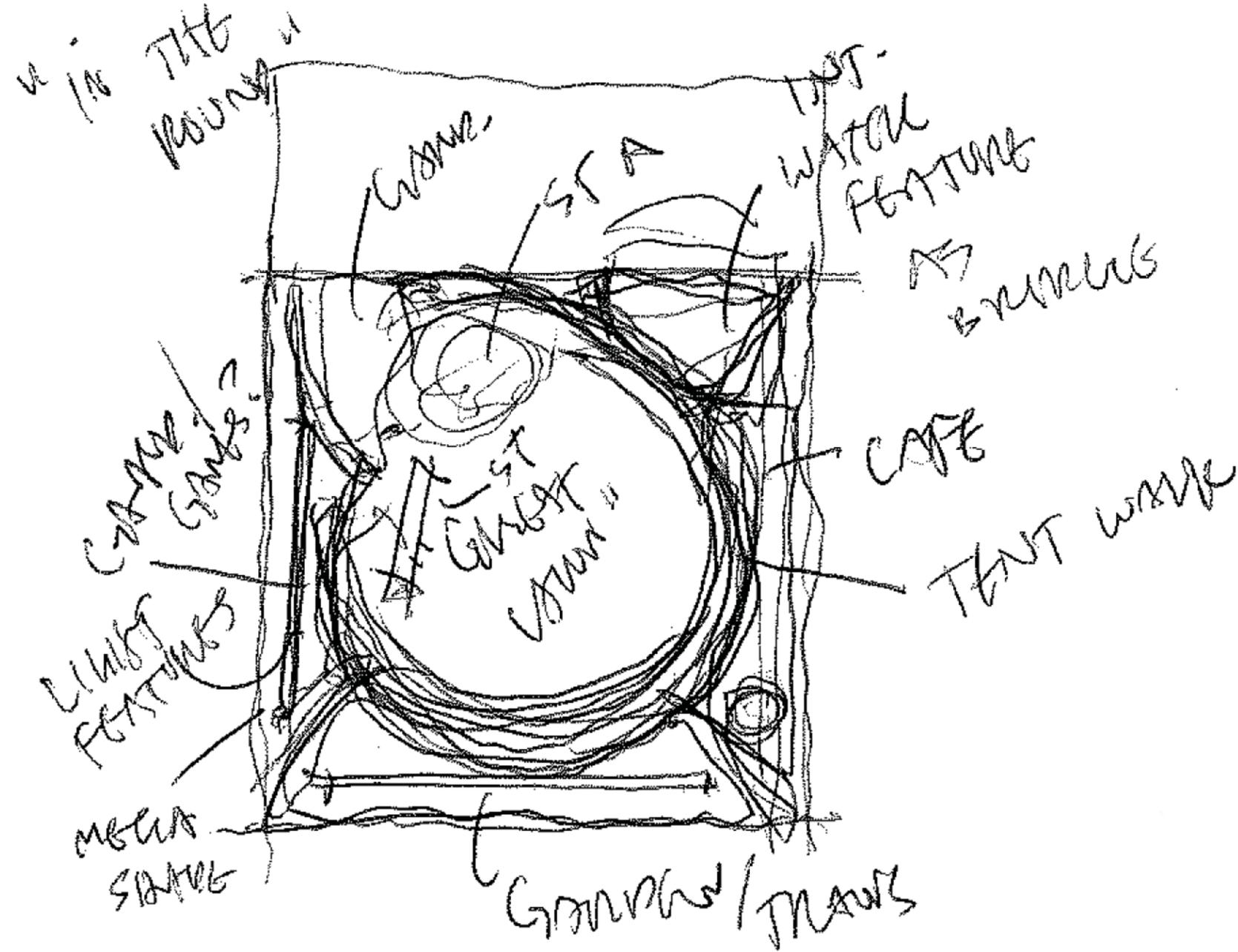
4th St SECTION A: Existing Condition (looking west)



4th St SECTION A: Optional Condition (looking west)

Concept A

This concept is all about the relationship between the audience and performers. In this case, the audience can orient themselves around the entire perimeter of a large lawn space that acts as a stage "in the round". The lawn space is intended to be bright and open, which will be in contrast to its deeply shaded edges. This effect will be attractive to both visitors and locals and will provide a dramatic context for events.





Naturalistic children's play area



Flexible games area



Dynamic seatwall



Curved promenade

Concept A - Plan

Inspired by the idea of “theater in the round,” The layout for Concept A is based on a circular promenade that delimits a large central lawn, which acts as the Park’s stage for activities and flex use, and connects pedestrians to all four corners of the park. The promenade’s outer edge is activated with a dynamic seat wall that rises up from and dies back into grade, creating an audience space to compliment the open lawn.

A: Plaza extension with food kiosk, major art piece or small fountain and cafe seating

B: 30,000 square feet of event lawn

C: Children’s play area with natural elements, perimeter fence and other interchangeable play items

D: “Auction Oaks” preservation area to be protected

E: Existing deck and seating to be protected

F: Transit station with shelters and seat walls provided by CapMetro

G: Game and flexible use area for bocce, ping-pong, washers, etc. on crushed stone aggregate

H: Arc Promenade with stone seat wall and new tree plantings

I: Corner Pedestrian Plaza for bike storage, event queue, art display, etc.



40%

Total area that reads below .5 foot candles;
which is the minimum amount recommended;
Baseline is 98%

80%

Total frontage that has open views from the
street between 2.5' and 7'; Baseline is 95%



Bird's eye perspective of Concept A looking northwest

A: Plaza extension with food kiosk, major art piece or small fountain and cafe seating

B: 30,000 square feet of event lawn

C: Children's play area with natural elements, perimeter fence and other interchangeable play items

D: "Auction Oaks" preservation area to be protected

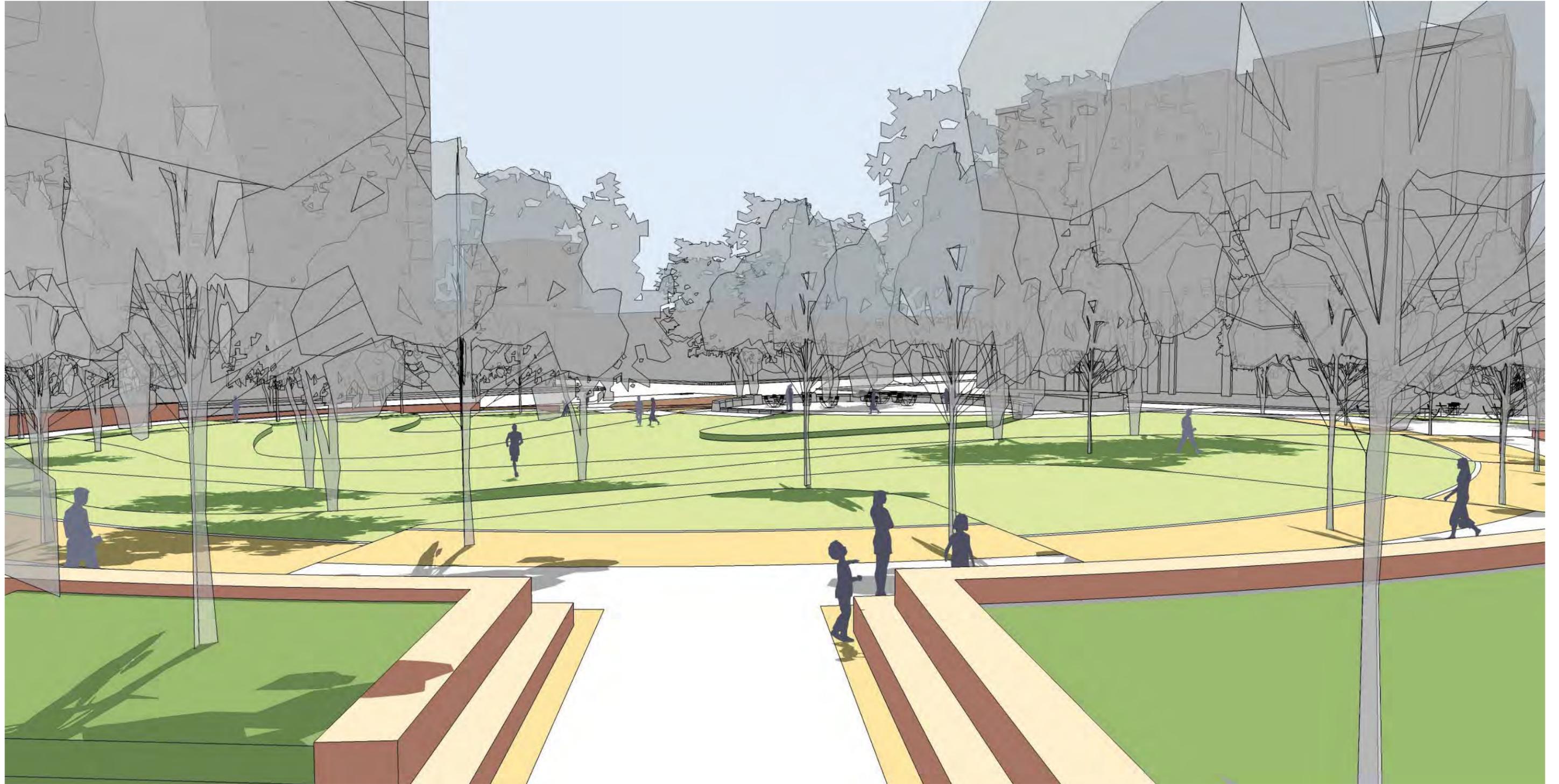
E: Existing deck and seating to be protected

F: Transit station with shelters and seat walls provided by CapMetro

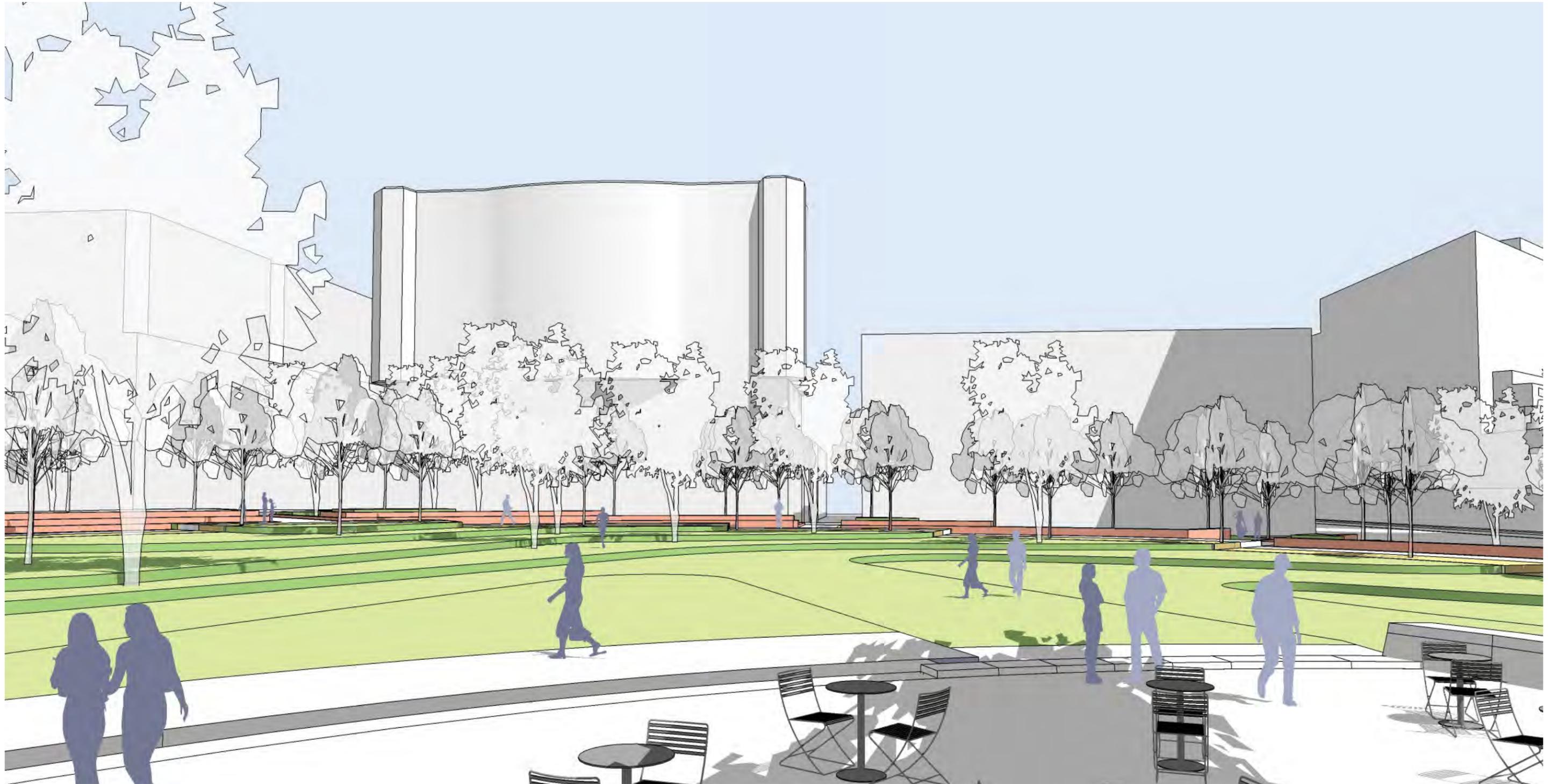
G: Game and flexible use area for bocce, ping-pong, washers, etc. on crushed stone aggregate

H: Arc Promenade with stone seat wall and new tree plantings

I: Corner Pedestrian Plaza for bike storage, event queue, art display, etc. (not shown in perspective, refer to plan)



Perspective of Concept A looking west at "Auction Oaks" from across the circular lawn



Perspective of Concept A looking east from existing deck across the circular lawn

Concept A - Program

The program for this option focuses around maximum flexibility for both event and daily uses. The edges of the Park provide a variety of activities, visual interest, and surfaces while the core of the Park is open and flexible.

In addition to the 40 tents that may be set up in the new Federal Court Plaza pending an agreement with the General Services Administration, the Farmers' Market would be able to set up along the promenade, with shopper circulation looping from the kiosk back to the deck and existing "Auction Oaks." Movies in the Park and other staged activities can easily fit in the open lawn, with loading access from 4th St.

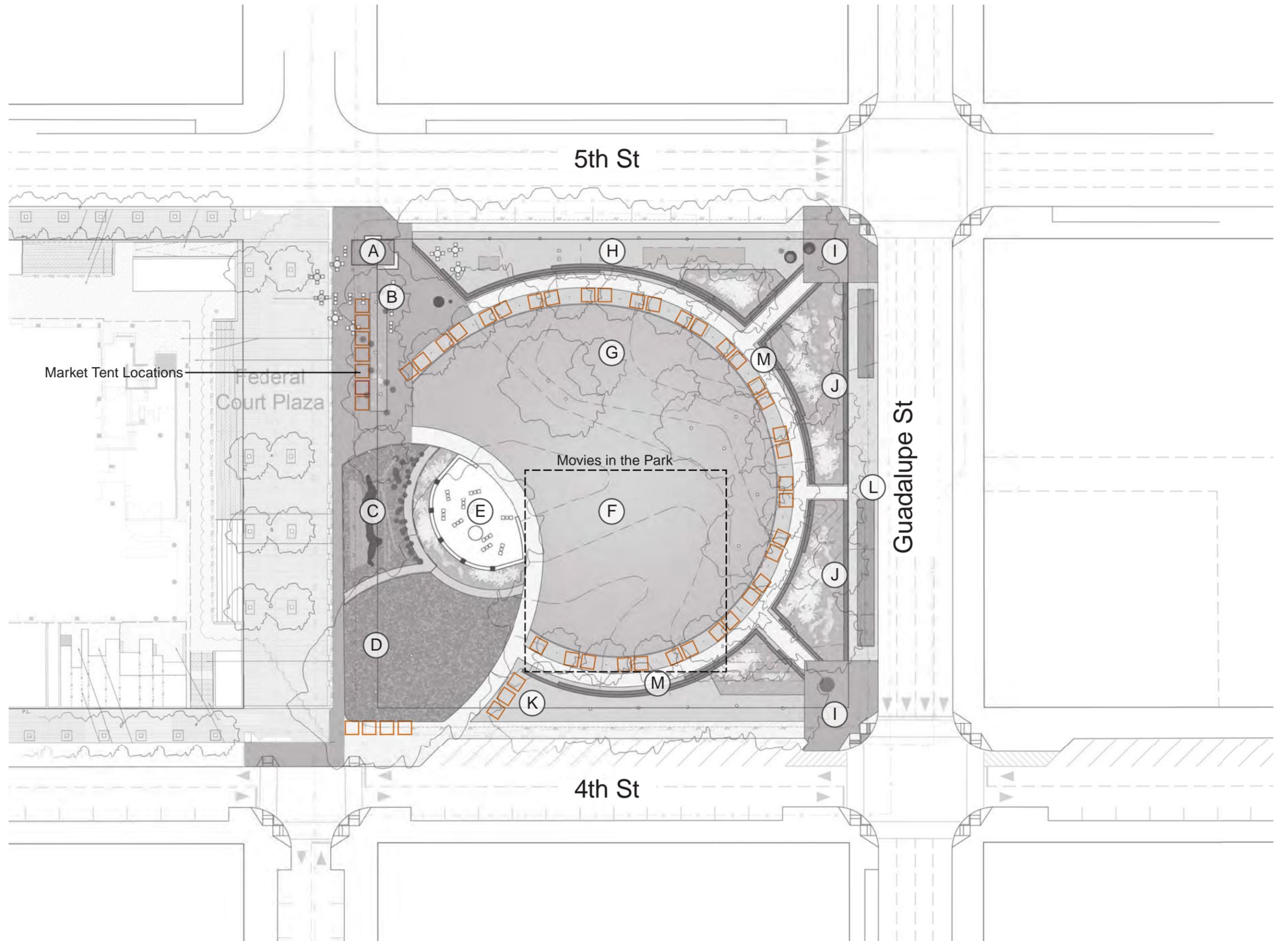
- A: Food Kiosk
- B: Cafe and Multipurpose Plaza
- C: Children's Play Area
- D: "Auction Oaks" Preservation Area to be protected
- E: Existing Deck and Seating to be protected
- F: Open Lawn
- G: Shaded Lawn and Slopes
- H: Game and flexible use area for bocce, ping-pong, washers, etc. on crushed stone aggregate
- I: Corner Pedestrian Plaza for bike storage, event queue, art display, etc.
- J: Planting Area and Buffer
- K: Seating Area
- L: Transit station with shelters and seat walls provided by CapMetro
- M: Arc Promenade with stone seat wall and new tree plantings

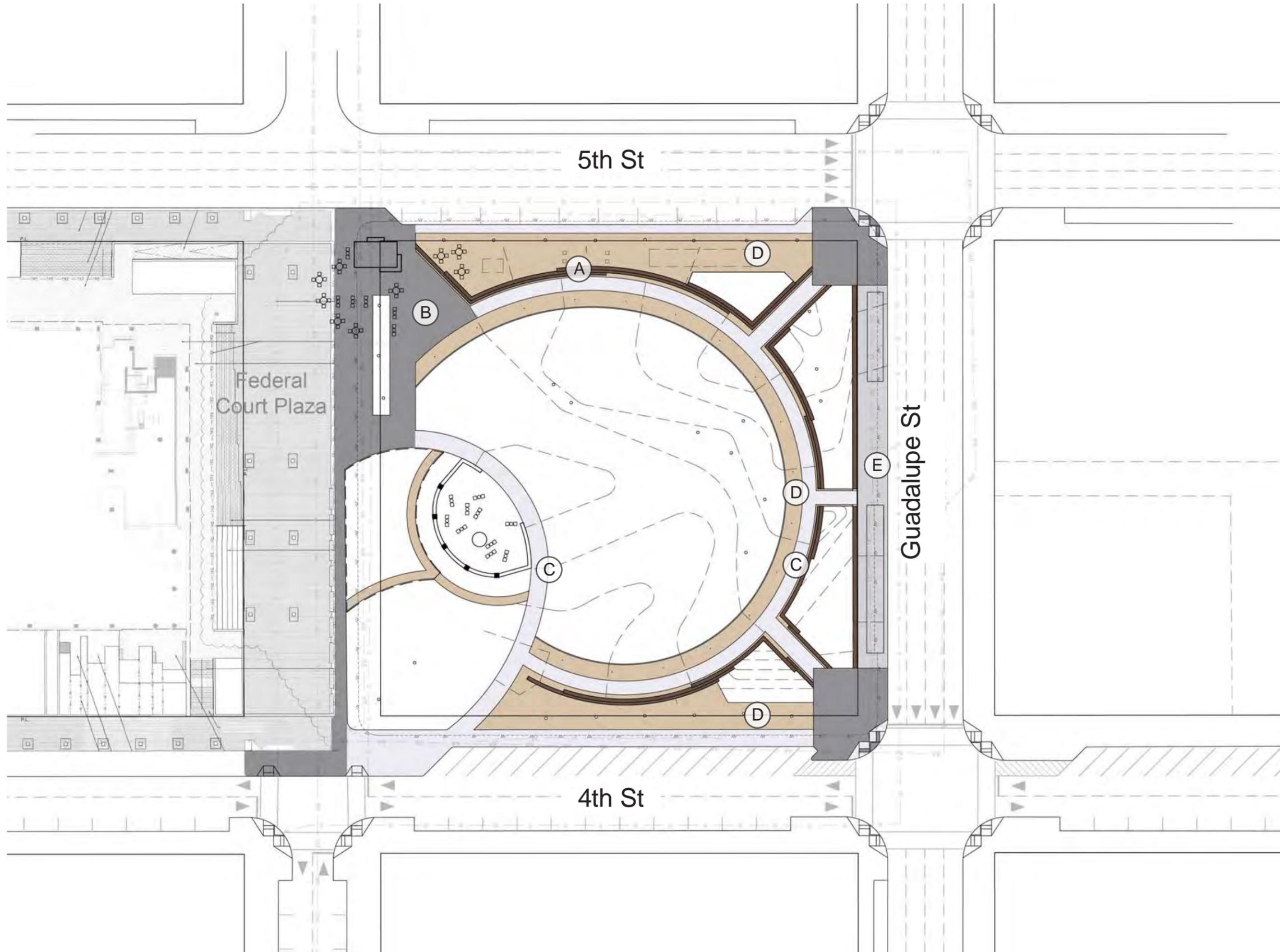
6%

Area of park dedicated to arts or creative programming; Baseline is 2%

75%

Area of park that is "flexible"; can accommodate more than one use; Baseline is 85%





Concept A - Hardscape

This concept allows paving from the new Federal Court Plaza to figuratively spill into the western side of the Park, with additional matching paving along Guadalupe St. The interior of the Park is defined by walls and walkways made of native Texas granite, and standard concrete sidewalk.

A: Block Seating

B: Paver materials to match style of Federal Court Plaza

C: Proposed Broom Finish Concrete

D: Crushed Aggregate Surface (Considered 50% pervious)

E: Textured Concrete Paving

43%

Total existing park impervious cover;
Baseline is 25%

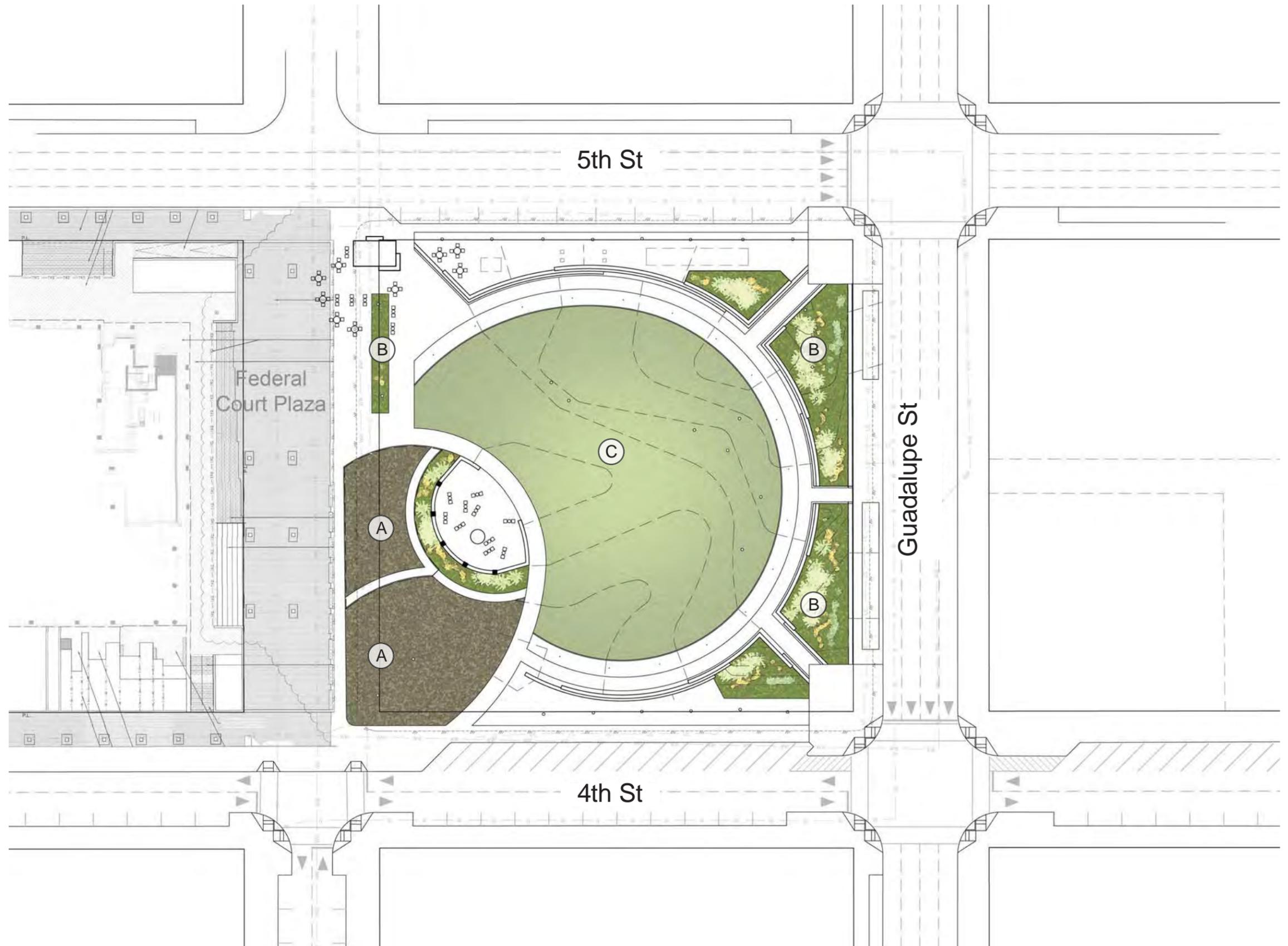
Concept A - Softscape

This concept is oriented around a large maintained lawn area, with ornamental plantings that soften the back of the existing deck wall, and provide a buffer against bus activity and noise.

A: Existing Wood Chip Mulch

B: Native Ornamental Planting Including Flowers, Grasses and Shrubs

C: Drought Tolerant Turf



12%

Total seasonal plantings; Baseline is 6%

8%

Area of understory plantings providing wildlife food sources; Baseline is 4%

30%

Total lawn or mowed cover (30,000 sf can support events up to 3,000 people); Baseline is 63%



Concept A - Trees

This concept introduces several areas with new tree plantings, as well as the preservation of most healthy existing trees. A mixture of deciduous hardwoods and trees relocated from the site supplement the existing trees along Guadalupe to provide shade and interest, while a formalized ring of trees in the arc promenade provides structure and seasonal interest in the center of the Park. An additional oak is proposed along the Federal Court Plaza to provide additional shade in the cafe area. The central lawn area is more open and sunny to contrast with the Park's more shaded edges.

- A: Deciduous Trees Planted Formal Ring
- B: Relocated and New Deciduous Trees
- C: New Oak Tree
- D: Existing "Auction Oaks"
- E: Existing Oaks
- F: Existing Mixed Hardwoods
- G: Proposed Mexican Sycamores at Federal Court Plaza

18%
 Tree canopy cover with seasonal interest,
 Baseline is 8%

49%
 Total designed tree canopy cover; Baseline is 40%

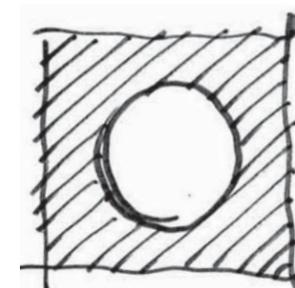
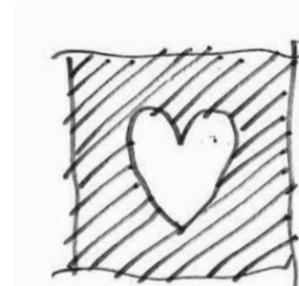
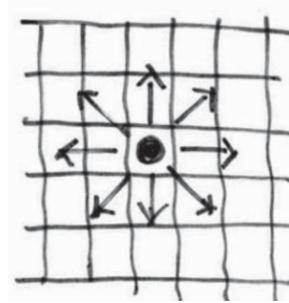
PREFERRED CONCEPT

This section describes the preferred concept for Republic Square as informed by the analysis and public feedback. It begins with a summary of the conceptual and formal layers of thought that underlie the preferred concept's design and experiential character. It then details the preferred concept's layout and intended performance through a series of plan diagrams.

Above; Acorns from the "Auction Oaks".

Preferred Concept

Building on Concept A, the preferred concept imagines park users as performers. This idea is rooted in the historic patterns of the Park's role from the days of the famous auction. It looks to heighten the Park's relevance for the greater Austin community and extend its influence beyond the confines of the Park's edges.



Influential-

a distinct character driving decision-making in the area.

- positive connotation
- partner in nearby projects
- economic engine

Community Relevance-

a timeless design that is responsive to a changing community.

- regional and durable materials
- popular programming
- storytelling
- flexibility
- local pride

Design Narrative-

a natural performance space

- sense of nature
- choreographed
- sense of performance and audience
- physical forms driven by a thematic story



Layering and Narrative

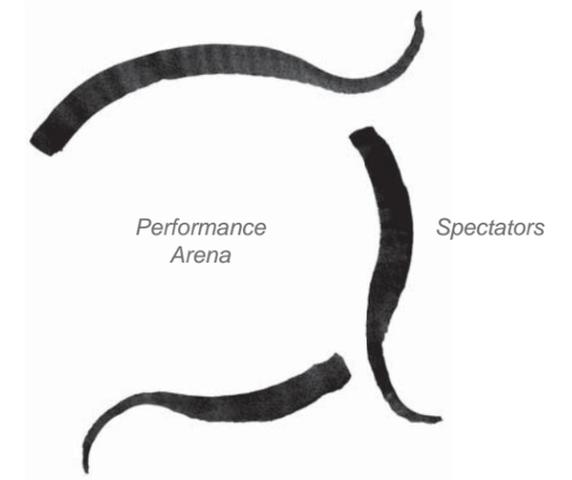
As outlined, the proposed park includes layers of influence, community, and design narrative. The layout of the park is responsive to the programming needs and existing conditions of the park, while the narrative represents the physical appearance and feel of what visitors experience. The layering of this park is defined by three distinct characteristics; a natural performance space, landscape formation and wall geology.



Concept A
Compound Arc



Concept C
Curvilinear Form



Preferred Concept
Interrupted Arc

This collection of images shows the top two organizational systems identified by public comment and how those two systems were combined to create the framework for the preferred concept.



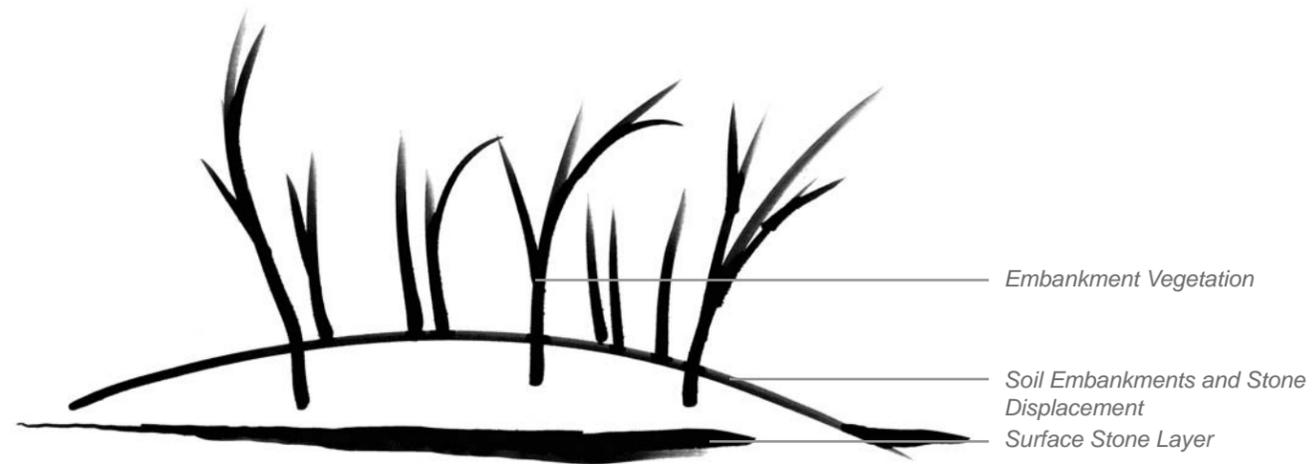
The Roman theater in Trier, Germany represents a formalized theater in the round.

...a natural performance space.

The particular strength of Concept A was its basis in theatrical performance. It was developed as a "theater in the round" option, which features a flexible open space surrounded by seating for spectators. The goal for the preferred concept was to create this type of space, but in a way that felt more naturalistic. Interruptions were added to points in the arc that made sense for pedestrian flow while metaphorically breaking down the formal composition of Concept A.

Landscape Formation

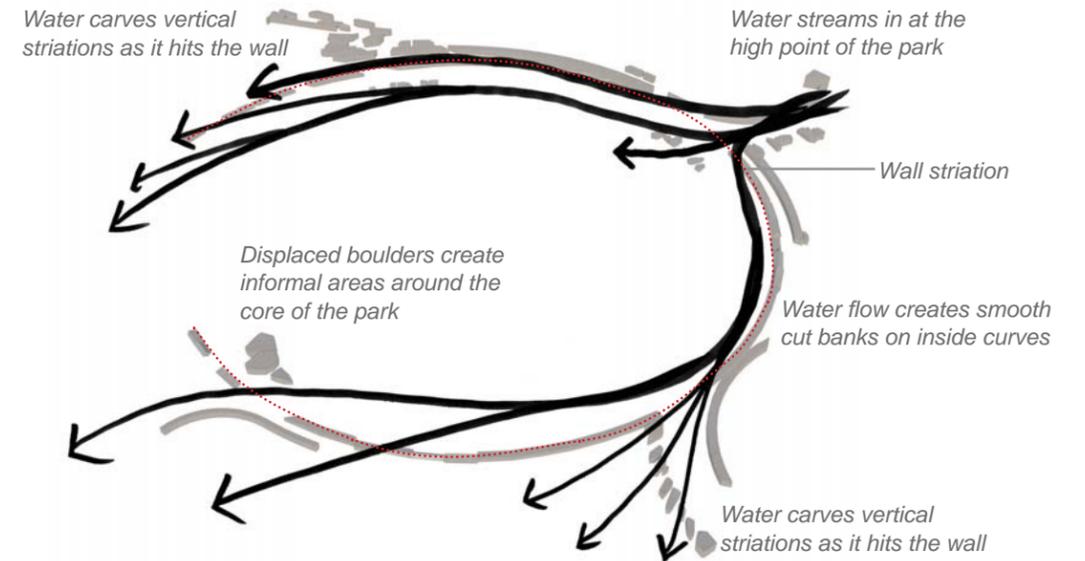
Forms, topography, planting and other associated features are derived from the process of flooding, deposition and weathering found within native creek systems.



This image depicts many of the landscape ingredients found in the Park, and is set in the context of Waller Creek and Shoal Creek.

Wall Geology

The framework of the park is defined by a series of curved walls that are manipulated to show different signs of natural weathering. This narrative makes the walls an expressive and playful part of the park experience.



Striations in natural stone thread their way through local waterways and visually tie larger geologic forms together. The Park's proposed wall system includes an artificially made striation that works its way around the interior wall ring within the Park.



Rendering of the northeast entry point near 5th St and Guadalupe St, overlooking the main lawn. Granite walls function as seating around the perimeter of the Park, while a gracious promenade dotted with engaging light features carries visitors around the core area. The Park is anchored by a 25,000 square foot lawn space with 360 degree open views that create the feeling of audience and performers.



Rendering of the "Market Area." This area includes room for games, movable seating and a generous walkway for strolling in the shade. During market events, this area can absorb over 30 tents, with the ability to also hold a large event tent at its western terminus.



Rendering of the Central Lawn during a concert or staged event.



Preferred Concept Plan

The preferred concept for Republic Square includes a variety of flexible spaces while preserving much of the open feel that exists today.

Legend

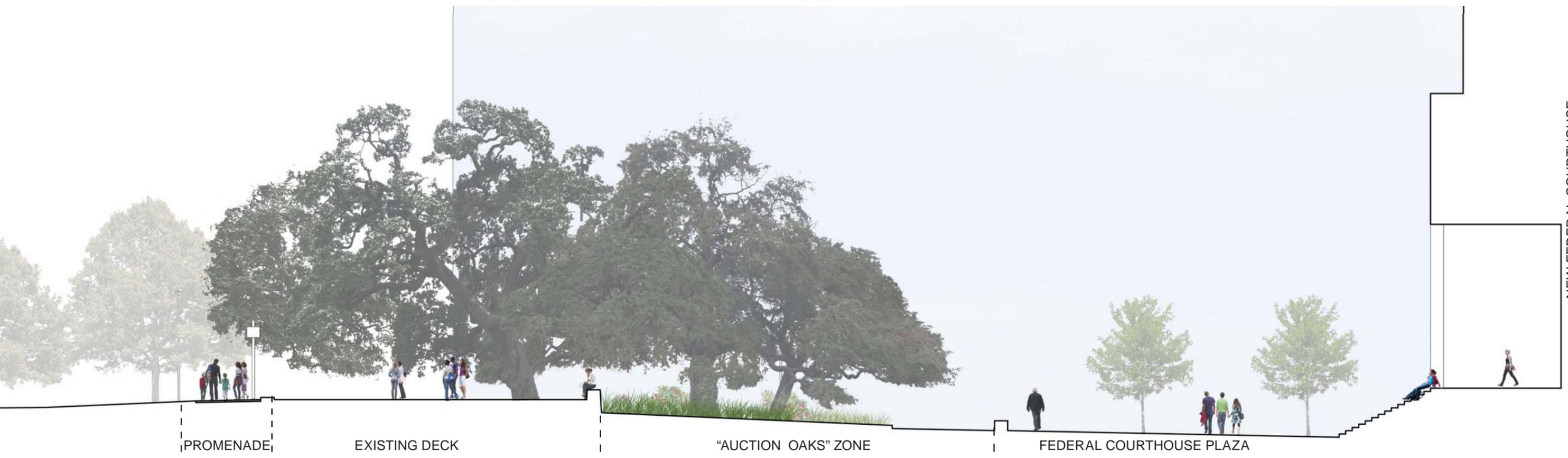
- A: Public Transit Corridor
- B: 5th St Corridor
- C: 4th St Corridor
- D: Federal Courthouse Plaza Zone
- E: Auction Oak Area
- F: Existing Deck
- G: Main Lawn
- H: Tiered Walls
- I: Arc Promenade
- J: Plaza Area
- K: Market Area
- L: Food Kiosk
- M: Support Building
- N: Primary Pedestrian Entrances
- O: CapMetro Stop







FUTURE POST OFFICE REDEVELOPMENT



NEW FEDERAL COURTHOUSE

Program

Similar to Concept A, the layout is based around a circular promenade which connects pedestrians to all four corners of the park, creates dynamic edge conditions and provides a flexible, central lawn for activities. The preferred concept also includes the multi-purpose area along the north edge of the Park from Concept B.

A: Public Transit Corridor- This area is generally a waiting space for CapMetro users. It includes waiting shelters, vehicular access for the event loading, furnishings, bicycle corral, CapMetro signage, downtown wayfinding signage, irrigation and “Great Streets” light features. A bypass walkway located on the western edge of this space allows for Park users to circulate away from transit-related cuing, noise or other activity.

B: 5th St Corridor- This area includes on-street parallel parking, loading for both markets and the kiosk, short-term customer parking for the food kiosk, east-bound CapMetro bus stop, bicycle parking, irrigation, “Great Streets” lighting, vehicular access for the Park and landscaping. This area is also intended to include portions of the information and exhibits related to the 5th St Mexican-American Cultural Trail.

C: 4th St Corridor- This area includes on-street parallel parking, ADA parking, loading for both markets or events, future CapMetro rail activity, bicycle corral, irrigation, “Great Streets” lighting, vehicular access for the park, and interpretive material related to the “Auction Oaks.”

D: Federal Courthouse Plaza Zone- This area includes park lighting, a gravel pathway, landscaping, event/market space, cafe seating for the food kiosk, irrigation, and access/staging for volunteer work days.

E: Auction Oak Area- This area includes planting areas, barrier rails, irrigation, improved soils conditions and park lighting.

F: Existing Deck- The deck is a flex space that includes movable seating, interpretive material related to the “Auction Oaks” and functions as a self-contained event space or stage for a larger event.

G: Main Lawn- The overall lawn space includes both sloped and flat areas for seating, events, dog walking, informal sport activities, shaded seating, improved soil conditions, irrigation, and stormwater filtering during rain events.

H: Tiered Walls- These areas include layered seating with views across the park and playful features that are attractive to children.

I: Arc Promenade- The main loop walk includes park lighting, generous space for strolling, seating on almost all edges, park furnishings and interesting views across the park. It is meant to be the primary circulator for people moving around and through the park.

J: Plaza Area- This area is a flexible use space that includes tie-downs for large tents, perimeter seating, park furnishings, park lighting, service for a future water feature or play feature and cafe seating associated with the food kiosk.

K: Market Area- The market includes a trio of spaces meant for event use and daily community use. It features a raised boardwalk that can accommodate seating and support for program such as ping-pong, board games, or a mobile library. The boardwalk also protects existing raised tree roots in the area. A main walk down the center provides both decorative paving associated with Mexican-American themes and short term vehicular access during loading and comfortable pedestrian space during events. The southern-most edge is a soft-surface space that allows for event use and activities such as bocce, washers, horseshoes and other games.

L: Food Kiosk- This is a 200-300 SF structure that accommodates food sales within the Park.

M: Support Building- The support building includes bathrooms, park storage, and maintenance support.



L: Areas around Market Area function both as soft surface game areas and flexible seating space.



I: The Arc Promenade features a wide range of stone seating areas, as well as creative elements that add a playful nature to the park.



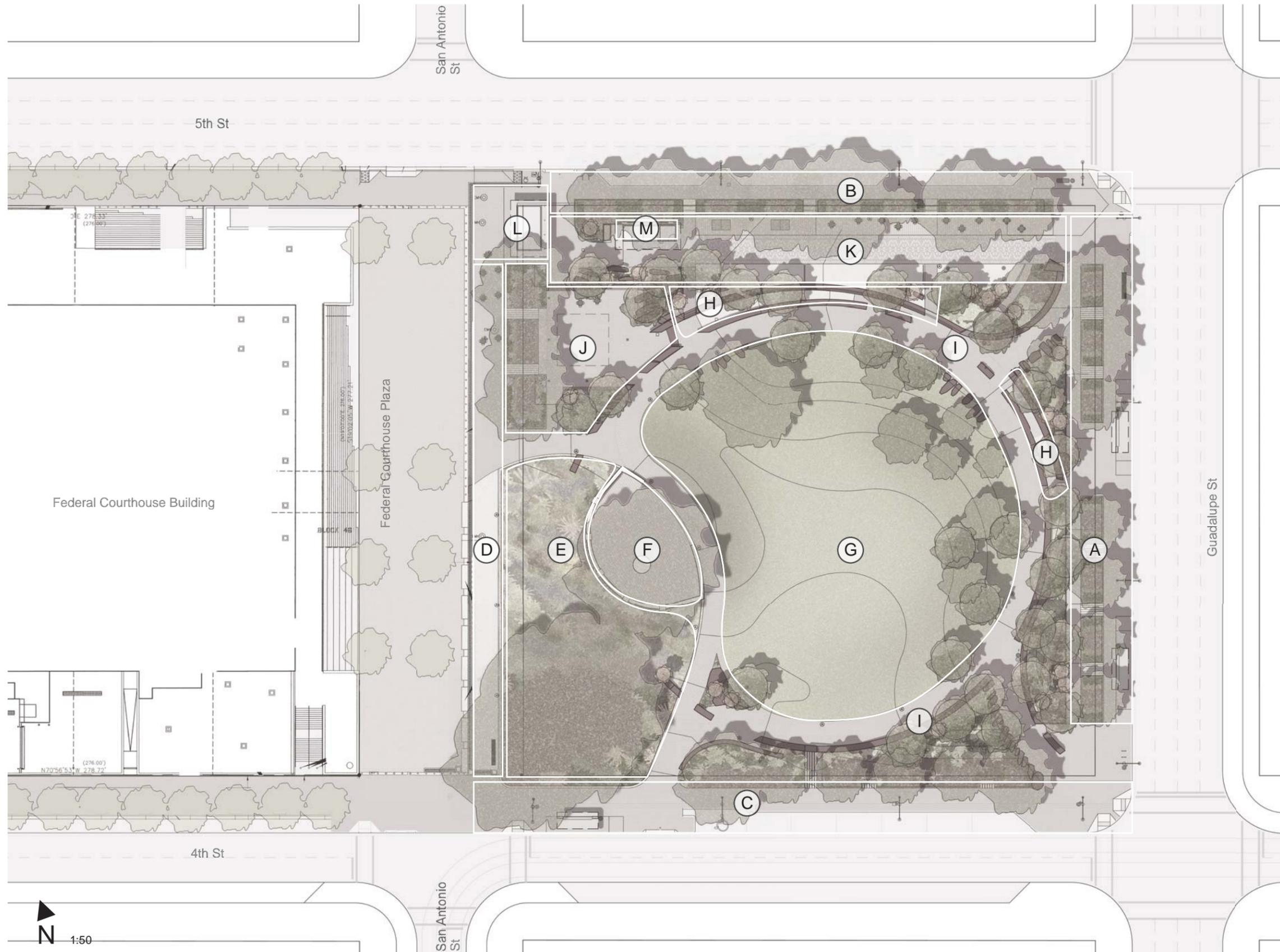
F, J, L: Several areas of the park can accommodate seasonal, temporary or regularly programmed special uses, such as a rolling library.



M: The provision of food in the park is a wonderful opportunity to provide greater community service/relevance and increase overall Park revenues.



G: The main lawn has many roles in the function of the park, but none more important than its green and vibrant appearance in the heart of the city.



Program Plan

Legend

- A: Public Transit Corridor
- B: 5th St Corridor
- C: 4th St Corridor
- D: Federal Courthouse Plaza Zone
- E: Auction Oak Area
- F: Existing Deck
- G: Main Lawn
- H: Tiered Walls
- I: Arc Promenade
- J: Plaza Area
- K: Market Area
- L: Food Kiosk
- M: Support Building

87%

Area of park that is "flexible," can accommodate more than one use; Baseline is 85%



Event Plan

The Park is designed to host a range of events while staying open and usable to the local community.

As the Park develops, the event programming should be entirely responsive to the operations and management realities associated with the Park, and the needs of the local community. Many significant features are proposed that will help reduce wear on the Park, while providing use for the community while events are not taking place.

A: South Loading Drive- This is a paved route that will hold up to heavy vehicular use and appear as a typical pedestrian surface when not in use. It includes a mountable curb and removable bollard along 4th St.

B: North Loading Drive- This paved route will also hold up to strenuous vehicular use and appear as a typical pedestrian surface when not in use. It includes mountable curbs and removable bollards along 5th St and Guadalupe St.

C: Market Area- These linear spaces can support temporary structures which line the promenade and Federal Courthouse Plaza. As shown, these spaces can accommodate up to 38 10'x10' tents.

D: Plaza Area- This area can accommodate a single 45'x45' tent or several smaller tents. Tie-downs will be installed in the paving to support this use.

E: Main Lawn- This space is approximately 25,000 SF and can accommodate events of up to 2,000 people. If the promenade is included in the calculation, the number increases to 35,000 SF, which would accommodate 350 people.

F: Existing Deck- This area is about 2,300 SF and can accommodate events of up to 23 people or can be used as a stage for larger events oriented toward the main lawn.

G: Main Perimeter Fence- This is the approximate route of a major event fence. The route should leave all perimeter circulation open and clear. Events with

this type of fence requirement should be limited to no more than 12 events per year.

H: Alcohol Sales Fence Layout- This section of fence shows a scenario where events selling alcohol can be held with controlled access to the sales area. This layout is flexible and can occur as needed.

I: Federal Courthouse Plaza Venue- This area may be able to accommodate events as needed, and there is a potential option for smaller events or secondary events if the building operator allows for such events or uses.

J: Federal Courthouse Plaza- This paved area is large enough is to support approximately fifty 10'x10' market tents. It should also be considered for ACL shuttle bus queuing, or other similar uses. However, any use of the Federal Courthouse Plaza would require an agreement with the building operator.

K: Portable Bathrooms- If needed, portable bathrooms for events should be located along the southern edge of the Park, with loading occurring along 4th St.

L: Food Kiosk- All events should keep access open to the kiosk and include the vendor to the greatest extent possible. Event loading or storage should not affect service or other operational aspects of the kiosk.

M: Support Building- Bathrooms in this building should not be utilized for major events, but should serve as facilities for smaller events or VIP use if alcohol is sold.



C: Farmers Market activity can be held in several areas to allow for expansion including the proposed market area and plaza.



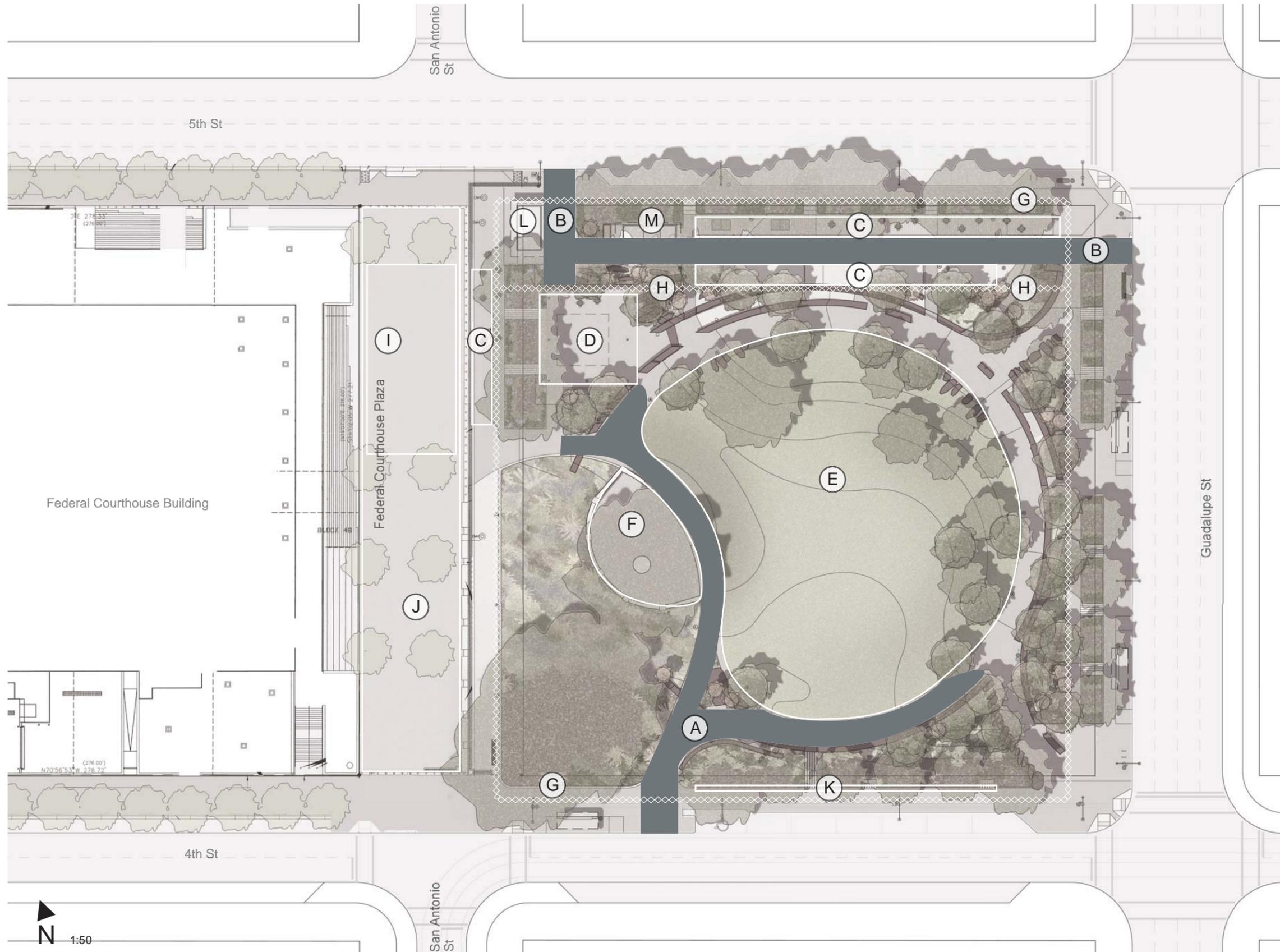
F: The existing deck can be used for controlled access vending, specialty seating or smaller events.



D: The proposed plaza allows for large tents to be set up for events.



D and E: The plaza and open lawn are able to accommodate large artistic or interactive exhibits similar to those installed during SXSW 2013.



Event Plan

Legend

- A: South Loading Drive
- B: North Loading Drive
- C: Market Space
- D: Plaza Area
- E: Main Lawn
- F: Existing Deck
- G: Main Perimeter Fence
- H: Alcohol Sales Fence Layout
- I: Federal Courthouse Plaza Venue
- J: Federal Courthouse Plaza
- K: Portable Bathrooms
- L: Food Kiosk
- M: Support Building

52%

Area of Park used by children on a regular basis; Baseline is 40%



52%

Area of Park used by teenagers on a regular basis; Baseline is 37%



75%

Area of Park used by adults on a regular basis; Baseline is 57%



59%

Area of Park used by seniors on a regular basis; Baseline is 40%



Hardscape

The hardscape plan is inspired by the layering of local creeks and waterways. It consists of a monolithic base level (reminiscent of exposed limestone bedrock) and native boulders in various stages of weathering. Other surfaces are designed to provide usable surface while protecting the critical root areas of existing trees. The palette is simple, intuitive for maintenance, context-sensitive and timeless.

A: Radiant Red Granite Tiered Wall- Central Texas boasts several different types and colors of granite. Many of the heritage sites around Austin feature this granite and have withstood the test of time; Republic Square should be no exception. Granite offers low maintenance, easy cleaning, vandalism resistance, as well as a variety of finishes and color variations. Source location: Fredricksburg, Texas (150 miles).

B: Radiant Red Granite Cobble (50% pervious)- The Park should include as much pervious paving as possible. The same granite used for the walls can be shaped into a pervious paving unit that blends well with other paving and wall types in the project. 4"x4"x4" Radiant Red Cobble, 3/8" spacing, grid pattern, crushed joint material to match gravel surface material. Source location: Fredricksburg, Texas (150 miles).

C: Charcoal Unit Paver (Vehicular)- The Federal Courthouse project includes a range of gray and charcoal pavers as part of its design. This project looks to build on that palette and create a contiguous, neutral ground plane that highlights vertical features and plantings. 3 1/8" x 5 13/16" x 11 3/4" Pavestone City Stone I, Running Bond or Radial Pattern, Charcoal Color, bituminous setting bed, 6" concrete sub-slab. Source location: San Marcos, Texas (35 miles).

D: Charcoal Unit Paver (Pedestrian)- 3 1/8" or 2 3/8" x 5 13/16" x 11 3/4" Pavestone City Stone I, Running Bond or Radial Pattern,

Charcoal Color, bituminous or sand setting bed, 4" concrete sub-slab. Source location: San Marcos, Texas (35 miles)

E: Charcoal Unit Paver (50% pervious)- This paving unit can be used in areas with exceptionally high surface roots, or in areas that will see lower foot traffic. They may require some additional maintenance over time, but give existing trees additional growth space and reduce the impacts associated with cast-in-place slabs. 3 1/8" x 4 3/4" x 9 7/16" Pavestone Eco-Prioria, Running Bond Pattern, Charcoal Color, sand and crushed aggregate setting bed. Source location: San Marcos, Texas (35 miles)

F: Crushed Stone Surface (50% pervious)- This material should be used between stepping stones, around pervious pavers and as the surface for game courts along the north portion of the site. It will need to be maintained/graded periodically and should be installed in compacted lifts over a geotextile. Cactus Canyon Quarries, Burnt Cherry 4-30 mesh or approved equal. Source location: Marble Falls, Texas (50 miles).

G. ADA Ramp and Truncated Domes- 2 3/8" x 3 7/8" x 7 13/16" Pavestone ADA Paver, Basket Weave Pattern, Charcoal Color, Mortar in place with sanded flush joints, 4" concrete sub-slab. Adjacent ramp flares and surface should be standard broom finish concrete. Source location: San Marcos, Texas (35 miles).

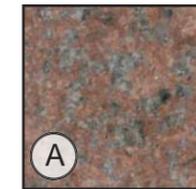
H: Cast-in-place Steps- Steps and adjacent walls near the plaza and kiosk should be made of concrete with a sandblasted finish to lightly expose internal aggregates. They should also include recessed step lighting cast into the riser of the steps. Concrete and much of its ingredients are easily sourced within a short distance of the park.

I: Ipe Decking (50% pervious)- Deck surfaces are required along the 5th St side of the park to preserve significant root areas that are somewhat higher in elevation than ideal

proposed conditions. This decking should match the general style and appearance of the existing deck. 1 1/2" x 3 1/2" Ipe decking set over steel or Ipe framing, with stainless steel fasteners. This is not a local or regional material, but does meet the durability and fire-resistance standards that should be applied to an urban park.

J: Leuders Limestone Paving (50% pervious)- Limited areas of the park should be paved with sand-set limestone pavers that include some gapping for water to percolate. 2 1/4" x 12" x 24" Leuders Limestone, Gray or Cream color, light split-face finish, 1" sand setting bed, geotextile above existing grade, minimum of 2" gapping on at least two sides of paver, fill gaps with crushed stone material. Source location: Leuders, Texas (250 miles).

K: CapMetro Platform- This material should be consistent with the overall development, but does not need to be a paver surface. It can be a standard broom finish concrete, sandblasted concrete or red granite. Colored concrete, non-matching pavers, sheet metal or any configurations that feel temporary should be avoided.



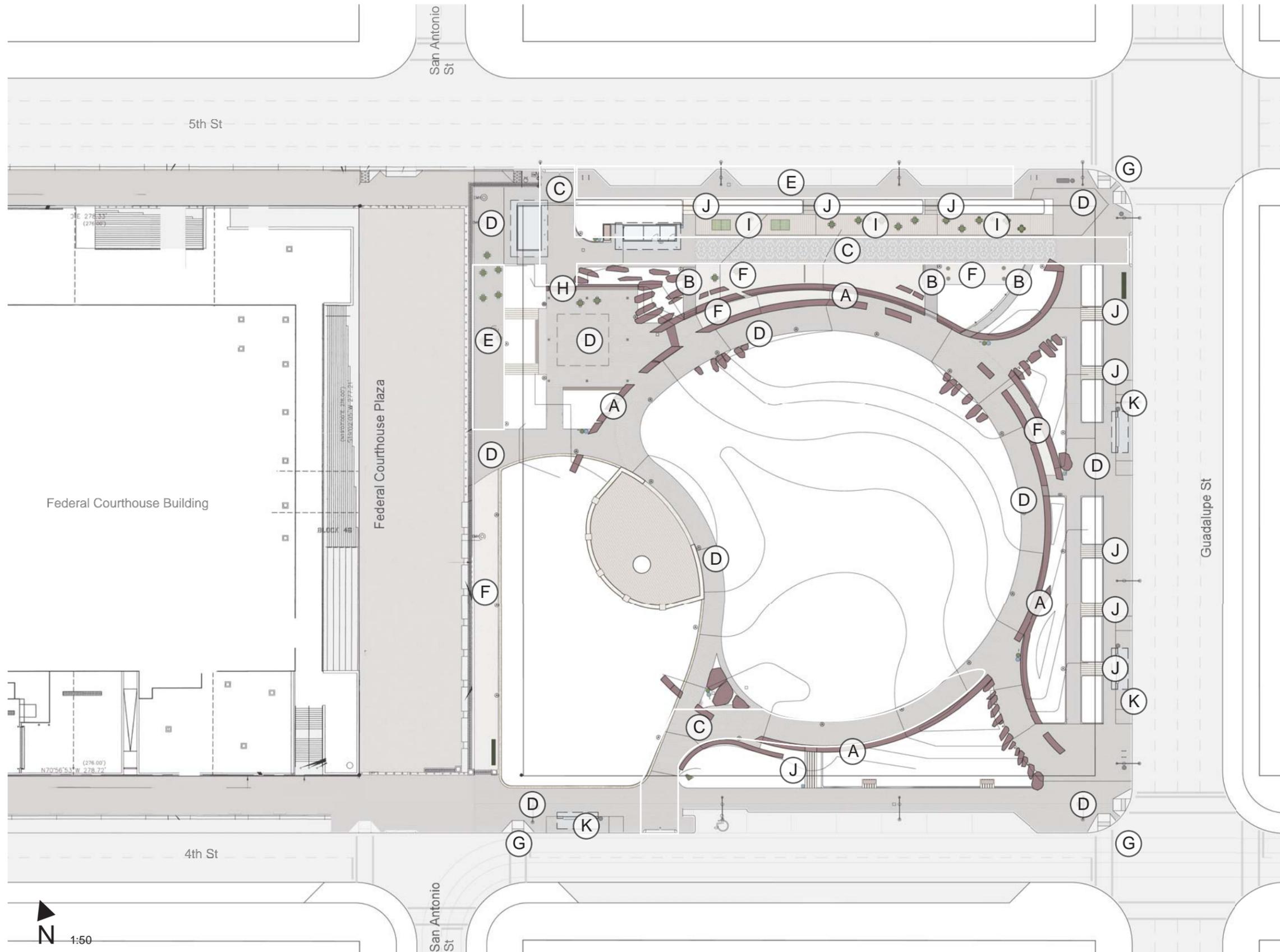
Swatch of Radiant Red Granite, Fredricksburg, Texas.



Granite boulders will come in a range of natural finishes, shapes and sizes. Locations will be organized in the field based on the specific characteristics of each stone.



The stone will have a blended and seamless relationship with paving surfaces, much like they had always been there and were paved around.



Hardscape Plan

Legend

- A: Radiant Red Granite Wall
- B: Radiant Red Granite Cobble
- C: Charcoal Unit Paver (Vehicular)
- D: Charcoal Unit Paver (Pedestrian)
- E: Charcoal Unit Paver (50% pervious)
- F: Crushed Stone Surface
- G: ADA Ramp and Truncated Domes
- H: Cast-in-place Steps
- I: Ipe Decking
- J: Leuders Limestone Paving
- K: METRO Platform

63%

Percent of park cost from materials sourced fewer than 500 miles from the site.

38%

Total existing park impervious cover; Baseline is 25%



Furniture and Fixtures

Furnishings in Republic Square should support daily Park activity while diversifying the pedestrian environment and enhancing the visitor's experience. The proposed plan specifies functional furnishings designed to limit vagrancy and other undesirable activities without detriment to the intended uses. Furnishings will ultimately be selected in light of PARD's already established standards, but given the Park's unique importance to the Austin, a more Park-specific product may be the best choice in some cases.

The furnishings along the Park's perimeter should be selected and provided in partnership with the "Great Streets" program, as well as the CapMetro furnishing program. It is assumed that all furnishings within the streetscape will meet these program standards and will be maintained by those organizations.

A: Garbage and Recycling- The Park should include a simple surface mounted garbage bins. The PARD standard Scarborough unit is recommended within the park and should be painted Ivy with the top-opening option. The overall size is 30"x 38". The units should also be engraved to read "Republic Square" vertically along one of the straps that form the exterior of the bin. This graphic should face the most prominent pedestrian area nearby. A recycling plan is recommended for whichever party handles Park maintenance, and a matching bin painted Ocean Blue should be used. The color and location of Park receptacles will be such that ownership can be easily distinguished.

B: Bench Seat- Linear Ipe seats should be located along three sides of the Plaza Area to frame the space, protect the adjacent landscape and provide shaded seating. The Ipe decking should match other surfaces in the park and will be supported by a simple steel frame with imbedded posts. The bench along the north edge of the plaza sits against a battered section of cast-in-place wall which forms a natural back rest. All portions of these benches should include an interruption at 4' on center, which discourages skate boarding and sleeping.

C: Dog Waste Bag Dispenser- These Mutt Mitt boxes will be pole mounted adjacent to several garbage bin locations. The bags supplied for these features are 100% biodegradable, which work with Austin's recent initiatives to reduce plastics in landfills.

D: Water Fountain and Bottle Filling Station- This fixture provided by an organization called Globaltap, whose mission is to provide access to clean drinking water in public and/or civic locations. They are a funding resource and provide many configurations. The model shown is a free standing unit with both water bottle filling and ADA drinking fixtures. A wall mounted model with similar features would be used at the support building.

E. Tube Steel Rail- This simple, 1 1/2" diameter tube steel rail can be used to protect planting areas and similar systems have already proven effective in other urban parks. To discourage skateboarding, it should have welded ribs every 5-6' on center.

F: Leaning Rail- These linear rail features extend down most of the eastern street edge to provide both functional waiting space for CapMetro riders as well as protection for trees and planting. Unlike regular bench seating, these rails do not accommodate sleeping and general loitering. Tube steel construction (similar to photo) is recommended as it reduces graffiti surface and collection of bird droppings.

G: Police Call Box- These features are installed on the north, east and south edges of the park. They provide quick access to police help and are a visual deterrent for crime. A dim blue light is mounted on the top of the pedestal to create visual presence at night.

H: Park Table- These tables will match the Landscapeforms Parc Centre tables already in used in other city parks. The new tables should be the 30" round version and should be painted Ivy color to reinforce the Park's unique importance.

I: Park Chair- These chairs will match the Landscapeforms Parc Centre chairs already in used in other city parks. The all new chairs should be

painted Ivy color and should be engraved to read "Republic Square" horizontally along one of the straps that form the back of the chair.

J: Parking Meter (Per City Standard).

K: Bench (Per "Great Streets" Standard).

L: Trash Can (Per "Great Streets" or CapMetro Standard).

M: Bike Corral (fits 10-12 bicycles)- Creative Pipe Gauntlet Rack, angled tubes, surface mount. 5 Loop dimensions: 124"Lx36"Hx26"W.

N: Bike Rack (Per "Great Streets" Standard)

O: Removable Bollard (Bollard Solutions)- This is a simple stainless steel tube with the ability to drop into an underground sleeve to prevent the bollard from being lost or stolen when removed for vehicular access.

P: Washer Pits- Washer pits should include a 1/4" wall steel frame pinned to grade, with a steel or cast iron cup in the center. The interior of the frame can be filled with crushed aggregate to match adjacent surfaces.

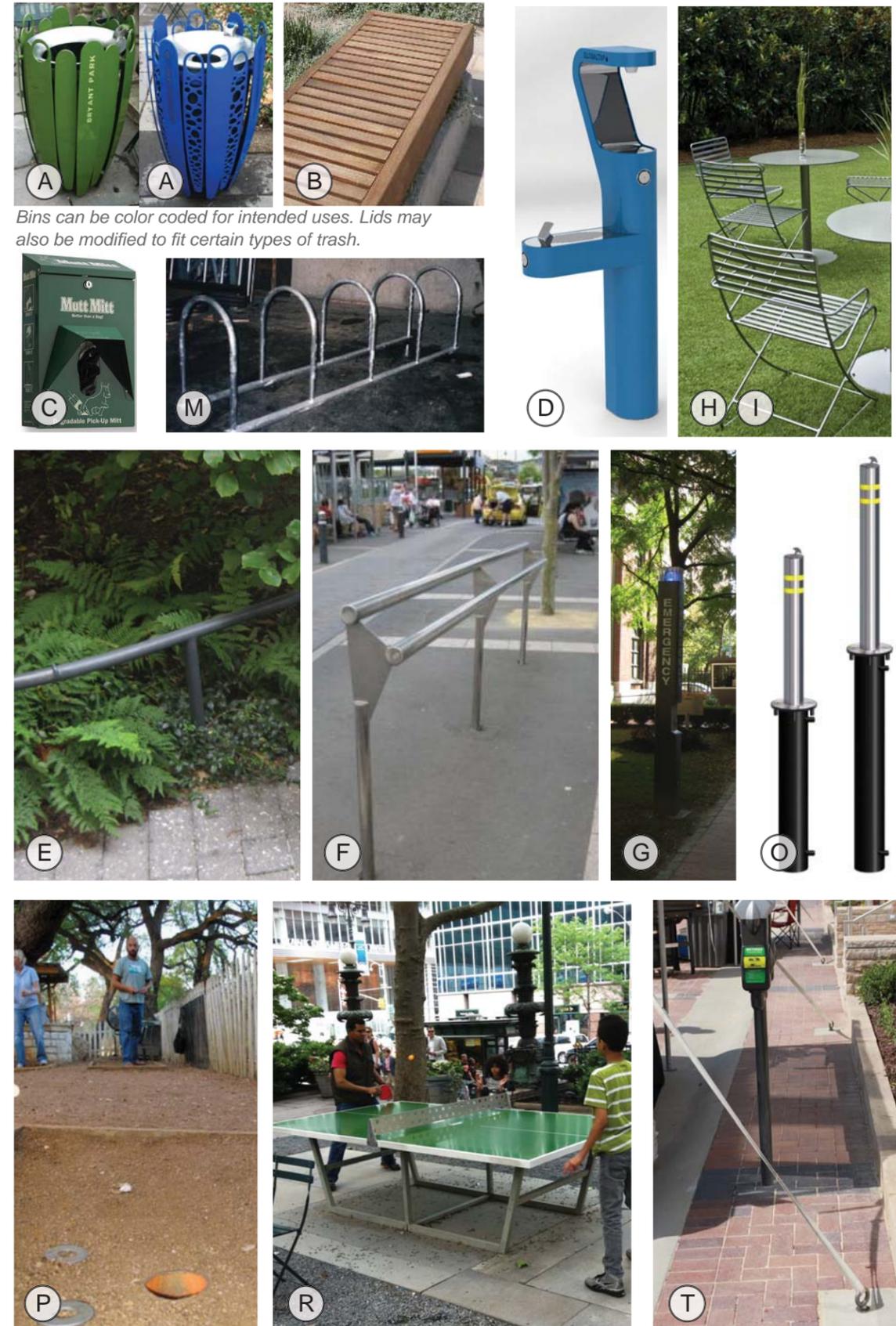
Q: Court Bumpers- 4" x 4" x 10' timber poles should be stored in the game area to provide back bumpers for games. These will be located outside of primary pedestrian circulation routes

R: Ping Pong Table: Exterior ping pong tables should be durable, and easily surface mounted.

S: Hand Rail- All rails should be painted black and constructed of simple tube and flat bar material.

T: Tent Ties- Threaded sleeves should be installed in paving areas for easy installation of eye-bolt anchors used for larger event tents.

U: Donor Bench- Existing bench dedicated to Charlie McCabe to be relocated near support building.

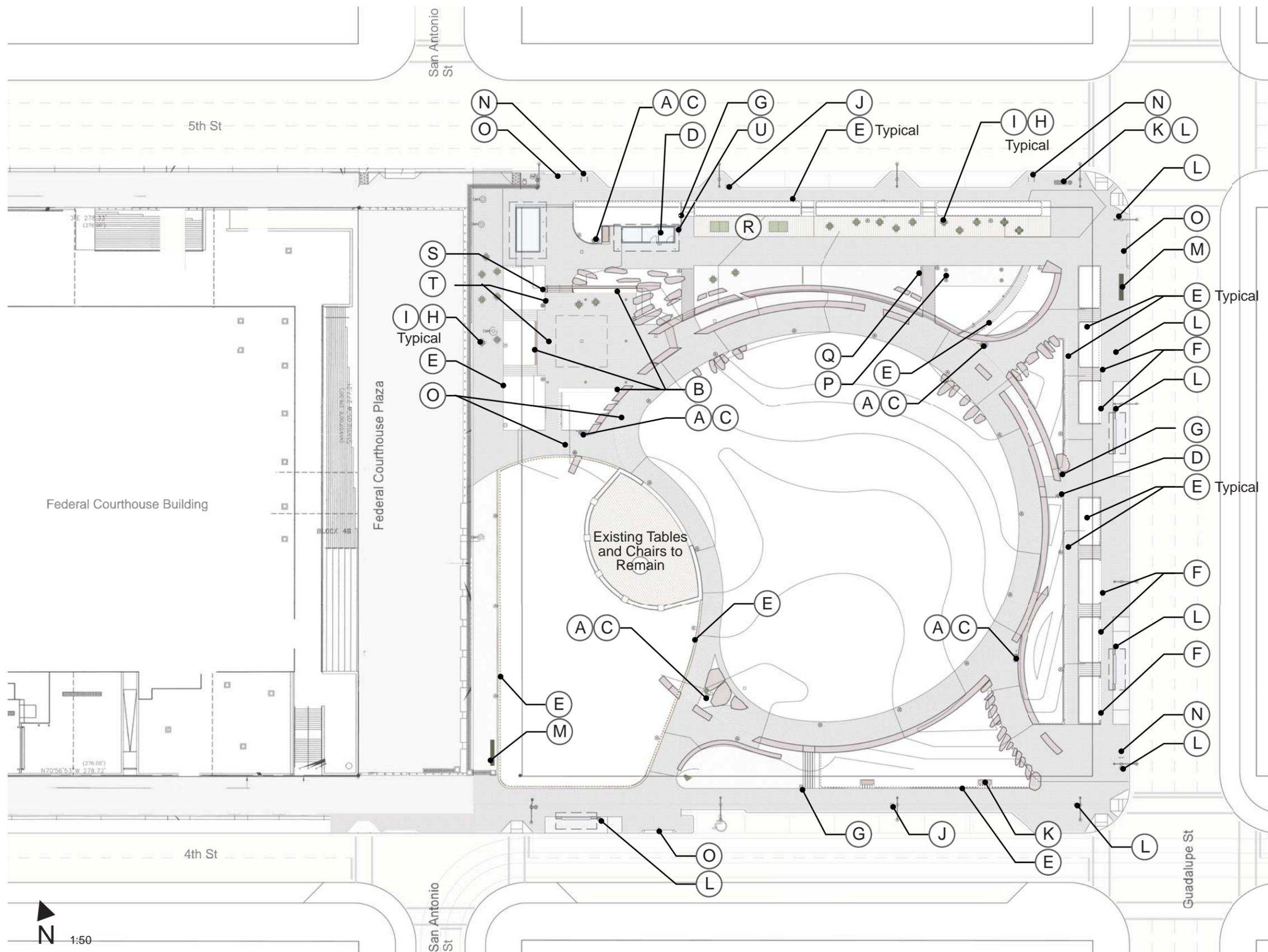


Bins can be color coded for intended uses. Lids may also be modified to fit certain types of trash.

Furniture and Fixtures Plan

Legend

- A: Garbage and Recycling
- B: Bench Seat
- C: Dog Waste Bag Dispenser
- D: Water Fountain and Bottle Filling Station
- E: Tube Steel Rail
- F: Leaning Rail
- G: Police Call Box
- H: Park Table
- I: Park Chair
- J: Parking Meter
- K: Bench
- L: Trash Can
- M: Bike Corral
- N: Bike Racks
- O: Removable Bollard
- P: Washer Pits
- Q: Court Bumpers
- R: Ping Pong Table
- S: Hand Rail
- T: Tent Ties
- U: Donor Bench (Charlie McCabe)



95%
 Percent of frontage with open views into the park; Baseline is 95%

24
 Number of spaces provided for bicycle parking; Baseline is 12.

25' - 44'
 Distance of pedestrian crossing at intersections; Baseline is 60'

Signage, Wayfinding and Interpretive Elements

Much like other ingredients of the Park, city-wide efforts to make improvements downtown must be looked at in concert with park-specific improvements. Many of city-wide efforts are good for the overall user experience of downtown (getting to the Park, parking, other attractions, events, etc.) but may also dilute the distinct brand that Republic Square is trying to create when applied at the park-scale.

Another layer of the Park is that of storytelling. Users should have access to information about the Park's role in the city's history, as well as its relevance to the Mexican-American community.

A: 5th St Mexican-American Heritage Corridor Node- As a former anchor of the Mexican-American community in Austin, Republic Square is a logical node for a comprehensive 5th St Mexican-American Heritage Corridor through the city. The Downtown Austin Wayfinding Program (DAWP) has identified such a project as a possible pilot project, and may be a funding/development partner for this effort. A suggested topic related to Republic Square might be it's earlier title of "Mexican Park" and its former proximity to Our Lady of Guadalupe Catholic Church. This feature should occur at the northeast corner of the Park, the closest location to the former church site, and would provide a meaningful anchor/sense of arrival to that corner of the Park. PARD should have the ability to review designs for such a feature and the design should respect nearby tree canopy, root zones, and park access for both pedestrians and loading. This experience would be an ideal application for a QR code that allows users to download an audio tour to their mobile phones.

B: Auction Oaks Information- Interpretive panels outlining the history of the Auction Oaks, as well as the biological characteristics of native Live Oaks should be carefully located on at least two sides of the trees. One location should be

along 4th St. These should be colorful signs that include a graphic timeline of events with interest for both adults and children. Dense amounts of text should be limited.

C: Park Background and Management Information- Information about the origin of the park as a public space should be clearly described, including the critical roles of PARD, Sierra Club and the Lion's Club of Austin in the Park's preservation and beautification. Building on this, information about any conservancy, friends group, or other local management organization should be included along with a QR code to access more detailed information. This feature may also have a QR code to download a larger heritage-site tour that is relevant to all of Austin.

D: Park Entry Sign- Naming signage for the park should read "Republic Square" in a dominant font. The graphic may also include a small Texas star to represent it's significance at the State level. These signs should be carved into a somewhat flat face of a large granite boulder, and should be set at least 18" from ground level.

E. CapMetro Signage Program- Signage related to schedules, route information and rider safety can be mounted within a specific bus platform or shelter but should not be mounted along other parts of the streetscape. It must be located in specific proximity to CapMetro structures.

F: Water Use Information- Information outlining the Park's water source and technologies should be located in a visible location near the lawn. The general public should be informed of sustainable practices related to water, particularly in a climate that experiences periodic drought.

G: Kiosk Parking Regulatory- The kiosk will need a designated amount of loading area. This area will need to be signed within the closest set of parking stalls along 5th St and should also be

limited to 15 minutes at all times to support kiosk sales and overall function.

H: Park Rules- A comprehensive set of park rules should be set in key locations around the Park. This may include specific PARD rules, but can also be expanded to include rules that support the efforts of a future conservancy or management organization.

I: Banner Program- Banner arms should be included at all pole light locations around the perimeter of the Park. These locations should be reserved for the use of Park management to advertise events (movies, food and wine events, etc.) or participate in city-wide banner program events (SXSW, Independence Day, etc.). All banner arms shall include a run of stainless steel wire along the top arm to keep birds from perching on those surfaces.

J: Parking Pay Station- This should be installed and signed per City standards. Locations should be adjacent to pole lights or other obstructions, and should not block or clutter walkways.

K: Downtown Austin Wayfinding Program (DAWP) Pedestrian Directional- A cluster of pedestrian directional signs should be located the corner of both 5th St and 4th St. The 5th St location should reference the Park, ATM, restaurant, bathroom and 5th St Mexican-American Heritage Corridor. The 4th St location should reference the Park, ATM, and restaurant.

L: DAWP Bike Parking Icon- Bike parking icons should direct people to both the northeast corner of the Park and the southwest corner of the Park.

M: DAWP Urbanflow or Media Kiosk- The DAWP includes a few multi-media options for information and wayfinding. Since the Park will host the last southbound stop for CapMetro Rapid in downtown, this is a logical place to provide a dynamic information center. It should be situated somewhere along Guadalupe St.

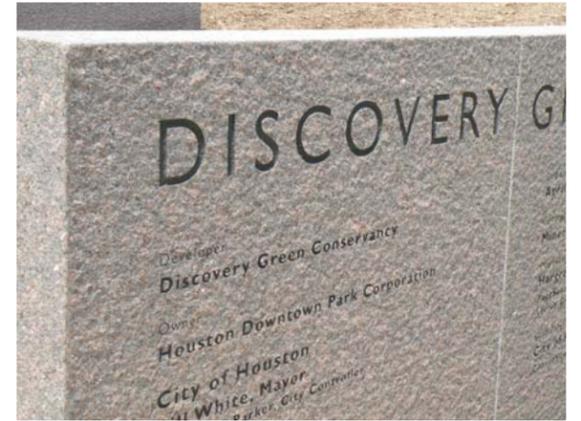
N: Game Court Rules- A sign outlining the basic rules of games such as washers and bocce should be located near game courts for reference. General Park rules and regulations associated with games may also be included (i.e. reservation requirements, organized events, etc).

O: Community Board- The Park has tremendous community relevance in the downtown area, and should have some place for community members to post bills, messages or other materials in support of this.

P: Valet Parking Regulatory- If a Park-affiliated valet is included as part of the revenue plan, it will require signage that secures required spaces during valet operational times.

Other signage elements:

- Plant ID tags- Small plant identification tags may be included in parts of the Park with distinctive or notable vegetation. These tags should be constructed of metal, and text should be engraved.
- Building/architectural signage- Signage for the kiosk operator, bathrooms, fire/emergency information, and other items should be consistent with the overall signage character for the Park. They should be submitted with building plans.
- Public Works regulatory (street signs, no parking, etc.)- Sign locations should be clustered and focused on reducing conflicts in paving areas. Some attention of the district themes and naming proposed as part of the DAWP should be incorporated as well. Republic Square should be prominently featured in this effort (i.e. distinct logo or graphic as part of DPW signage).



C, D- Granite has a distinctly permanent and timeless feel as a canvas for signage or information.

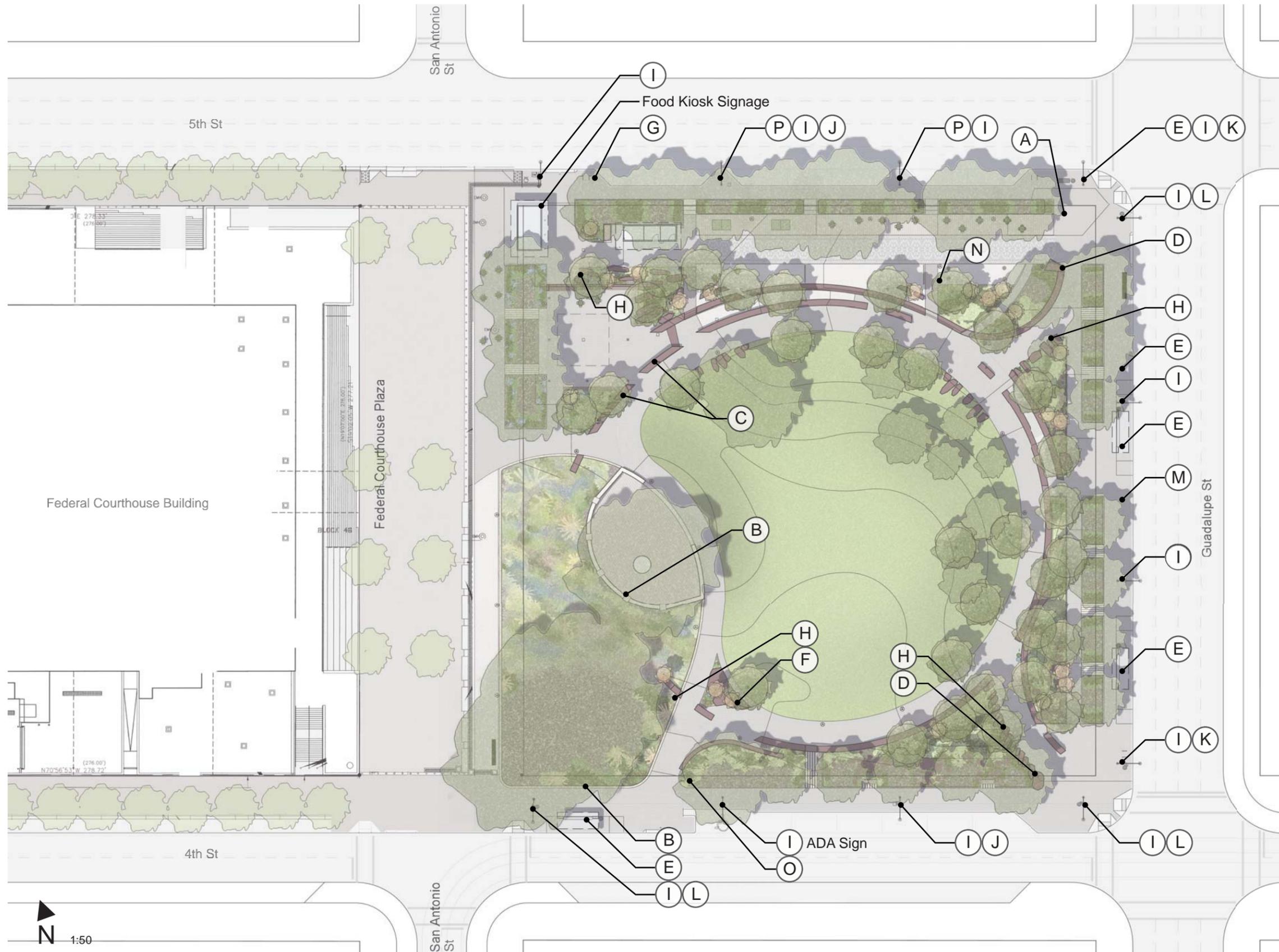


H, N- Regulatory graphics within the park should be clean, consistent, durable and graffiti resistant.



B, F- Graphic-intensive signage and diagrams are an engaging way to display environmental stories.

Signage, Wayfinding and Interpretive Elements Plan



Legend

- A: 5th St Mexican-American Heritage Corridor Oral History Sign
- B: Auction Oaks Information
- C: Park Background and Management Information
- D: Park Entry Sign
- E: CapMetro Signage Program
- F: Water Use Information
- G: Kiosk Parking Regulatory
- H: Park Rules
- I: Banner Program
- J: Parking Pay Station
- K: Downtown Austin Wayfinding Program (DAWP) Pedestrian Directional
- L: DAWP Bike Parking Icon
- M: DAWP Urbanflow or Media Kiosk
- N: Game Court Rules
- O: Community Board
- P: Valet Parking Regulatory



Text could be inscribed in the granite seat wall around the arc promenade.

CONTEXTUAL INFLUENCES



2nd St District, Austin

This section looks at challenges to the Park's success that are significantly informed by the area outside of Republic Square. Each challenge is briefly defined and is followed by a series of recommendations for addressing the challenge. These recommendations are divided into three categories: Policies, Programs and Projects, as defined on the following page.

Context

Contextual Challenges

Republic Square is only one piece of larger Downtown Austin and cannot be understood without considering the Park's context. This section looks at challenges to the Park's success that are significantly informed by the area outside of Republic Square. Depending on the contextual issue, the study area for this section varies between a one and two block offset from the Park as shown by the white squares in the drawing to the right.

Policies, Programs, Projects, and Partners

After outlining the primary challenges for each contextual issue, this section provides a series of recommendations for addressing the issues. These recommendations are divided into Policies, Programs, Projects and Partners.

Policies:

- Policies define requirements and incentive programs to control and influence future changes.

Programs:

- Programs are actions taken to control and influence elements of the Park but do not require permanent physical changes.

Projects:

- Projects are undertakings that result in permanent physical changes.

Partners:

- Partners are entities that can help in the implementation of ideas with collaboration, direct funding, new policy, new programs general operations or work approvals.



Figure 1: The 1839 City plan shows original block numbers with contextual study areas overlaid in white.

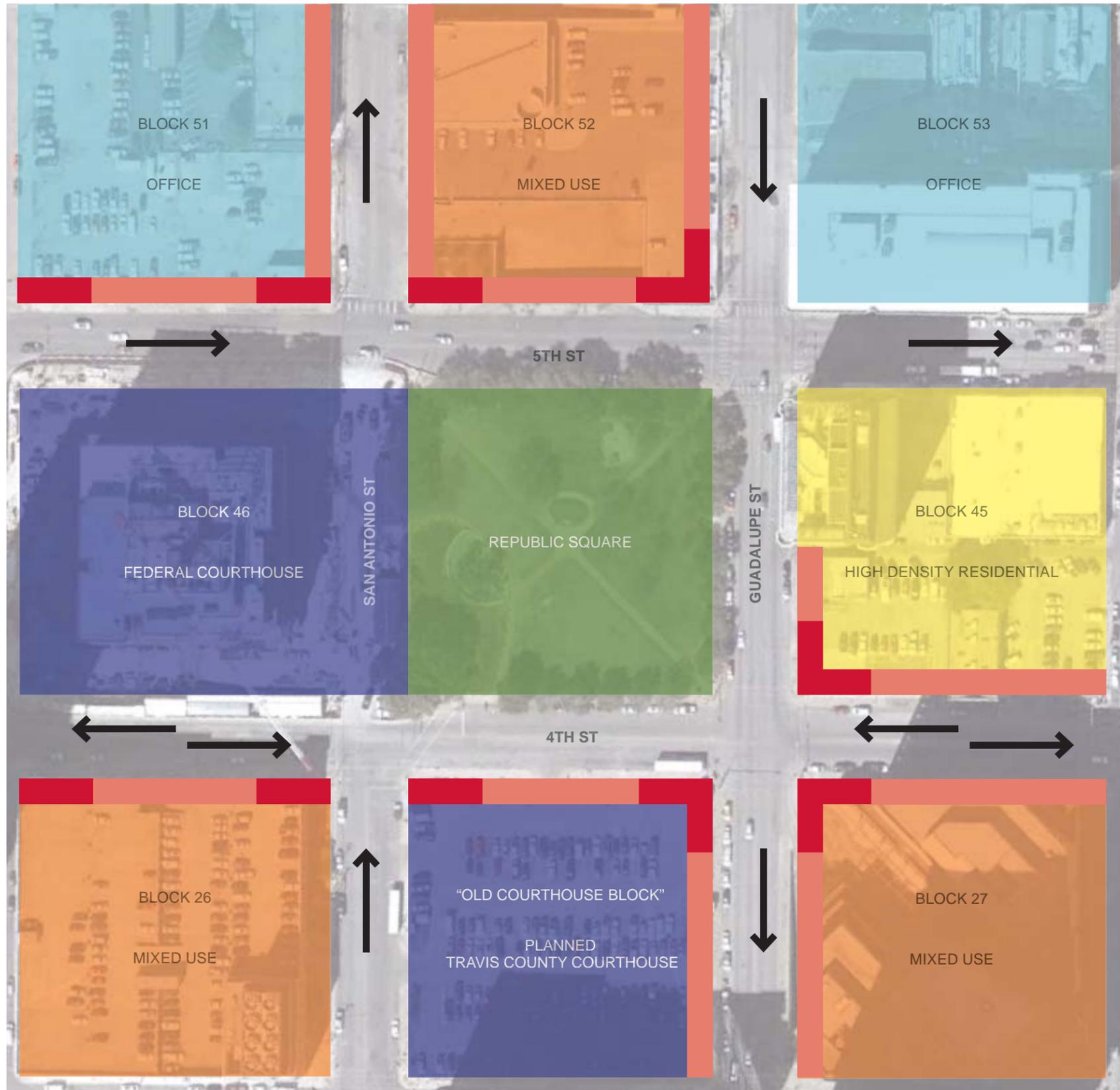


Figure 2: Recommended Future Land Uses around Republic Square

Land Use

Contextual Challenges

Republic Square is surrounded by diverse land uses, including civic, office, high-density residential and commercial/retail, with parcels quickly changing uses and becoming increasingly dense.

Existing and planned civic land uses consist of the new Federal courthouse to the Park's west and the future Travis County Courthouse planned for the parcel to the south.

Government offices are located in the Hobby State Office Building to the Park's southeast, and a privately-owned office building is located to the northeast.

Currently, there are about 1,500 residences within 500 feet of the park, including a high-density residential tower directly across Guadalupe St from the Park. However, over the next decade planned and projected projects will more than double the amount of residential use around the Park, and it will be critical to understand how the noise, crowds and increased traffic associated with the Park will impact these adjacent residences.

Republic Square also neighbors several rapidly growing mixed-use districts, including 2nd St, the 4th St Warehouse district, and West 5th St, with additional mixed use development planned for the sites of the Seaholm Power Plant and the Green Water Treatment Plant.

Recommendations

The following lists include policies and projects, as defined above, that are recommendations for future land uses near the Park.

Policies

- Offer incentives to encourage clusters of active land uses such as restaurants, outdoor patios and retail at major intersections such as Guadalupe St and 5th St and Guadalupe St and 4th St;
- Offer additional incentives to encourage ground-level floors of buildings around the Park to include interactive retail space or restaurants with elements like outdoor patio seating to activate the public realm bordering the Park;
- Offer incentives like density bonuses to encourage new development on Park edges to provide space for public use;
- Bolster the Core/Waterfront District's status as a premier employment center by including office land uses at the Park's northeast and northwest corners;
- Promote safety in Republic Square by encouraging retail/commercial uses that incorporate day and night-time activities that increase "eyes-on-the street" along 5th St, Guadalupe St and 4th St.

Projects

- Locate public facilities such as restrooms, transit stops and information kiosks near major intersections to bridge between the Park and neighboring land uses.

Partners:

- Adjacent land owners/developers
- County Court leadership
- COA Urban Design
- Downtown Commission
- Design Commission

- PRIMARY RETAIL
- SECONDARY RETAIL

Urban Design

Contextual Challenges

Currently, surrounding streets and building facades do little to support the Park and do not acknowledge its historical significance. As the city continues to change, there is an opportunity for these key urban elements to reciprocally enhance the overall experience of the city.

Plans for 5th St, 4th St, and Guadalupe St are based on regional transportation needs, and with the exception of the 4th St Warehouse District, the streets around Republic Square lack varied streetscapes and ground-level building frontages that encourage people to use the space.

Pedestrian safety at crossings is also a significant issue, especially at 5th St and Guadalupe St, as these are significant one-way transit corridors.

The design of new buildings along the Republic Square's perimeter will also have an impact on the Park's quality. These buildings will almost certainly increase the amount of shaded area within the Park, while at the same time reflective material on the facades could create problematic glares.

Recommendations

The following lists include policies and projects, as defined above, that are recommendations for urban design near the Park.

Policies

- “Require ground-level treatments that reinforce the pedestrian realm, including active, pedestrian-oriented uses” along streets adjacent to the Park (Downtown Austin Plan, p.71);
- Establish design standards for new development to create visual interest and support a district character surrounding the Park while also allowing for ADA accessibility;
- Offer incentives for architecture that creates visual interest in new development surrounding the Park;
- Require new building facades facing the Park to be comprised of non-reflective material to prevent glare;
- Restrict the number and length of curb cuts per block for new development to limit the number of interruptions to the pedestrian experience;
- Restrict loading and unloading activities to areas that do not disturb public right of way, queuing and parking areas and drive aisles on adjacent streets;

Projects

- Implement the “Great Streets” program for surrounding streets to improve the pedestrian environment;
- Incorporate signage and wayfinding elements into streetscapes to direct people to the Park;
- Design the future Travis County Courthouse entryway to physically address Republic Square;
- Install bulb-outs at intersections to reduce pedestrian crossing distances, especially at 4th St and Guadalupe St;
- Build future bus stops into surrounding redevelopment sites to prevent damage to Park trees and reduce loitering;

- Incorporate elements of the Mexican-American Cultural Trail into the Park to support the creation of a distinct character along 5th St;
- Hire a team of environmental analysts and arborists to study the effects of sun reduction on the Park's trees and recommend solutions;
- Use the above team's recommendations to establish urban design standards for new development south of the Park to ensure that the Auction Oaks are not harmed by reduced hours of available sunlight.

Partners:

- Adjacent land owners/developers
- County Court leadership
- COA Urban Design
- Downtown Commission
- Design Commission
- Downtown Wayfinding and Signage Plan
- PARD Forestry



The above examples from Downtown Austin illustrate how outdoor seating can activate the street edge. Top: An outdoor dining area incorporated into the building's footprint bridges the space between indoors and outdoors. Above: This outdoor seating area occupies the street right of way without hindering pedestrian traffic.



Figure 3: Critical Future Parking Opportunity Locations near Republic Square

Parking

Contextual Challenges

Weekday parking demands are relatively low and can be met with on-street parking, but parking demands spike during special events and are currently met in part by garages in surrounding office buildings. With many of the adjacent parcels likely to be redeveloped, however, it is uncertain how much garage parking will be available within walking distance of the Park in the future.

The primary parking lot serving Republic Square during events is located one block south of the Park, but this parcel is also the future site of the Travis County Courthouse. According to a report prepared by ETM Associates for the Downtown Austin Alliance, the planned courthouse will have 538 parking spaces available to the public after courthouse hours, but the loss of surface parking will create new logistical problems for loading and unloading materials during events.

Additional redevelopment around the Park will likely eliminate any lots fully dedicated to surface parking, and parcels that become high density residential are unlikely to provide much, if any, public parking without development incentives from the City to do so.

On-street parking serving Republic Square will also be reduced in the future. Current plans will eliminate on-street parking on the Park's perimeter at Guadalupe St and on all of 4th St to accommodate a rapid transit bus stop and urban rail, respectively. The "Great Streets" program will further reduce the available on-street parking due to street tree requirements. It is critical that some immediate on-street parking be retained for the food and beverage kiosks and retail within the Park to be successful.

Bicycles, a popular alternative to car transportation in Austin, are currently underserved by the available amount of convenient parking spaces in and around the Park.

Recommendations

The following lists include policies and projects, as defined above, that are recommendations for parking near the Park.

Policies

- Require new development to preserve existing on-street parking along Park-adjacent streets when possible;
- Offer incentives, e.g. density bonuses, for public parking provided by new development;
- Amend the "Great Streets" requirements to allow continuous (not "duck-in" as described in the "Great Streets" design guidelines) on-street parking on the Park side of 5th St to maximize the immediate parking serving Republic Square;
- Offer incentives for new and existing development to include publicly available parking for bicycles, motorcycles and scooters.

Projects

- Create ADA (Americans with Disabilities Act) compliant parking within 50-feet of the Park's food kiosk, restroom facilities and main entry ways;
- Install signage and wayfinding elements at corner entrances of the Park to be visible from the street indicating locations of nearby public parking;
- Construct key areas in the Park to handle limited vehicular use for before and after events to accommodate loading and unloading materials;
- Develop urban rail on 5th St to allow on-street parking on one side of the street.

Partners

- Downtown Austin Wayfinding
- Adjacent land owners/developers
- State/Hobby Building owners
- COA Urban Design
- Downtown Commission
- Design Commission
- COA Public Works

Dog Management

Contextual Challenges

In many respects dog owners have a positive impact on local parks, using them consistently and activating these spaces during non-peak early morning or evening hours.

However, heavy dog use in parks also poses serious health hazards for Park users (especially children); and places heavy burdens on Park staff and maintenance crews responsible for the setting up and hosting of special events.

Initial stakeholder interviews for the Park Master Plan confirmed a “significant percentage of residents in the immediate area own dog(s)”, and this number is growing.¹ Laws requiring owners to keep dogs on leashes and clean up their waste are already in existence; however, these laws are currently not well enforced.

By conservative estimates, 1,500 dwelling units are located near the Park and a quarter of these units are likely to have dogs, resulting in approximately 375 dogs in the Park daily.²

An average dog produces about 3/4 pounds of feces 1 1/2 times daily, equating to approximately 1 1/8 pounds of feces a day per dog. For 375 dogs, this means 420 pounds of dog feces is likely to be created in the Park each day and more than 150,000 pounds of feces in the Park each year!

In an effort to curb these health and safety risks, the City began a “Scoop the Poop” campaign in 2009 which established Off-Leash Dog Areas in the Downtown core.³ These areas have become widely popular, as pet owners and their dogs frequent them for exercise, socialization and entertainment.

¹ Dukes, A., Lacy, M., & Simecek, D. (2012, April 9). Republic Square State of Texas Stakeholder Group Meeting. 31. (R. Leonard, Interviewer) Austin, Texas: Design Workshop, Inc.

² Ibid.

³ Austin Parks & Recreation Department Long Range Plan for Land, Facilities and Programs, Section 6.6 Trends, pg. 179. For more information see: <http://www.ci.austin.tx.us/parks/offleashareascommittee.html>.

Recommendations

The following lists include policies, programs and projects, as defined above, that are recommendations for dog management in the Park.

Policies

- Establish off-leash hours from 5-9AM and 7-9PM (unless there is a special event);
- Schedule time for Park staff to enforce the Austin leash ordinance;
- Require new residential development to provide on-site dog facilities, e.g. a roof-top green space or an interior dog run, sized to accommodate dogs in residential dwelling units;
- Offer new non-residential and existing developments incentives to create on-site dog facilities;
- Adjust the proportion of softscape in the “Great Streets” standards to allow more green space for dogs surrounding the Park;
- Allow only on-leash pets on main lawn;
- Enforce existing clean up and leash laws;
- Close lawn before special events where users are likely to sit and clean lawn before all special events;
- Schedule time during off-leash hours for Park staff or volunteers to be on site to monitor that dog owners:
 - Keep pets within sight to minimize hazards to children, park patrons and the Park itself;
 - Clean up after their dogs and properly dispose of waste; and
 - Remove aggressive dogs from the Park.

Programs

- Partner with local organizations to raise education and awareness of the importance of dog management in public parks;
- Establish a conservancy group or other organization to help provide consistent leadership and vision for maintaining park security and operations;

Projects

- Include information about off-leash locations and hours in wayfinding and signage elements;
- Place bag stations near trash bins;
- Replace damaged turf as needed.

Partners

- Adjacent land owners/developers
- COA Urban Design
- Downtown Commission
- Downtown Austin Alliance
- Pet walking, grooming or training service businesses
- Future park conservancy
- Dog/pet owners

Bird Management

Contextual Challenges

Unchecked grackle and pigeon populations are a common problem in Downtown Austin. The significant quantities of excrement produced by these birds each day damages City infrastructure and threatens the health and overall well-being of residents and visitors.

Because birds are highly mobile, deterring them from one site only relocates them to another. Accordingly, the best practice would be to apply the following recommendations to parks city-wide.

A number of tactics have been attempted to mitigate the financial and health impacts associated with large bird infestations Downtown, including tree pruning, high-pressure water guns, sound-emitting devices and laser pointers.

One of the more successful and famous forms of bird management can be experienced by visiting Washington Square Park in New York City. A pair of nesting Red Tailed Hawks have lived adjacent to the park for many years and generally reduce the presence of pigeons and other large urban birds. This approach might seem far-fetched, but it may also have tremendous resonance with the unconventional culture of Austin.

Recommendations

The following lists include policies, programs and projects, as defined above, that are recommendations for bird management in the Park.

Policies

- Ban the feeding of invasive and nuisance bird species, such as grackles and pigeons in Republic Square;
- Develop and adopt a list of tree species proven to be undesirable habitats for nuisance bird populations;
- Explore additional vegetation options for landscape buffering that further deters bird nesting.

Programs

- Continue with Downtown Austin Alliance's practice of using special lasers to drive the birds away from the Park, particularly during hours when birds are attempting to roost;
- Synchronize the above effort throughout parks to avoid simply shuffling birds from park to another;
- Establish an anti-feeding program designed to educate citizens about the health hazards associated with problematic bird species;
- Consider using an annual or semi-annual bird relocation service.

Projects:

- Create a large, unbroken canopy of deciduous trees within the Park, as grackles tend to prefer nesting in coniferous trees with gaps between canopies;
- Include information about bird hazards and management regulations in wayfinding and signage elements, especially near the food kiosk and bird habitat areas.

Partners

- Adjacent land owners/developers
- COA Public Works
- Future park conservancy
- Downtown Austin Alliance

Vagrancy and Loitering

Contextual Challenges

The City of Austin is currently undergoing a severe shortage in affordable housing, a problem exasperated by an additional lack of emergency housing for individuals trying to transition out of homelessness.

Due to the affordable housing crisis, many homeless individuals camp in public parks overnight; leading to problems with sleep deprivation, crime and unauthorized meal services occurring on City land.

The Austin Resource Center for the Homeless (ARCH) is the City's main resource for providing shelter for homeless individuals during the day. However, the number of homeless individuals requiring services during the evening exceeds the building's current capacity.

In addition to shortages in affordable housing and funding, there is also a lack of strategically planned meal service locations to accommodate homeless populations within the city, forcing many charitable organizations to set up meal service locations within City parks.

Regular meal services are a magnet for vagrancy and loitering in the downtown core. Additionally, as these services often take place in secluded areas removed from public street view, there is an increased risk of hazardous littering and violence.

Recommendations

The following lists include policies, programs and projects, as defined above, that are recommendations for vagrancy and loitering near the Park.

Policies

- Set aside funding for a city-wide homeless study to better assess regional homelessness challenges and solutions.

Programs

- Work with mobile food kitchens to identify meal service areas away from public parks;
- Use staff and volunteer organizations to monitor parks for loitering;
- Use CapMetro staff to monitor transit facilities and associated areas for loitering.

Projects

- Explore partnerships with local organizations to establish new facilities promoting entrepreneurial skills for the homeless (e.g. the Clarence 4G wi-fi hotspot initiative, art and jewelry making or wood working);
- Secure facilities, power outlets and water sources to prevent unauthorized use of parks and discourage loitering;
- Improve lighting to ensure Park safety at all hours;
- Avoid overly comfortable furnishings to discourage sleeping in the Park.

Events

Contextual Challenges

The Austin Downtown Farmers' Market is one of the Park's most popular events. Currently, with more than 60 vendors and an average of 3,000 attendees each week, it requires significant off-street parking and restroom facilities for shoppers and vendors.

One challenge associated with Republic Square is that the Park cannot sustain more than 40 vendor tents. Additional vendor tents could possibly be located in the Federal Courthouse Plaza and within the 4th St right-of-way, but these locations pose their own challenges.

The Federal Courthouse plaza, although large enough to accommodate up to 50 tents, does not allow for vehicular access, making it difficult for vendors to transport their tents and goods to the site. Moreover, to use the plaza would require a written agreement with the General Services Administration, which may be difficult given the plaza's tight security.

There are also no long-term agreements in place to let the farmer's market locate in the right of way of 4th St, and it is unlikely that this will remain a viable location due to the planned Metro Rail.

Without these supplemental spaces, there may be increased pressure to allow more vendors to operate within the Park itself, despite the damage caused by regularly hosting large crowds over extended periods of time.

Event parking is another significant challenge. The surface parking lot immediately south of the Park handles much of the vendor parking and houses the portable restroom facilities; however, as this parcel is slated to become the new Travis County Courthouse, new ways of accommodating these needs will have to be found. Additionally, the "Great Streets" Initiative and Downtown Austin Plan will further reduce available surface parking unless their requirements are amended.

Recommendations

The following lists include policies and projects, as defined above, that are recommendations for events in the Park.

Policies

- Establish a limit to the number of events that can be held at Republic Square, especially events which cause parking demands that exceed current parking capacity;
- Create suggested size limits for events held at Republic Square;
- Amend "Great Streets" and the Downtown Austin Plan requirements to allow on street parking along the Park's perimeter.

Programs:

- Allow other locations (either somewhere new or the associated farmers' markets at Sunset Valley and the Triangle) to absorb some of the Downtown Farmers' Market's demand as the Park's changing context becomes less conducive to operating at the current scale.

Projects

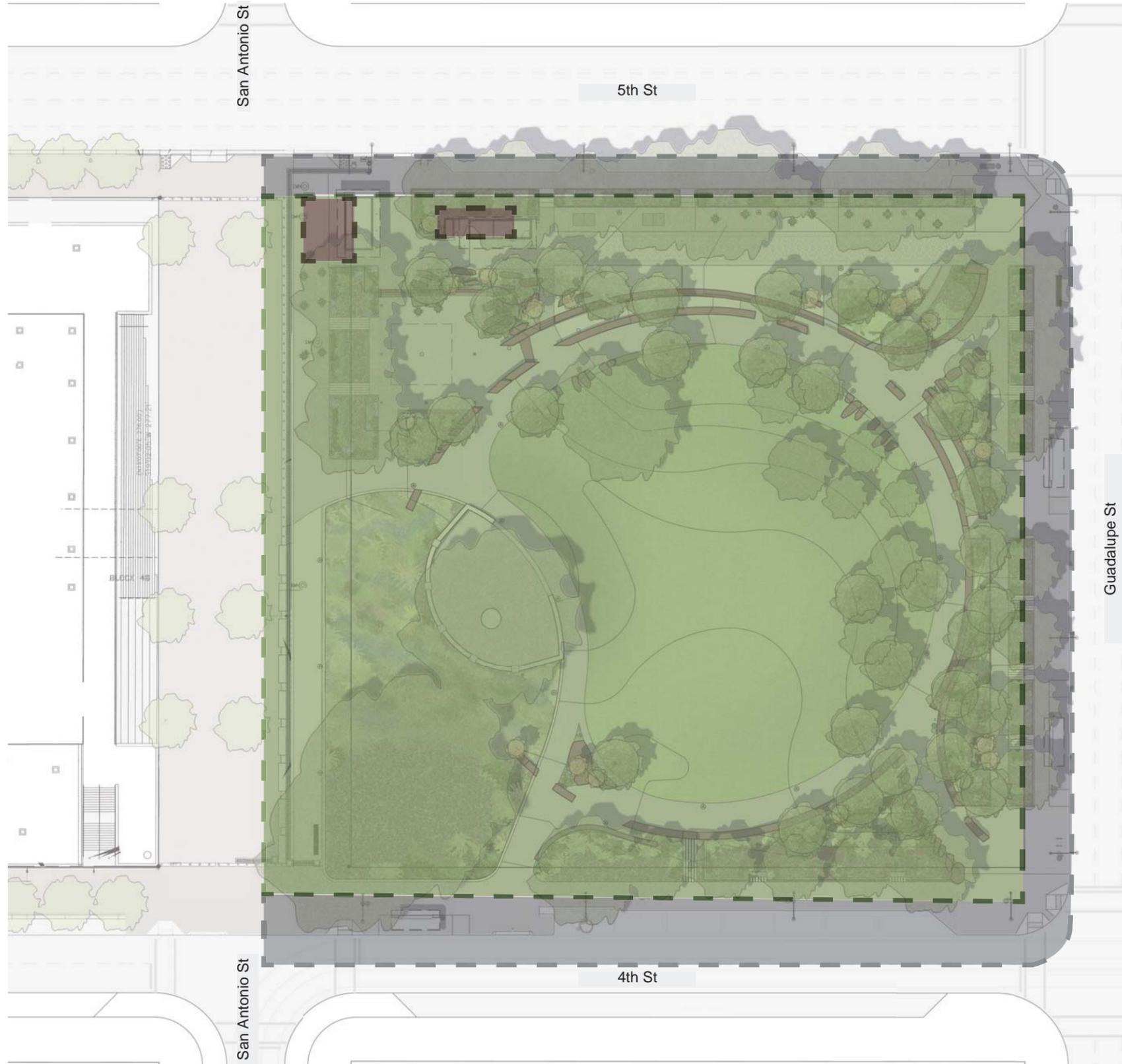
- Design hardscape to accommodate vendor truck circulation before and after the market to mitigate the loss of the adjacent southern parking lot.





6

IMPLEMENTATION



Implementation Plan

Phase One

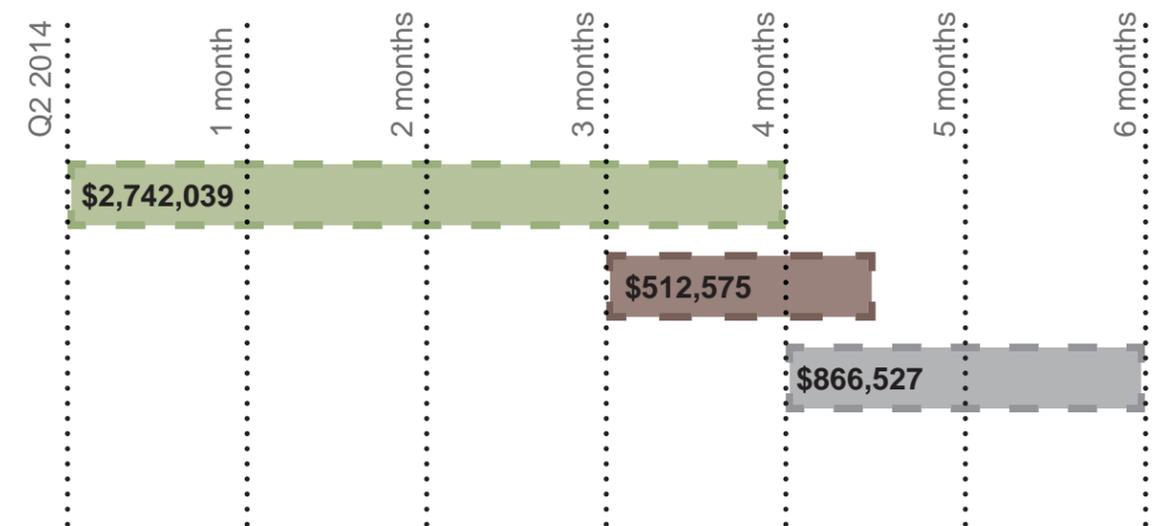
Park Proper: Construction will occur within the confines of the Park Proper while maintaining pedestrian circulation along the streetscapes and through the Federal Plaza. Park improvements will target a completion time of four months and allow for a “resting” period of two months for establishment. All connections and utility lines will be installed and stubbed in anticipation of the Restaurant Kiosk and Support Building, which will be constructed during Phase Two. With this implementation scheme, the entire Park will be realized in one construction scope, with construction following a logical sequence without re-mobilization costs.

Phase Two

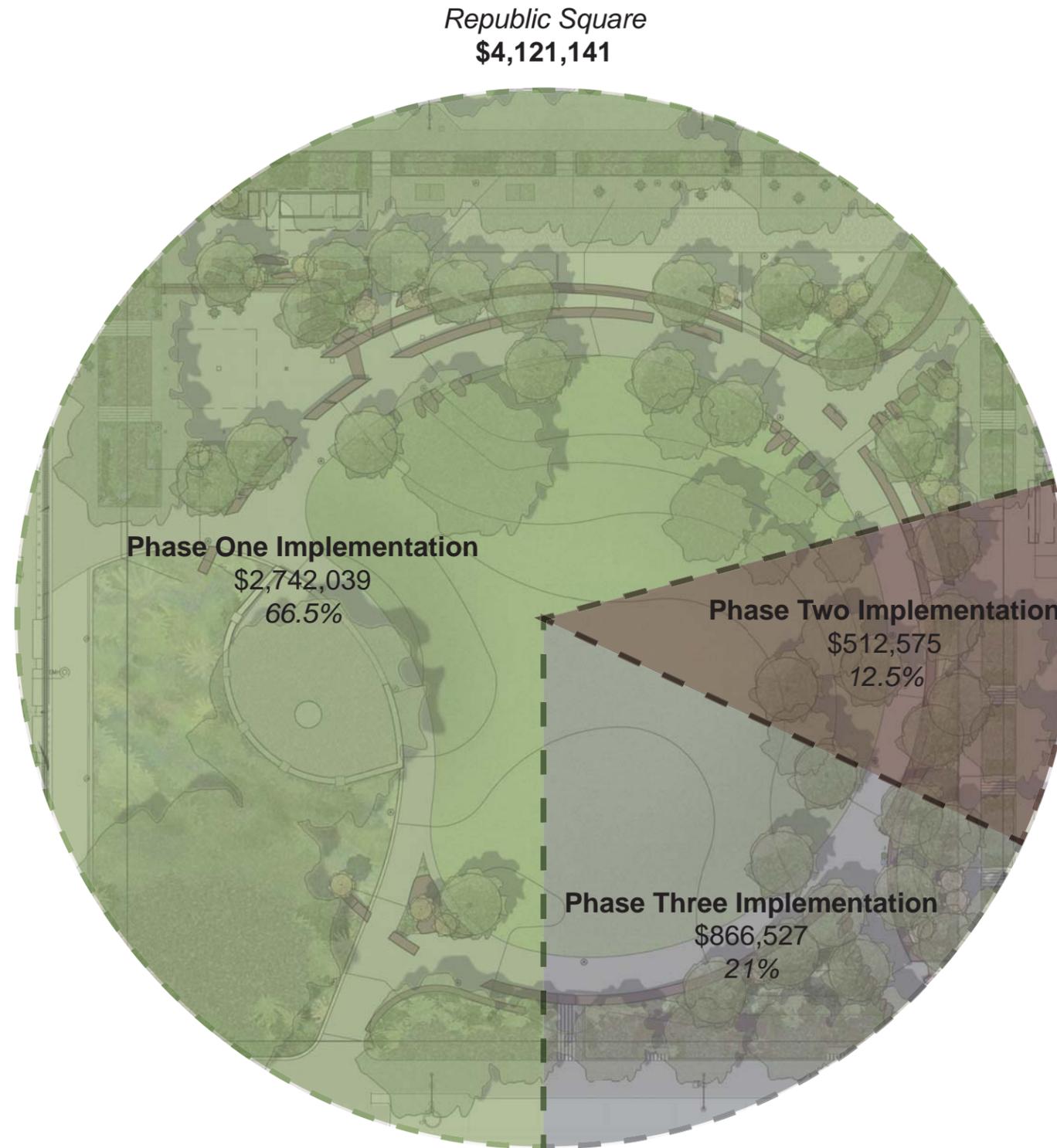
Buildings: During the two month “resting” period, construction on the Restaurant Kiosk and Support Building will commence in an isolated construction footprint without impacting the newly installed Phase One.

Phase Three

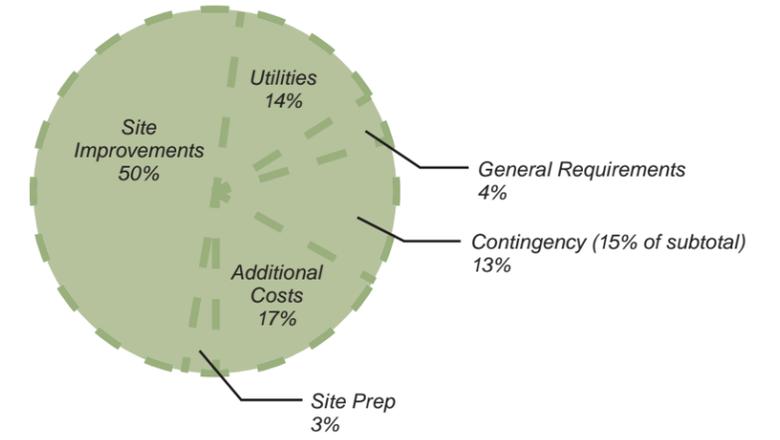
Right-of-Way Streetscape-Public Works: After the landscape improvements occur within the Park Proper, the Public Works “Great Streets” improvements will complete the Park. Ideally, each streetscape ROW would be it’s own Phase as these streets undergo their anticipated Public Works improvements.



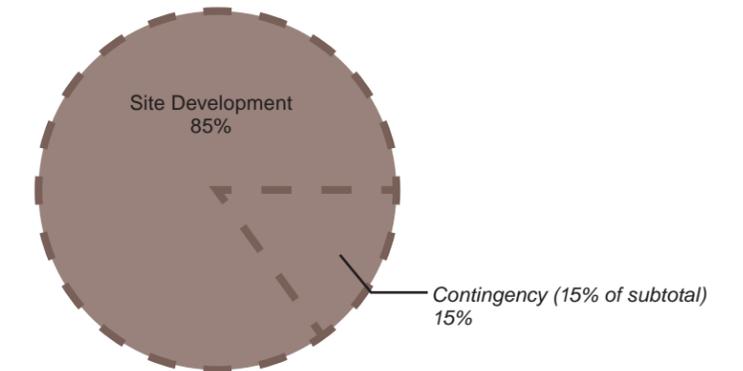
Implementation Costing



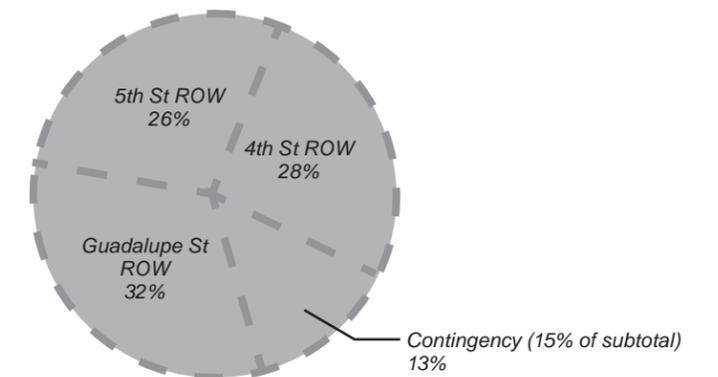
Phase One



Phase Two

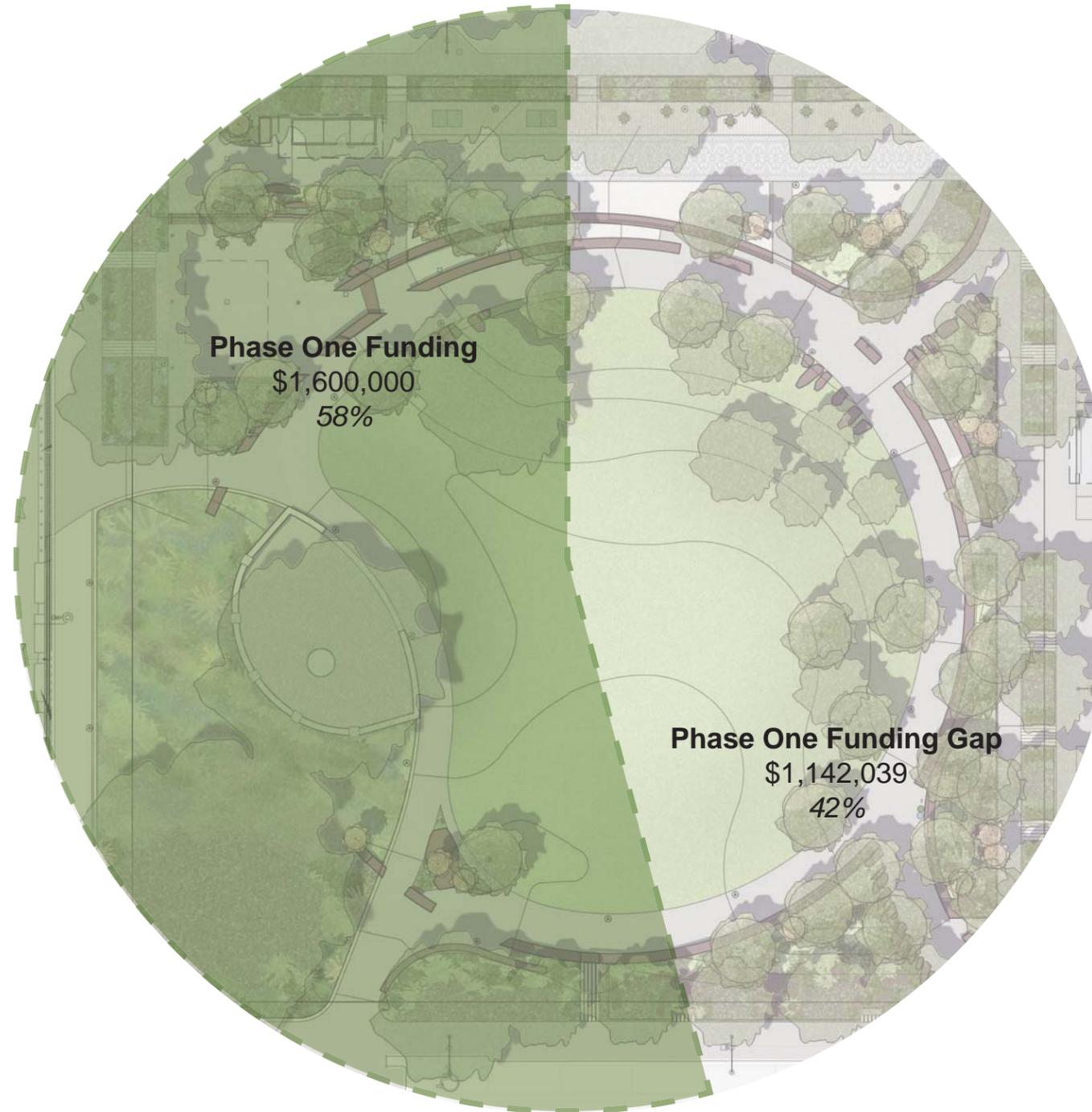


Phase Three



Phase One Implementation

Republic Square - Phase One \$2,742,039



Phase One

Park Proper: PARD currently has \$1,600,000 to invest in Phase One, leaving a necessary \$1,142,039 funding gap to complete Phase One. This capital cost deficit can be raised by identifying funding opportunities within existing City of Austin Codes and Ordinances. Republic Square Park is slowly undergoing adjoining edge transformations, experiencing growth and development. These developments can tie City of Austin ordinance requirements directly to the Park and offset the initial construction deficit while also building the annual Operations and Maintenance budget.

Capital Cost Funding Opportunities

- Parkland Dedication
- Watershed Protection Fee In Lieu
- City of Austin Bond
- Federal Courthouse San Antonio St Sale
- Travis County Courthouse
- Hotel Taxes

Operations and Maintenance Funding (Annual Recurrence)

- Hotel Taxes
- Concessions
- Donations
- Park Rental
- Non-Profit

Phase Two Implementation

Phase Two

Buildings: PARD currently has \$1,600,000 to invest in Phase One leaving all of the \$512,575 budget as a necessary funding gap to complete Phase Two. As identified in Phase One, there are existing funding opportunities within the City of Austin's Codes of Ordinances. Republic Square Park is slowly undergoing adjoining edge transformations, experiencing growth and development. These developments can tie City of Austin Ordinance Requirements directly to the Park and offset the initial construction deficit while also building the annual Operations and Maintenance budget.

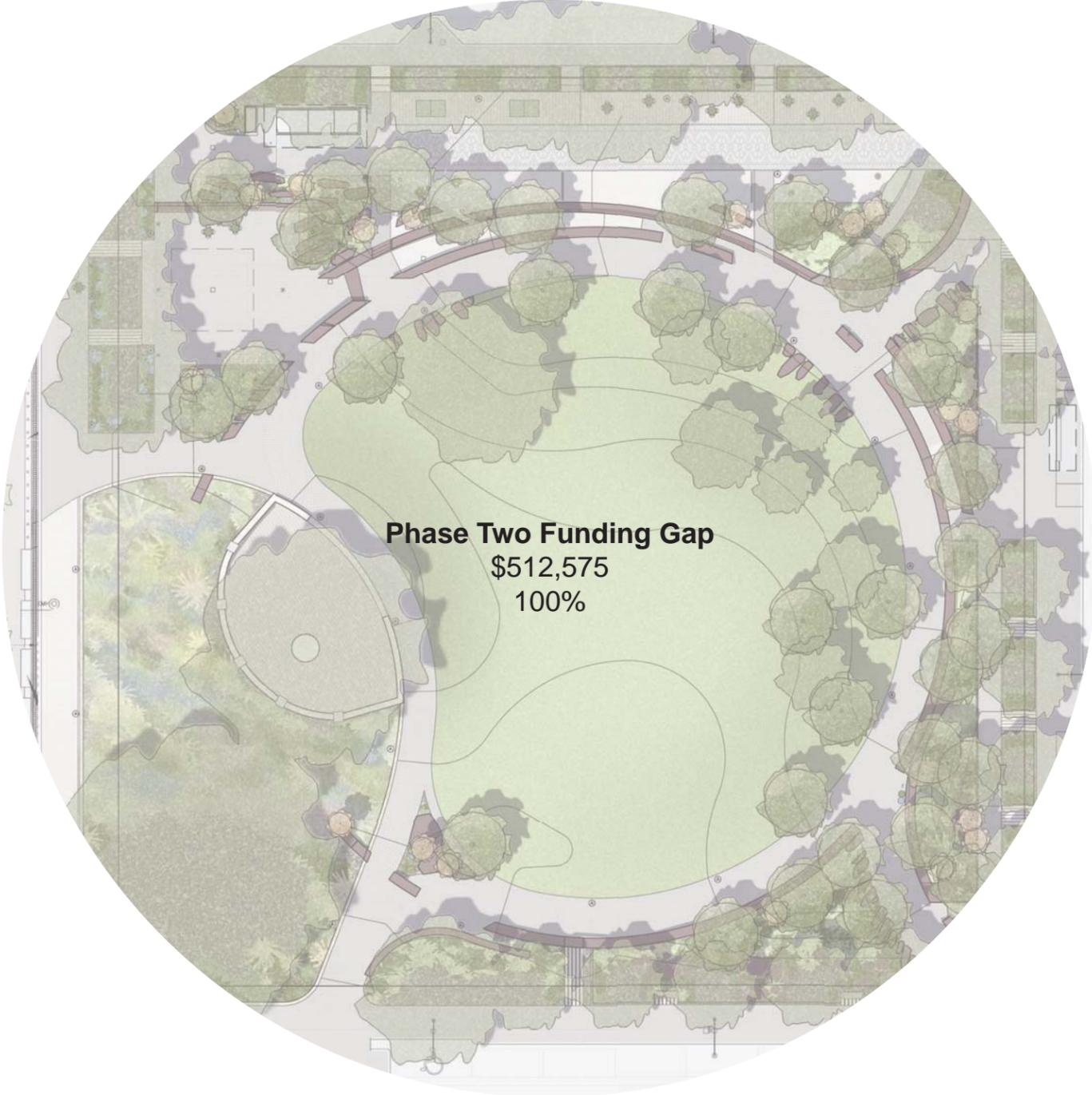
Capital Cost Funding Opportunities

- Parkland Dedication
- Watershed Protection Fee In Lieu
- City of Austin Bond
- Federal Courthouse San Antonio St Sale
- Travis County Courthouse
- Hotel Taxes

Operations and Maintenance Funding (Annual Recurrence)

- Hotel Taxes
- Concessions
- Donations
- Park Rental
- Non-Profit

Republic Square - Phase Two
\$512,575



Phase Three Implementation

Republic Square - Phase Three
\$866,527



Phase Three

Right-of-Way Streetscape - Public Works: Identifying the streetscapes as Public Works projects allows available funds to be funneled to immediate needs, i.e. the Park proper. Public Works can initiate Bond Packages to fund existing plans for the bordering streetscapes; The 5th St Mexican-American Heritage Corridor, CapMetro Rapid Bus (Guadalupe St) and Future Rail Spur (4th St). These bordering streetscape block improvements can hold until their correlating Public Works projects kickoff and funding is available.

Capital Cost Funding Opportunities

Public Works
City of Austin Bond

Operations and Maintenance Funding (Annual Recurrence)

Hotel Taxes
Concessions
Donations
Park Rental
Non-Profit

Implementation Summary Schedule

Operations and Maintenance (O+M)

Based on the design concept, ETM has identified an O+M cost of \$350,563 annually (refer to Figure 5 of the ETM Republic Square Park Report). These budget costs include all costs, 'both personnel and non-personnel associated with the annual maintenance and management of the park.' This budget of \$185,000 per acre is comparable to the ETM Case Studies average O+M (refer to Figure 7 of the ETM Republic Square Park Report).

Business Plan

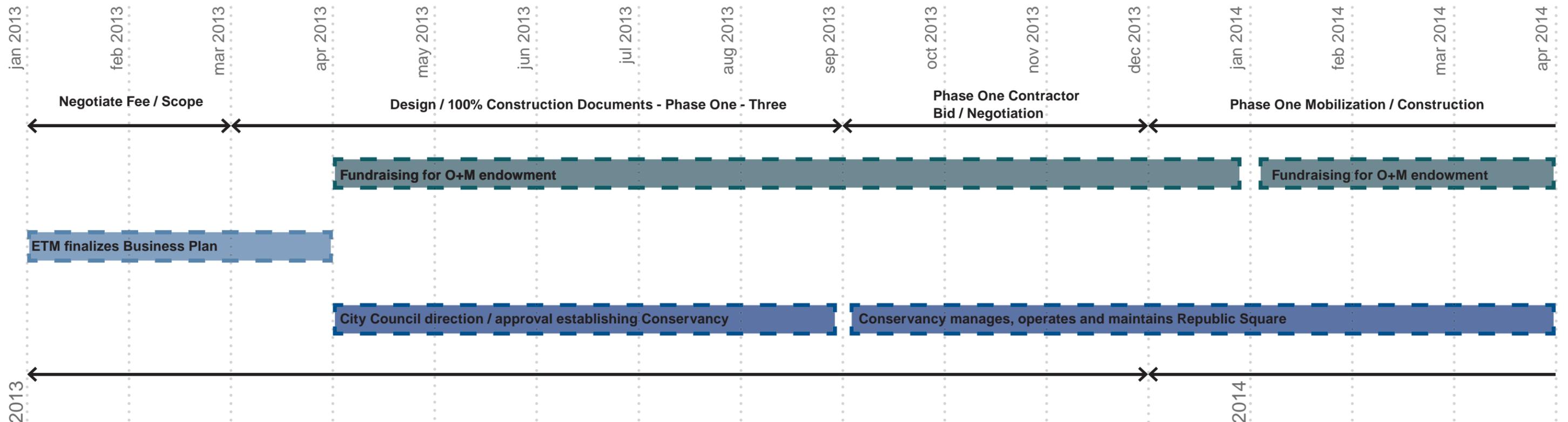
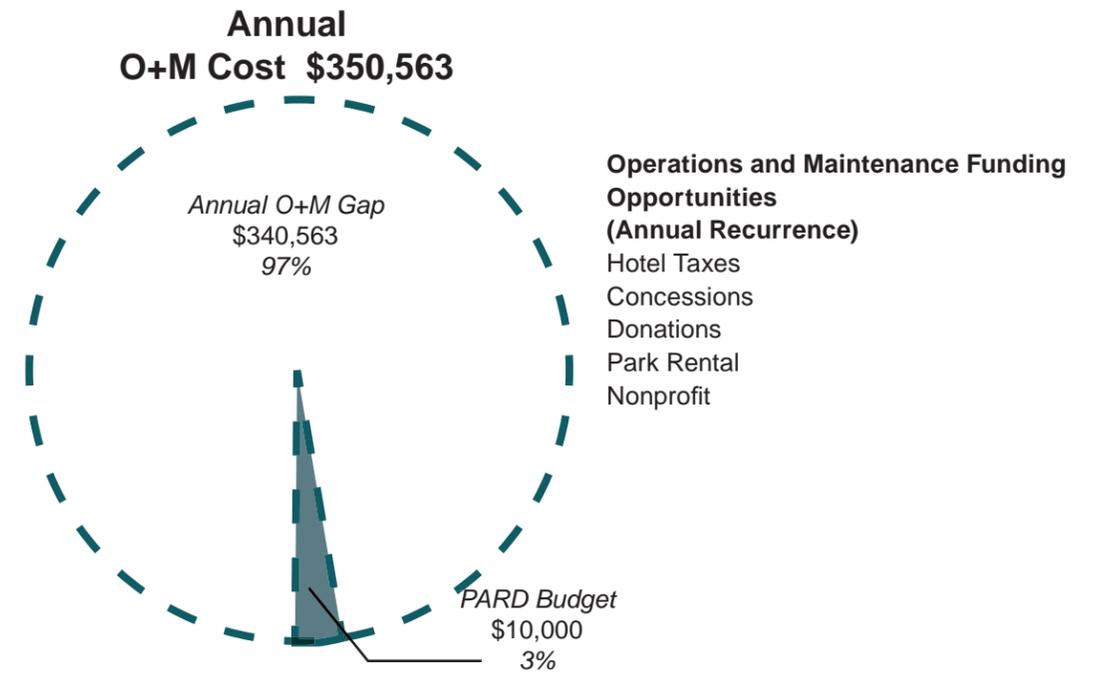
The business plan sets up the operating/governance model, the planned functional components, the operational needs with final operating costs and finally a detailed implementation plan with specific actions, timelines, organizational impact, assessment, operational needs and budget. The business plan is necessary to meet the operational and organizational needs and requirements for public-private partnerships in Republic Square.

Partners

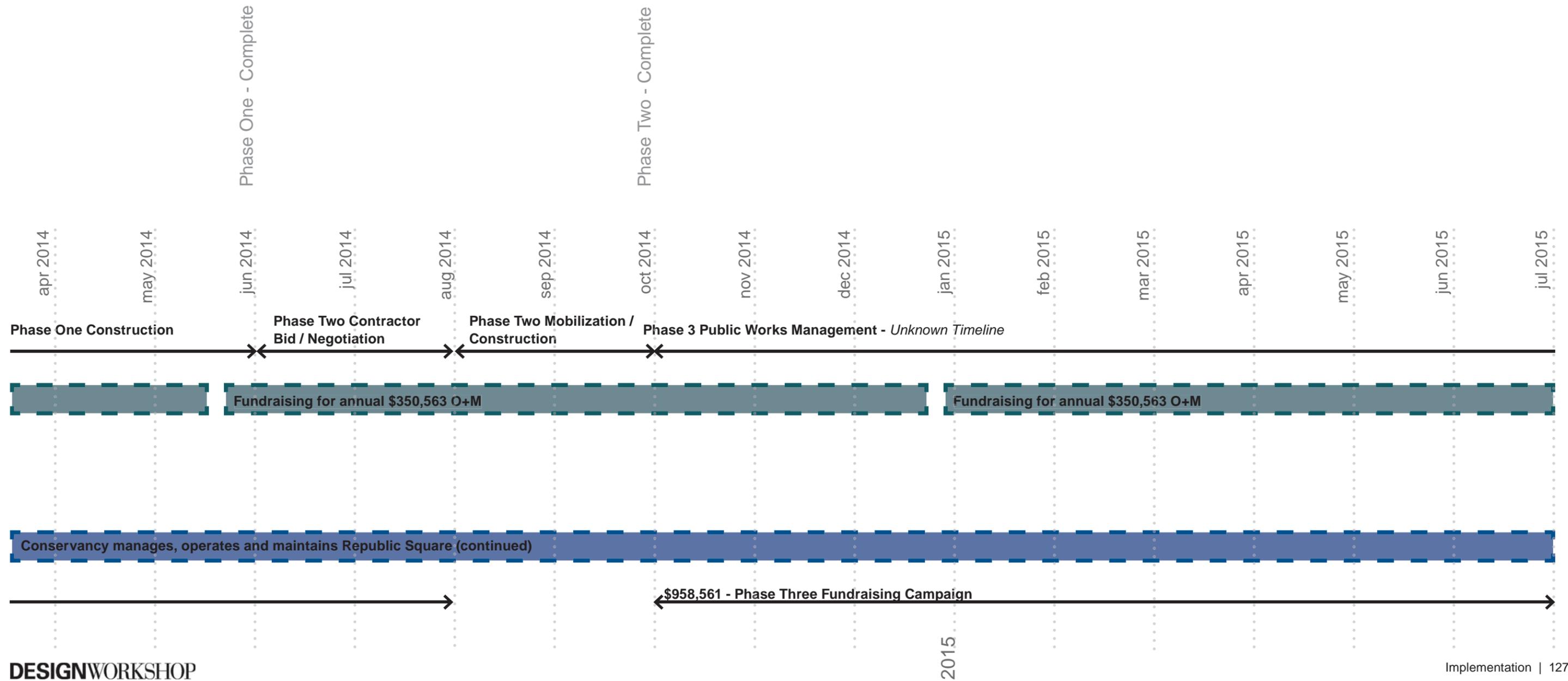
The ETM Republic Square Report outlines four different management options for consideration:

- **Option 1-** APF Manages the Park in Partnership with PARD;
- **Option 2-** DAA Contractually Manages the Park;
- **Option 3-** APF Manages the Park; or
- **Option 4-** Formation of a New Downtown Non-Profit to Manage the Park.

Refer to the ETM Republic Square Report for more information on these four options.



Implementation Summary
Schedule (continued)



Description	Quantity	Total	
		Unit Cost	Amount
200 PARK PROPER			
G BUILDING SITEWORK			2,156,823
Z GENERAL REQUIREMENTS			111,117
200 PARK PROPER			2,267,940
201 ROW GUADALUPE PUBLIC TRANSIT CORRIDOR			
G BUILDING SITEWORK			239,827
Z GENERAL REQUIREMENTS			2,000
201 ROW GUADALUPE PUBLIC TRANSIT CORRIDOR			241,827
202 ROW 4TH STREET CORRIDOR			
G BUILDING SITEWORK			205,499
Z GENERAL REQUIREMENTS			5,000
202 ROW 4TH STREET CORRIDOR			210,499
203 ROW FEDERAL COURTHOUSE PLAZA			
G BUILDING SITEWORK			162,627
203 ROW FEDERAL COURTHOUSE PLAZA			162,627
204 ROW 5TH STREET CORRIDOR			
G BUILDING SITEWORK			189,971
Z GENERAL REQUIREMENTS			5,000
204 ROW 5TH STREET CORRIDOR			194,971

Estimate Totals

Description	Amount	Totals	Rate	Percent of Total
Labor				
Material				
Subcontract	3,077,864			74.68%
Equipment				
Other				
Total Direct Cost	3,077,864	3,077,864		74.68%
GENERAL REQUIREMENTS	92,336		3.000 %	2.24%
GENERAL CONDITIONS	230,840		7.500 %	5.60%
Subtotal	323,176	3,401,040		7.84%
GENERAL LIABILITY	26,188		0.770 %	0.64%
BUILDERS RISK	2,913		0.085 %	0.07%
BOND	40,659			0.99%
Subtotal	69,760	3,470,800		1.69%
CONTRACTORS FEE	112,801		3.250 %	2.74%
Subtotal	112,801	3,583,601		2.74%
CONTINGENCY	537,540		15.000 %	13.04%
Total		4,121,141		

Item	Description	Takeoff Qty	Total	
			Unit Cost	Amount
200 PARK PROPER				
G BUILDING SITEWORK				
G10 SITE PREPARATION				
G1030 EARTHWORK				
70-0100-0100	Clear & Grub Site	0.80 ACRE	2,500.00 /ACRE	2,000
70-0100-0100	Site Demolition, By Others			
70-0100-0100	Hazardous Waste Removals, 10' x 20' vault, pipes and fountain adjacent to Heritage Tree, Allowance	1.00 ALW	15,000.00 /ALW	15,000
70-0100-0100	Remove 12" soil at Turf Areas	580.00 CY	12.00 /CY	6,960
70-0400-0100	Fine Grade Turf Areas	1,740.00 SY	2.25 /SY	3,915
70-0400-0100	Fine Grade Site, at buildings	80.00 SY	5.00 /SY	400
30-0000-0400	Silt Fence, assume site perimeter	1,144.00 LF	5.00 /LF	5,720
30-0000-0400	Construction Entrance, assume 3 ea. at 25*25	1,875.00 SF	1.75 /SF	3,281
30-0000-0400	Erosion Control Maintenance	4.00 MO	250.00 /MO	1,000
30-0000-0400	Spoil and haul off berms, includes 35% swell	998.00 CY	18.00 /CY	17,964
70-0100-0100	Root Tunnels to connect healthy soils, airspade, 24" x 24"	563.00 LF	5.00 /LF	2,815
	G1030 EARTHWORK			59,055
	G10 SITE PREPARATION			59,055
G20 SITE IMPROVEMENTS				
G2031 PAVING & SURFACING				
70-0200-0100	Radiant Red Granite Cobble	480.00 SF	35.00 /SF	16,800
70-0200-0100	Crushed Stone Surface	3,260.00 SF	4.50 /SF	14,670
70-0200-0100	Cast-in-place Steps	50.00 SF	35.00 /SF	1,750
70-0200-0100	IPE Decking	1,800.00 SF	25.00 /SF	45,000
70-0200-0100	Leuder Limestone Paving	400.00 SF	14.00 /SF	5,600
70-0200-0100	Charcoal Unit Paver (Pedestrian), Republic Plaza	3,665.00 SF	12.50 /SF	45,813
70-0200-0100	Charcoal Unit Paver (Pedestrian), Arc Promenade	5,640.00 SF	12.50 /SF	70,500
70-0200-0100	Charcoal Unit Paver (Pedestrian), East End	4,152.00 SF	12.50 /SF	51,900
70-0200-0100	Charcoal Unit Paver (Vehicular), North Drive	3,682.00 SF	16.00 /SF	58,912
70-0200-0100	Charcoal Unit Paver (Vehicular), South Drive	2,606.00 SF	16.00 /SF	41,696
70-0200-0100	IPE Deck substructure w/ airspade for footings	1,800.00 SF	10.00 /SF	18,000
	G2031 PAVING & SURFACING			370,641
G2040 SITE DEVELOPMENT				
70-0100-0400	Main Perimeter Fence	1,144.00 LF	23.00 /LF	26,312
200	Move, offsite, existing limestone block and chain link fence at Auction Oaks	145.00 LF	50.00 /LF	7,250
	G2040 SITE DEVELOPMENT			33,562
G2041 SITE DEVELOPMENT-BUILDINGS				
70-0100-0400	Restaurant Kiosk	350.00 SF	600.00 /SF	210,000
70-0100-0400	Park Storage	150.00 SF	250.00 /SF	37,500
70-0100-0400	Park Restrooms	300.00 SF	450.00 /SF	135,000
	G2041 SITE DEVELOPMENT-BUILDINGS			382,500
G2042 RETAINING WALLS				
XX-0000-X001	Tube Steel Rail- 1 1/2" diameter tube	1,335.00 LF	65.00 /LF	86,775

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
G2042 RETAINING WALLS					
XX-0000-X001	Hand Rail at Steps- painted black and constructed of simple tube or flat bar material	6.00 LF	85.00 /LF		510
XX-0000-X001	Center Railing at Steps- painted black and constructed of simple tube or flat bar material	3.00 LF	155.00 /LF		465
70-0100-0100	Radiant Red Granite Wall, 6"	44.00 LF	132.00 /LF		5,808
70-0100-0100	Radiant Red Granite Wall, 12"	114.00 LF	220.00 /LF		25,080
70-0100-0100	Radiant Red Granite Wall, 18"	141.00 LF	284.00 /LF		40,044
70-0100-0100	Radiant Red Granite Wall, 24"	158.00 LF	433.00 /LF		68,414
70-0100-0100	Radiant Red Granite Tiered Wall, 12"	52.00 LF	220.00 /LF		11,440
70-0100-0100	Radiant Red Granite Tiered Wall, 18"	88.00 LF	284.00 /LF		24,992
70-0100-0100	Radiant Red Granite Tiered Wall, 24"	155.00 LF	433.00 /LF		67,115
70-0100-0100	Radiant Red Granite Tiered Wall, 36"	20.00 LF	670.00 /LF		13,400
70-0100-0100	CIP Retaining Wall, at Steps	24.00 SF	55.00 /SF		1,320
70-0100-0100	CIP Retaining Wall, at Seats	115.00 SF	55.00 /SF		6,325
70-0100-0100	Sawcut and Chisel Reveal into Granite	500.00 LF	30.00 /LF		15,000
	G2042 RETAINING WALLS				366,688
G2044 SIGNAGE					
XX-0000-X001	Mexican-American Cultural Trail Node Sign	1.00 EA	1,200.00 /EA		1,200
XX-0000-X001	Auction Oaks Information Sign, graphic intensive signage	1.00 EA	1,200.00 /EA		1,200
XX-0000-X001	Park Background and Management Information Sign, carved into granite boulder	2.00 EA	7,500.00 /EA		15,000
XX-0000-X001	Park Entry Sign, "Republic Square", carved into granite boulder	2.00 EA	7,500.00 /EA		15,000
XX-0000-X001	Water Use Information Sign, graphic intensive signage	1.00 EA	1,500.00 /EA		1,500
XX-0000-X001	Park Rules Sign, graffiti resistant	4.00 EA	750.00 /EA		3,000
XX-0000-X001	Game Court Rules, graffiti resistant	1.00 EA	750.00 /EA		750
XX-0000-X001	Kiosk Signage Allowance, kiosk operator, bathrooms, fire/emergency information	1.00 ALW	2,500.00 /ALW		2,500
XX-0000-X001	Temporary Signage - Signage for temporary maintenance closures - lawn reseed, etc.	1.00 ALW	500.00 /ALW		500
	G2044 SIGNAGE				40,650
G2045 SITE FURNISHINGS					
70-0100-0100	Garbage and Recycling, PARD Standard Scarborough	8.00 EA	1,200.00 /EA		9,600
70-0100-0100	Site Bench Seat w. steel frames, imbedded posts & 1-1/2" x 3-1/2" lpe deck	166.00 SF	35.00 /SF		5,810
70-0100-0100	Dog Waste Bag Dispenser, w/ biodegradable bags	4.00 EA	450.00 /EA		1,800
70-0100-0100	Police Call Box	2.00 EA	1,500.00 /EA		3,000
70-0100-0100	Park Table- Landscape forms, 30" round version, ivy color	14.00 EA	1,200.00 /EA		16,800
70-0100-0100	Park Chair- Landscapeforms, ivy color, 4 per table	56.00 EA	400.00 /EA		22,400
70-0100-0100	Washer Pits- Washer pits should include a 1/4" steel frame pinned to grade	2.00 SET	1,200.00 /SET		2,400
70-0100-0100	Court Bumpers- 4" x 4" x 10' timber poles, stored in game area	1.00 LS	400.00 /LS		400
70-0100-0100	Ping Pong Table	2.00 EA	1,500.00 /EA		3,000
70-0100-0100	Tent Ties	12.00 EA	250.00 /EA		3,000
70-0100-0100	Donor Bench- Existing bench dedicated to Charlie McCabe to be relocated	1.00 EA	250.00 /EA		250
	G2045 SITE FURNISHINGS				68,460
G2050 LANDSCAPING					
70-0100-0100	Airspade for decompaction, assumed 6" depth, amend with compost	8,074.00 SF	5.00 /SF		40,370
70-0100-0100	Rake Mulch at Meadow Area	4,474.00 SF	0.35 /SF		1,566
70-0100-0100	Full-depth amended soils, for nutrition at plantings-non critical zones, amend with compost	8,386.00 SF	3.00 /SF		25,158

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
G2050 LANDSCAPING					
70-0100-0100	Slope Soil at Proposed Lawns, decompact to 12" depth & amend with compost	9,700.00 SF	3.00 /SF		29,100
200	Mulch, 4", at airspaded areas	8,074.00 SF	0.50 /SF		4,037
X001	Creek Edge and Bank Planting	6,220.00 SF	6.00 /SF		37,320
X001	Lavender and Seasonal Planting	1,316.00 SF	6.00 /SF		7,896
X001	Wildflower and Short Grass Meadow	4,470.00 SF	1.50 /SF		6,705
X001	Hardy Foundation Plantings, 1 gal.	2,022.00 SF	6.00 /SF		12,132
X001	Main Lawn, Note - Structural soil for main lawn includes entire lawn area outside of existing trees to remain	22,486.00 SF	3.50 /SF		78,701
X001	Drivable Lawn	2,872.00 SF	15.00 /SF		43,080
10-0000-0400	Plant Bed Preparation	14,028.00 SF	0.45 /SF		6,313
10-0000-0400	Meadow Soils - Native Topsoil, Import & Spread, 3"	42.00 CY	33.00 /CY		1,386
10-0000-0400	Turf- 2" rich topsoil mixed with bank sand	97.00 CY	40.00 /CY		3,880
10-0000-0400	Turf- 10" free-draining soil mix w/ moderate sand content	481.00 CY	40.00 /CY		19,240
10-0000-0400	Slope Soil at Lawn - 2" rich topsoil mixed with bank sand	60.00 CY	28.00 /CY		1,680
X130	Texas Redbud, 3" cal	10.00 EA	550.00 /EA		5,500
X140	Big Tooth Maple, 5" cal	15.00 EA	1,800.00 /EA		27,000
X140	Burr Oak, 5" cal.	15.00 EA	1,200.00 /EA		18,000
X140	Anacacho Orchid	10.00 EA	650.00 /EA		6,500
X140	Relocate Tree 5036, 5" Burr Oak	1.00 EA	900.00 /EA		900
X140	Relocate Tree 5037, 7" Shumard Oak	1.00 EA	1,200.00 /EA		1,200
X140	Relocate Tree 5041, 5" Cedar Elm	1.00 EA	900.00 /EA		900
200	Root Barrier	1,078.00 LF	3.50 /LF		3,773
200	Root Pruning	414.00 LF	25.00 /LF		10,350
200	Granite Boulders on Site	13.00 EA	2,500.00 /EA		32,500
200	Large Boulders at Biofiltration Area	3.00 EA	3,000.00 /EA		9,000
200	Edge Stones at Bank Planting	825.00 SF	6.50 /SF		5,363
	G2050 LANDSCAPING				439,549
G2057 IRRIGATION SYSTEM					
90-0400-0600	6" Irrigation Sleeve	190.00 LF	20.00 /LF		3,800
XX-0000-X001	Deep water bubblers at Trees, 2 per tree	66.00 EA	75.00 /EA		4,950
XX-0000-X001	Deep water bubblers at Trees, 2 per tree, at Existing Trees	66.00 EA	75.00 /EA		4,950
XX-0000-X002	Rotor Spray Irrigation System at Lawns, manually controlled, installed by airspade	25,358.00 SF	0.35 /SF		8,875
XX-0000-X002	Subsurface Drip line at 4" below surface for shrub beds, installed by airspade	2,883.00 SF	0.55 /SF		1,586
XX-0000-X002	Double Check Backflow Preventer	1.00 EA	2,000.00 /EA		2,000
XX-0000-X002	Irrigation Control Valve	21.00 EA	200.00 /EA		4,200
XX-0000-X002	Irrigation Weather Control Station	1.00 EA	5,000.00 /EA		5,000
	G2057 IRRIGATION SYSTEM				35,361
	G20 SITE IMPROVEMENTS				1,737,410
G30 CIVIL/MECHANICAL UTILITIES					
G3010 WATER SUPPLY					
10-0000-0400	3/4" Potable Water Line	170.00 LF	12.00 /LF		2,040
10-0000-0400	1" Potable Water Line	190.00 LF	14.00 /LF		2,660
10-0000-0400	1.5" Potable Water Line	140.00 LF	16.00 /LF		2,240
10-0000-0400	1" Water Line at Future Vault at Plaza Water Feature	15.00 LF	14.00 /LF		210
10-0000-0400	1" Water Line at Support Building	50.00 LF	14.00 /LF		700
10-0000-0400	Hose Bib (Potable)	4.00 EA	350.00 /EA		1,400
10-0000-0400	Bottle Filling Station & Water Fountain	2.00 EA	2,500.00 /EA		5,000
10-0000-0400	Future Vault at Plaza Water Feature, w/ hatch	1.00 EA	15,000.00 /EA		15,000

Item	Description	Takeoff Qty	Unit	Total	
				Unit Cost	Amount
G3010 WATER SUPPLY					
G3020 SANITARY SEWER					
70-0300-0100	6" PVC Sanitary Sewer Line at Grease Trap	30.00	LF	50.00 /LF	1,500
70-0300-0100	4" PVC Sanitary Sewer Line	26.00	LF	45.00 /LF	1,170
70-0300-0100	6" PVC Sanitary Sewer Line	68.00	LF	50.00 /LF	3,400
70-0400-0100	Grease Trap	1.00	EA	4,700.00 /EA	4,700
G3020 SANITARY SEWER					
G3030 STORM SEWER					
70-0100-0100	6" Storm Sewer Line	46.00	LF	30.00 /LF	1,380
70-0100-0100	12" Storm Sewer Line	173.00	LF	40.00 /LF	6,920
70-0100-0100	18" Storm Sewer Line	74.00	LF	55.00 /LF	4,070
70-0100-0100	12" Storm Sewer Line to Bio Filtration Pond in Island	19.00	LF	40.00 /LF	760
70-0100-0100	6" Storm Sewer Line to Manhole	19.00	LF	30.00 /LF	570
70-0100-0100	Combination Inlet and Splitter Box	1.00	EA	3,500.00 /EA	3,500
70-0100-0100	Storm Sewer Manholes	2.00	EA	3,800.00 /EA	7,600
70-0100-0100	Rain Garden Filtering Soils & Systems, Allowance	1.00	ALW	20,000.00 /ALW	20,000
G3030 STORM SEWER					
G30 CIVIL/MECHANICAL UTILITIES					
G40 ELECTRICAL UTILITIES					
G4000 ELECTRICAL UTILITIES					
70-0200-0100	Custom Pole Lights, 4" dia heavy wall steel pole w/ 3 LED fixtures	30.00	EA	5,200.00 /EA	156,000
70-0200-0100	Bollard Lights, full cutoff, black finish, for pathway lighting	8.00	EA	1,200.00 /EA	9,600
70-0200-0100	Step Light, 2 per step, shielded and embedded onto CIP steps, LED lamping	6.00	EA	450.00 /EA	2,700
70-0200-0100	Bench Seat Linear LED Strip Lights, downlight, 24"	83.00	LF	250.00 /LF	20,750
70-0200-0100	Police Call Box Lights, blue LED	3.00	EA	450.00 /EA	1,350
70-0200-0100	Architectural Building Lighting	4.00	EA	4,300.00 /EA	17,200
70-0200-0100	Flood Lighting, LED area light on 14-16' ht straight black pole	3.00	EA	7,500.00 /EA	22,500
70-0200-0100	Corner Icon Lighting	1.00	EA	8,000.00 /EA	8,000
70-0400-0100	Electrical UG to Restaurant Kiosk	39.00	LF	85.00 /LF	3,315
70-0400-0100	Electrical UG to Support Building	63.00	LF	85.00 /LF	5,355
70-0400-0100	Stage Circuit	13.00	LF	35.00 /LF	455
70-0400-0100	Light Circuit	16.00	LF	35.00 /LF	560
70-0400-0100	Vendor Booth Circuit	16.00	LF	55.00 /LF	880
70-0100-0100	Telecom UG Conduit, from existing utility pole, if reqd.	1.00	LS	15,000.00 /LS	15,000
70-0100-0100	Electric J Box	7.00	EA	1,696.00 /EA	11,872
G4000 ELECTRICAL UTILITIES					
G40 ELECTRICAL UTILITIES					
G BUILDING SITEWORK					
Z GENERAL REQUIREMENTS					
Z10 GENERAL REQUIREMENTS					
Z1000 GENERAL REQUIREMENTS					
XX-0000-X001	Water Quality Fee-In-Lieu	1.00	LS	30,000.00 /LS	30,000
XX-0000-X001	Regional Detention Fee	1.00	LS	50,000.00 /LS	50,000

Item	Description	Takeoff Qty	Unit	Total	
				Unit Cost	Amount
Z1000 GENERAL REQUIREMENTS					
XX-0000-X001	Site Plan Fees	1.00	LS	3,000.00 /LS	3,000
XX-0000-X001	Landscape Fee	1.00	LS	500.00 /LS	500
XX-0000-X001	Phasing Fee	1.00	LS	315.00 /LS	315
XX-0000-X001	Construction Inspection Fee	1.00	LS	14,000.00 /LS	14,000
XX-0000-X001	Capital Recovery Fees	1.00	LS	3,000.00 /LS	3,000
XX-0000-X001	1704 Determination Fee	1.00	LS	200.00 /LS	200
XX-0000-X001	Contingency on General Fees, 10%	1.00	LS	10,102.00 /LS	10,102
Z1000 GENERAL REQUIREMENTS					
Z10 GENERAL REQUIREMENTS					
Z GENERAL REQUIREMENTS					
200 PARK PROPER					
2,267,940					

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
201 ROW GUADALUPE PUBLIC TRANSIT CORRIDOR					
G BUILDING SITEWORK					
G20 SITE IMPROVEMENTS					
G2031 PAVING & SURFACING					
70-0200-0100	Charcoal Unit Paver (Pedestrian)	4,100.00	SF	12.50 /SF	51,250
70-0200-0100	ADA Ramp and Truncated Domes	160.00	SF	15.00 /SF	2,400
70-0200-0100	Leuder Limestone Paving	123.00	SF	14.00 /SF	1,722
70-0200-0100	METRO Platform, 3 Ea. @ 150sf	450.00	SF	105.00 /SF	47,250
70-0200-0100	Charcoal Unit Paver (Vehicular), North Drive	376.00	SF	16.00 /SF	6,016
70-0100-0400	Cut & Remove Curb, at North Drive Entryway	20.00	LF	6.00 /LF	120
70-0100-0100	Light Pole Base	4.00	EA	650.00 /EA	2,600
G2031 PAVING & SURFACING					111,358
G2042 RETAINING WALLS					
XX-0000-X001	Tube Steel Rail- 1 1/2" diameter tube	204.00	LF	65.00 /LF	13,260
XX-0000-X001	Leaning Rail- Linear rail features extend down most of the eastern street edge	112.00	LF	155.00 /LF	17,360
G2042 RETAINING WALLS					30,620
G2044 SIGNAGE					
XX-0000-X001	Cap Metro Signage Program	3.00	EA	750.00 /EA	2,250
XX-0000-X001	Banner Program Supports	4.00	EA	600.00 /EA	2,400
XX-0000-X001	Downtown Austin Wayfinding Program (DAWP) Pedestrian Directional	1.00	EA	1,500.00 /EA	1,500
XX-0000-X001	DAWP Bike Parking Icon	1.00	EA	750.00 /EA	750
XX-0000-X001	DAWP Urbanflow or Media Kiosk	1.00	EA	2,500.00 /EA	2,500
G2044 SIGNAGE					9,400
G2045 SITE FURNISHINGS					
70-0100-0100	Trash Can (Per Great Streets or Cap Metro Standard)	5.00	EA	1,200.00 /EA	6,000
70-0100-0100	Bike Corral (fits 10-12 bicycles)- Creative pipe gauntlet rack, angled tubes, surface mount.	1.00	EA	2,500.00 /EA	2,500
70-0100-0100	Bike Rack (Per Great Streets Standard)	2.00	EA	1,200.00 /EA	2,400
70-0100-0100	Removable Bollard (Bollard Solutions), stainless steel tube, at North Drive Entryway	1.00	EA	1,500.00 /EA	1,500
G2045 SITE FURNISHINGS					12,400
G2050 LANDSCAPING					
70-0100-0100	Airspade for decompaction, assumed 6" depth , amend with compost	780.00	SF	5.00 /SF	3,900
200	Mulch, 4", at airspaded areas	780.00	SF	0.50 /SF	390
X001	Hardy Foundation Plantings, 1 gal.	644.00	SF	6.00 /SF	3,864
10-0000-0400	Plant Bed Preparation	644.00	SF	0.45 /SF	290
200	Root Pruning	224.00	LF	25.00 /LF	5,600
G2050 LANDSCAPING					14,044
G2057 IRRIGATION SYSTEM					
XX-0000-X001	Drip Irrigation at Plant Beds, installed with airspade	644.00	SF	1.25 /SF	805
G2057 IRRIGATION SYSTEM					805
G20 SITE IMPROVEMENTS					178,627

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
G40 ELECTRICAL UTILITIES					
G4000 ELECTRICAL UTILITIES					
70-0200-0100	Street Lights- Great Streets, pole light w/ painted black & 2 banner arms w/ optional pedestrian light	4.00	EA	7,500.00 /EA	30,000
70-0200-0100	METRO Stop Lighting	3.00	EA	7,500.00 /EA	22,500
70-0200-0100	Street Light Pole Circuits	290.00	LF	30.00 /LF	8,700
G4000 ELECTRICAL UTILITIES					61,200
G40 ELECTRICAL UTILITIES					61,200
G BUILDING SITEWORK					
Z GENERAL REQUIREMENTS					
Z10 GENERAL REQUIREMENTS					
Z1000 GENERAL REQUIREMENTS					
XX-0000-X001	Traffic and Pedestrian Control	1.00	LS	2,000.00 /LS	2,000
Z1000 GENERAL REQUIREMENTS					2,000
Z10 GENERAL REQUIREMENTS					2,000
Z GENERAL REQUIREMENTS					2,000
201 ROW GUADALUPE PUBLIC TRANSIT CORRIDOR					241,827

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
202 ROW 4TH STREET CORRIDOR					
G BUILDING SITEWORK					
G20 SITE IMPROVEMENTS					
G2031 PAVING & SURFACING					
70-0200-0100	Charcoal Unit Paver (Pedestrian)	4,568.00	SF	12.50 /SF	57,100
70-0200-0100	Crushed Stone Surface	333.00	SF	4.50 /SF	1,499
70-0200-0100	ADA Ramp and Truncated Domes	160.00	SF	15.00 /SF	2,400
70-0200-0100	Leuder Limestone Paving	52.00	SF	14.00 /SF	728
70-0200-0100	METRO Platform, 3 Ea.	150.00	SF	105.00 /SF	15,750
70-0200-0100	Charcoal Unit Paver (Vehicular), South Drive	302.00	SF	16.00 /SF	4,832
70-0100-0400	Cut & Remove Curb, at South Drive Entryway	20.00	LF	6.00 /LF	120
70-0100-0400	Curb & Gutter along 4th Street	325.00	LF	20.00 /LF	6,500
70-0100-0100	Light Pole Base	4.00	EA	650.00 /EA	2,600
G2031 PAVING & SURFACING					91,529
G2040 SITE DEVELOPMENT					
70-0100-0400	Parking Spaces, Standard Striping	6.00	EA	30.00 /EA	180
70-0100-0400	Parking Spaces, Handicap Striping	1.00	EA	250.00 /EA	250
G2040 SITE DEVELOPMENT					430
G2042 RETAINING WALLS					
XX-0000-X001	Tube Steel Rail- 1 1/2" diameter tube	200.00	LF	65.00 /LF	13,000
G2042 RETAINING WALLS					13,000
G2044 SIGNAGE					
XX-0000-X001	Auction Oaks Information Sign	1.00	EA	750.00 /EA	750
XX-0000-X001	Cap Metro Signage Program	1.00	EA	750.00 /EA	750
XX-0000-X001	Banner Program Supports	4.00	EA	600.00 /EA	2,400
XX-0000-X001	Parking Pay Station	1.00	EA	2,500.00 /EA	2,500
XX-0000-X001	DAWP Bike Parking Icon	2.00	EA	750.00 /EA	1,500
XX-0000-X001	Valet Parking Regulatory Sign	1.00	EA	750.00 /EA	750
XX-0000-X001	ADA Parking Sign	1.00	EA	175.00 /EA	175
G2044 SIGNAGE					8,825
G2045 SITE FURNISHINGS					
70-0100-0100	Trash Can (Per Great Streets or Cap Metro Standard)	2.00	EA	1,200.00 /EA	2,400
70-0100-0100	Removable Bollard (Bollard Solutions), stainless steel tube, at South Drive Entryway	1.00	EA	1,500.00 /EA	1,500
70-0100-0100	Bench (Per Great Streets Standard)	2.00	EA	2,000.00 /EA	4,000
70-0100-0100	Parking Meter (Per City Standard), by CITY	1.00	EA		
70-0100-0100	Police Call Box	1.00	EA	1,500.00 /EA	1,500
G2045 SITE FURNISHINGS					9,400
G2050 LANDSCAPING					
70-0100-0100	Airspade for decompaction, assumed 6" depth , amend with compost	1,301.00	SF	5.00 /SF	6,505
200	Mulch, 4", at airspaded areas	1,301.00	SF	0.50 /SF	651
X001	Creek Edge and Bank Planting	866.00	SF	6.00 /SF	5,196
10-0000-0400	Plant Bed Preparation	866.00	SF	0.45 /SF	390
200	Root Barrier	242.00	LF	3.50 /LF	847
200	Root Pruning	242.00	LF	25.00 /LF	6,050
200	Move, offsite existing limestone block and chain link fence at Auction Oaks	71.00	LF	50.00 /LF	3,550

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
G2050 LANDSCAPING					23,188
G2057 IRRIGATION SYSTEM					
XX-0000-X002	Subsurface Drip line at 4" below surface for shrub beds, installed with airspade	932.00	SF	0.55 /SF	513
G2057 IRRIGATION SYSTEM					513
G20 SITE IMPROVEMENTS					146,884
G30 CIVIL/MECHANICAL UTILITIES					
G3030 STORM SEWER					
70-0100-0100	Cut and Patch Street	1.00	LS	5,000.00 /LS	5,000
70-0100-0100	18" Storm Sewer Line at 4th street	63.00	LF	55.00 /LF	3,465
70-0100-0100	Tie to Existing Drainage System	1.00	EA	2,500.00 /EA	2,500
G3030 STORM SEWER					10,965
G30 CIVIL/MECHANICAL UTILITIES					10,965
G40 ELECTRICAL UTILITIES					
G4000 ELECTRICAL UTILITIES					
70-0200-0100	Street Lights- Great Streets, pole light w/ painted black & 2 banner arms w/ optional pedestrian light	4.00	EA	7,500.00 /EA	30,000
70-0200-0100	Police Call Box Lights, blue LED	1.00	EA	850.00 /EA	850
70-0200-0100	METRO Stop Lighting	1.00	EA	7,500.00 /EA	7,500
70-0400-0100	Street Light Circuits	310.00	LF	30.00 /LF	9,300
G4000 ELECTRICAL UTILITIES					47,650
G40 ELECTRICAL UTILITIES					47,650
G BUILDING SITEWORK					205,499
Z GENERAL REQUIREMENTS					
Z10 GENERAL REQUIREMENTS					
Z1000 GENERAL REQUIREMENTS					
XX-0000-X001	Traffic and Pedestrian Control	1.00	LS	5,000.00 /LS	5,000
Z1000 GENERAL REQUIREMENTS					5,000
Z10 GENERAL REQUIREMENTS					5,000
Z GENERAL REQUIREMENTS					5,000
202 ROW 4TH STREET CORRIDOR					210,499

Item	Description	Takeoff Qty	Unit Cost	Total	
				Amount	
203 ROW FEDERAL COURTHOUSE PLAZA					
G BUILDING SITEWORK					
G10 SITE PREPARATION					
G1030 EARTHWORK					
70-0100-0100	Airspade for decompaction, assumed 6" depth , amend with compost	3,033.00	SF	5.00 /SF	15,165
70-0100-0100	Root Tunnels to connect healthy soils, airspade, 24" x 24"	20.00	LF	5.00 /LF	100
G1030 EARTHWORK					15,265
G10 SITE PREPARATION					15,265
G20 SITE IMPROVEMENTS					
G2031 PAVING & SURFACING					
70-0200-0100	Charcoal Unit Paver (Pedestrian)	1,234.00	SF	12.50 /SF	15,425
70-0200-0100	Charcoal Unit Paver (50% pervious)	1,204.00	SF	12.50 /SF	15,050
70-0200-0100	Crushed Stone Surface	2,021.00	SF	4.50 /SF	9,095
70-0200-0100	Leuder Limestone Paving	106.00	SF	14.00 /SF	1,484
G2031 PAVING & SURFACING					41,054
G2042 RETAINING WALLS					
XX-0000-X001	Tube Steel Rail- 1 1/2" diameter tube	277.00	LF	65.00 /LF	18,005
70-0100-0100	Barrier Wall at North Plaza	25.00	LF	150.00 /LF	3,750
70-0100-0100	Barrier Wall at South Plaza	13.00	LF	150.00 /LF	1,950
G2042 RETAINING WALLS					23,705
G2045 SITE FURNISHINGS					
70-0100-0100	Bike Corral (fits 10-12 bicycles)- Creative pipe gauntlet rack, angled tubes, surface mount.	1.00	EA	2,500.00 /EA	2,500
70-0100-0100	Park Table- Landscape forms, 30" round version, ivy color	7.00	EA	1,200.00 /EA	8,400
70-0100-0100	Park Chair- Landscapeforms, ivy color, 4 per table	28.00	EA	400.00 /EA	11,200
G2045 SITE FURNISHINGS					22,100
G2050 LANDSCAPING					
200	Mulch, 4", at airspaded areas	3,033.00	SF	0.50 /SF	1,517
X001	Hardy Foundation Plantings, 1 gal.	620.00	SF	6.00 /SF	3,720
X001	Wildflower and Short Grass Meadow	860.00	SF	3.50 /SF	3,010
10-0000-0400	Plant Bed Preparation	1,480.00	SF	0.45 /SF	666
200	Root Pruning	123.00	LF	25.00 /LF	3,075
G2050 LANDSCAPING					11,988
G2057 IRRIGATION SYSTEM					
XX-0000-X001	Drip Irrigation at meadow, 4" subsurface irrigation, installed by hand	860.00	SF	1.25 /SF	1,075
XX-0000-X002	Subsurface Drip line at 4" below surface for shrub beds	620.00	SF	0.55 /SF	341
G2057 IRRIGATION SYSTEM					1,416
G20 SITE IMPROVEMENTS					100,262

Item	Description	Takeoff Qty	Unit Cost	Total	
				Amount	
G30 CIVIL/MECHANICAL UTILITIES					
G3020 SANITARY SEWER					
70-0300-0100	6" PVC Wastewater Line	11.00	LF	50.00 /LF	550
70-0400-0100	Connect to Existing Wastewater System at New Manhole	1.00	EA	4,700.00 /EA	4,700
70-0400-0100	New Manhole w/ coating	1.00	EA	5,000.00 /EA	5,000
G3020 SANITARY SEWER					10,250
G30 CIVIL/MECHANICAL UTILITIES					10,250
G40 ELECTRICAL UTILITIES					
G4000 ELECTRICAL UTILITIES					
70-0200-0100	Custom Pole Lights, 4" dia heavy wall steel pole w/ 3 LED fixtures	5.00	EA	5,200.00 /EA	26,000
70-0200-0100	Police Call Box Lights, blue LED	1.00	EA	850.00 /EA	850
70-0200-0100	Architectural Building Lighting, west of kiosk	1.00	EA	4,300.00 /EA	4,300
70-0400-0100	Plaza Lighting Circuits incl. 8 outlets	190.00	LF	30.00 /LF	5,700
G4000 ELECTRICAL UTILITIES					36,850
G40 ELECTRICAL UTILITIES					36,850
G BUILDING SITEWORK					162,627
203 ROW FEDERAL COURTHOUSE PLAZA					162,627

Item	Description	Takeoff Qty	Unit Cost	Total	
				Amount	
204 ROW 5TH STREET CORRIDOR					
G BUILDING SITEWORK					
G10 SITE PREPARATION					
G1030 EARTHWORK					
70-0100-0100	Airspade for decompaction, assumed 6" depth , amend with compost	2,403.00	SF	5.00 /SF	12,015
					12,015
					12,015
G20 SITE IMPROVEMENTS					
G2031 PAVING & SURFACING					
70-0200-0100	Charcoal Unit Paver (Pedestrian)	685.00	SF	12.50 /SF	8,563
70-0200-0100	Charcoal Unit Paver (50% pervious)	1,604.00	SF	12.50 /SF	20,050
70-0200-0100	ADA Ramp and Truncated Domes	80.00	SF	15.00 /SF	1,200
70-0200-0100	Leuder Limestone Paving	80.00	SF	14.00 /SF	1,120
70-0200-0100	Charcoal Unit Paver (Vehicular), North Drive	216.00	SF	16.00 /SF	3,456
70-0100-0400	Cut & Remove Curb, at North Drive Entryway	20.00	LF	6.00 /LF	120
70-0100-0400	Curb & Gutter along 5th Street	225.00	LF	20.00 /LF	4,500
70-0100-0400	Remove & Replace Pavement	340.00	SY	75.00 /SY	25,500
70-0100-0100	Light Pole Base	4.00	EA	650.00 /EA	2,600
					67,109
G2040 SITE DEVELOPMENT					
70-0100-0400	Parking Spaces, Standard Striping	7.00	EA	30.00 /EA	210
					210
G2042 RETAINING WALLS					
XX-0000-X001	Tube Steel Rail- 1 1/2" diameter tube	252.00	LF	65.00 /LF	16,380
					16,380
G2044 SIGNAGE					
XX-0000-X001	Cap Metro Signage Program	1.00	EA	750.00 /EA	750
XX-0000-X001	Kiosk Parking Regulatory Sign	1.00	EA	750.00 /EA	750
XX-0000-X001	Banner Program Supports	4.00	EA	600.00 /EA	2,400
XX-0000-X001	Parking Pay Station	1.00	EA	2,500.00 /EA	2,500
XX-0000-X001	Downtown Austin Wayfinding Program (DAWP)	1.00	EA	1,500.00 /EA	1,500
XX-0000-X001	Pedestrian Directional				
XX-0000-X001	Valet Parking Regulatory Sign	2.00	EA	750.00 /EA	1,500
					9,400
G2045 SITE FURNISHINGS					
70-0100-0100	Park ATM- A free-standing ATM, kiosk west, Infrastructure Only, Kiosk by Vendor	1.00	EA	1,500.00 /EA	1,500
70-0100-0100	Trash Can (Per Great Streets or Cap Metro Standard)	1.00	EA	1,200.00 /EA	1,200
70-0100-0100	Bike Rack (Per Great Streets Standard)	4.00	EA	1,200.00 /EA	4,800
70-0100-0100	Removable Bollard (Bollard Solutions), stainless steel tube, at North Drive Entryway	1.00	EA	1,500.00 /EA	1,500
70-0100-0100	Bench (Per Great Streets Standard)	1.00	EA	2,000.00 /EA	2,000
70-0100-0100	Parking Meter (Per City Standard), by CITY	1.00	EA		

Item	Description	Takeoff Qty	Unit Cost	Total	
				Amount	
11,000					
G2045 SITE FURNISHINGS					
G2050 LANDSCAPING					
200	Mulch, 4", at airspaded areas	2,403.00	SF	0.50 /SF	1,202
X001	Hardy Foundation Plantings, 1 gal.	840.00	SF	6.00 /SF	5,040
10-0000-0400	Plant Bed Preparation	840.00	SF	0.45 /SF	378
200	Root Pruning	196.00	LF	25.00 /LF	4,900
					11,520
G2057 IRRIGATION SYSTEM					
XX-0000-X002	Subsurface Drip line at 4" below surface for shrub beds, installed by airspade	840.00	SF	0.55 /SF	462
					462
116,080					
G20 SITE IMPROVEMENTS					
G30 CIVIL/MECHANICAL UTILITIES					
G3010 WATER SUPPLY					
10-0000-0400	New Potable Water Service Connections	2.00	EA	3,500.00 /EA	7,000
10-0000-0400	Future Connection to a reclaimed water line	1.00	EA	2,500.00 /EA	2,500
10-0000-0400	1.5" Potable Water Line to Kiosk Meter	30.00	LF	16.00 /LF	480
10-0000-0400	Proposed Reclaimed Water line to Irrigation Meter	40.00	LF	14.00 /LF	560
10-0000-0400	1" Water Line to Irrigation Meter	10.00	LF	14.00 /LF	140
10-0000-0400	Irrigation Meter	1.00	EA	600.00 /EA	600
10-0000-0400	Kiosk Meter	1.00	EA	500.00 /EA	500
10-0000-0400	Restroom Meter	1.00	EA	400.00 /EA	400
10-0000-0400	Potable Water Service to Restaurant Kiosk from Meter	20.00	LF	14.00 /LF	280
10-0000-0400	Potable Water Service to Support Building	30.00	LF	14.00 /LF	420
70-0400-0100	Street Cut & Patch	1.00	LS	5,000.00 /LS	5,000
					17,880
G3060 GAS DISTRIBUTION					
XX-0000-X001	New Gas Service to Food Kiosk	10.00	LF	14.62 /LF	146
					146
18,026					
G40 ELECTRICAL UTILITIES					
G4000 ELECTRICAL UTILITIES					
70-0200-0100	Street Lights- Great Streets, pole light w/ painted black & 2 banner arms w/ optional pedestrian light	4.00	EA	7,500.00 /EA	30,000
70-0200-0100	Police Call Box Lights, blue LED	1.00	EA	850.00 /EA	850
70-0200-0100	Architectural Building Lighting, west of kiosk	1.00	EA	4,300.00 /EA	4,300
70-0400-0100	Street Light Circuits	290.00	LF	30.00 /LF	8,700
					43,850
43,850					
G BUILDING SITEWORK					
189,971					
Z GENERAL REQUIREMENTS					
Z10 GENERAL REQUIREMENTS					

Item	Description	Takeoff Qty	Unit Cost	Total	
				Unit Cost	Amount
G2031	PAVING & SURFACING				
XX-0000-X001	Traffic and Pedestrian Control	1.00 LS	5,000.00 /LS		5,000
	G2031 PAVING & SURFACING				5,000
	Z10 GENERAL REQUIREMENTS				5,000
	Z GENERAL REQUIREMENTS				5,000
	204 ROW 5TH STREET CORRIDOR				194,971

Estimate Totals

Description	Amount	Totals	Rate	Percent of Total
Labor				
Material				
Subcontract	3,077,864			74.68%
Equipment				
Other				
Total Direct Cost	3,077,864	3,077,864		74.68
GENERAL REQUIREMENTS	92,336		3.000 %	2.24%
GENERAL CONDITIONS	230,840		7.500 %	5.60%
Subtotal	323,176	3,401,040		7.84
GENERAL LIABILITY	26,188		0.770 %	0.64%
BUILDERS RISK	2,913		0.085 %	0.07%
BOND	40,659			0.99%
Subtotal	69,760	3,470,800		1.69
CONTRACTORS FEE	112,801		3.250 %	2.74%
Subtotal	112,801	3,583,601		2.74
CONTINGENCY	537,540		15.000 %	13.04%
Total		4,121,141		



Farmers Market, Republic Square (Photo by Michael Knox)

APPENDICES



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357753
 Customer Sample ID: 001
 Crop Grown: LAWN

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
 Department of Soil and Crop Sciences
 2478 TAMU
 College Station, TX 77843-2478
 979-845-4816 (phone)
 979-845-5958 (FAX)
 Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.0	(6.2)	-	Mod. Alkaline							
Conductivity	272	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	12	(-)	ppm								0.4 lbs N/1000sqft
Phosphorus	28	(50)	ppm								1.2 lbs P2O5/1000sqft
Potassium	281	(175)	ppm								0 lbs K2O/1000sqft
Calcium	5,785	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	356	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	20	(13)	ppm								0 lbs S/1000sqft
Sodium	22	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	3.84		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Nitrogen: Apply an additional 1 lb N/1000 sqft during late summer (St. Augustine grass), mid-summer and early fall (common bermuda grass and zoysia grass) and every 6-8 weeks for hybrid bermuda grass.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysVer. 2.15g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357753
 Customer Sample ID: 001
 Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
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Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.0	(6)	-	Mod. Alkaline							
Conductivity	272	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	12	(-)	ppm								0.9 lbs N/1000sqft
Phosphorus	28	(50)	ppm								1.2 lbs P2O5/1000sqft
Potassium	281	(175)	ppm								0 lbs K2O/1000sqft
Calcium	5,785	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	356	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	20	(13)	ppm								0 lbs S/1000sqft
Sodium	22	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	3.84		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysVer. 2.15g



Report generated for:
Philip Koske
Austin Parks and Recreation
801 Congress, Suite 330
Austin, TX 78701

Travis County
Laboratory Number: 357754
Customer Sample ID: 002
Crop Grown: LAWN

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
Department of Soil and Crop Sciences
2478 TAMU
College Station, TX 77843-2478
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Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
Printed on: 4/19/2012
Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.1	(6.2)	-	Mod. Alkaline								
Conductivity	192	(-)	umho/cm	None								Fertilizer Recommended
Nitrate-N	0	(-)	ppm									0.9 lbs N/1000sqft
Phosphorus	39	(50)	ppm									0.6 lbs P2O5/1000sqft
Potassium	325	(175)	ppm									0 lbs K2O/1000sqft
Calcium	5,842	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	365	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	12	(13)	ppm									0.25 lbs S/1000sqft
Sodium	41	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	1.94		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Nitrogen: Apply an additional 1 lb N/1000 sqft during late summer (St. Augustine grass), mid-summer and early fall (common bermuda grass and zoysia grass) and every 6-8 weeks for hybrid bermuda grass.

Sulfur: Available sulfur may be found deeper in soil profile, thus limiting any response to added sulfur.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
Philip Koske
Austin Parks and Recreation
801 Congress, Suite 330
Austin, TX 78701

Travis County
Laboratory Number: 357754
Customer Sample ID: 002
Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
Department of Soil and Crop Sciences
2478 TAMU
College Station, TX 77843-2478
979-845-4816 (phone)
979-845-5958 (FAX)
Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
Printed on: 4/19/2012
Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.1	(6)	-	Mod. Alkaline								
Conductivity	192	(-)	umho/cm	None								Fertilizer Recommended
Nitrate-N	0	(-)	ppm									1.4 lbs N/1000sqft
Phosphorus	39	(50)	ppm									0.6 lbs P2O5/1000sqft
Potassium	325	(175)	ppm									0 lbs K2O/1000sqft
Calcium	5,842	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	365	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	12	(13)	ppm									0.25 lbs S/1000sqft
Sodium	41	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	1.94		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Sulfur: Available sulfur may be found deeper in soil profile, thus limiting any response to added sulfur.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
Philip Koske
Austin Parks and Recreation
801 Congress, Suite 330
Austin, TX 78701

Travis County
Laboratory Number: 357755
Customer Sample ID: 003
Crop Grown: LAWN

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
Department of Soil and Crop Sciences
2478 TAMU
College Station, TX 77843-2478
979-845-4816 (phone)
979-845-5958 (FAX)
Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
Printed on: 4/19/2012
Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.5	(6.2)	-	Mod. Alkaline								
Conductivity	128	(-)	umho/cm	None							CL*	Fertilizer Recommended
Nitrate-N	0	(-)	ppm									0.9 lbs N/1000sqft
Phosphorus	1	(50)	ppm									2.9 lbs P2O5/1000sqft
Potassium	98	(175)	ppm									1.3 lbs K2O/1000sqft
Calcium	33,672	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	417	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	26	(13)	ppm									0 lbs S/1000sqft
Sodium	23	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	0.93		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Nitrogen: Apply an additional 1 lb N/1000 sqft during late summer (St. Augustine grass), mid-summer and early fall (common bermuda grass and zoysia grass) and every 6-8 weeks for hybrid bermuda grass.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
Philip Koske
Austin Parks and Recreation
801 Congress, Suite 330
Austin, TX 78701

Travis County
Laboratory Number: 357755
Customer Sample ID: 003
Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
Department of Soil and Crop Sciences
2478 TAMU
College Station, TX 77843-2478
979-845-4816 (phone)
979-845-5958 (FAX)
Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
Printed on: 4/19/2012
Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.5	(6)	-	Mod. Alkaline								
Conductivity	128	(-)	umho/cm	None							CL*	Fertilizer Recommended
Nitrate-N	0	(-)	ppm									1.4 lbs N/1000sqft
Phosphorus	1	(50)	ppm									2.9 lbs P2O5/1000sqft
Potassium	98	(175)	ppm									1.3 lbs K2O/1000sqft
Calcium	33,672	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	417	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	26	(13)	ppm									0 lbs S/1000sqft
Sodium	23	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	0.93		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357756
 Customer Sample ID: 004
 Crop Grown: LAWN

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
 Department of Soil and Crop Sciences
 2478 TAMU
 College Station, TX 77843-2478
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 979-845-5958 (FAX)
 Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.2	(6.2)	-	Mod. Alkaline								
Conductivity	182	(-)	umho/cm	None							CL*	Fertilizer Recommended
Nitrate-N	2	(-)	ppm									0.8 lbs N/1000sqft
Phosphorus	14	(50)	ppm									2.1 lbs P2O5/1000sqft
Potassium	205	(175)	ppm									0 lbs K2O/1000sqft
Calcium	5,761	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	348	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	12	(13)	ppm									0.25 lbs S/1000sqft
Sodium	29	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	1.86		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Nitrogen: Apply an additional 1 lb N/1000 sqft during late summer (St. Augustine grass), mid-summer and early fall (common bermuda grass and zoysia grass) and every 6-8 weeks for hybrid bermuda grass.

Sulfur: Available sulfur may be found deeper in soil profile, thus limiting any response to added sulfur.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357756
 Customer Sample ID: 004
 Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
 Department of Soil and Crop Sciences
 2478 TAMU
 College Station, TX 77843-2478
 979-845-4816 (phone)
 979-845-5958 (FAX)
 Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.		
pH	8.2	(6)	-	Mod. Alkaline								
Conductivity	182	(-)	umho/cm	None							CL*	Fertilizer Recommended
Nitrate-N	2	(-)	ppm									1.3 lbs N/1000sqft
Phosphorus	14	(50)	ppm									2.1 lbs P2O5/1000sqft
Potassium	205	(175)	ppm									0 lbs K2O/1000sqft
Calcium	5,761	(180)	ppm									0 lbs Ca/1000sqft
Magnesium	348	(50)	ppm									0 lbs Mg/1000sqft
Sulfur	12	(13)	ppm									0.25 lbs S/1000sqft
Sodium	29	(-)	ppm									
Iron												
Zinc												
Manganese												
Copper												
Boron												
Limestone Requirement												0.00 lbs/1000sqft
Organic Matter	1.86		%									

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Sulfur: Available sulfur may be found deeper in soil profile, thus limiting any response to added sulfur.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357757
 Customer Sample ID: 005

Crop Grown: SHADE TREES

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.2	(6)	-	Mod. Alkaline							
Conductivity	200	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	4	(-)	ppm								1.3 lbs N/1000sqft
Phosphorus	14	(50)	ppm								2.1 lbs P2O5/1000sqft
Potassium	280	(175)	ppm								0 lbs K2O/1000sqft
Calcium	9,131	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	266	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	23	(13)	ppm								0 lbs S/1000sqft
Sodium	16	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	2.32		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/lot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357758
 Customer Sample ID: 006

Crop Grown: SHADE TREES

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.1	(6)	-	Mod. Alkaline							
Conductivity	173	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	3	(-)	ppm								1.3 lbs N/1000sqft
Phosphorus	34	(50)	ppm								0.9 lbs P2O5/1000sqft
Potassium	246	(175)	ppm								0 lbs K2O/1000sqft
Calcium	7,660	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	235	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	15	(13)	ppm								0 lbs S/1000sqft
Sodium	7	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	3.46		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/lot water by ICP.

ProAnalysisVer. 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357759
 Customer Sample ID: 007
 Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
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 979-845-5958 (FAX)
 Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.1	(6)	-	Mod. Alkaline							
Conductivity	158	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	0	(-)	ppm								1.4 lbs N/1000sqft
Phosphorus	5	(50)	ppm								2.6 lbs P2O5/1000sqft
Potassium	158	(175)	ppm								0.2 lbs K2O/1000sqft
Calcium	5,717	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	198	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	12	(13)	ppm								0.25 lbs S/1000sqft
Sodium	40	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	1.46		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

Sulfur: Available sulfur may be found deeper in soil profile, thus limiting any response to added sulfur.

New online fertilizer calculators have been placed on the laboratory's website to determine appropriate fertilizers to purchase and determine their application rates.
<http://soiltesting.tamu.edu/webpages/calculator.html>

Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

ProAnalysisVer 2.19g



Report generated for:
 Philip Koske
 Austin Parks and Recreation
 801 Congress, Suite 330
 Austin, TX 78701

Travis County
 Laboratory Number: 357760
 Customer Sample ID: 008
 Crop Grown: SHADE TREES

Soil Analysis Report

Soil, Water and Forage Testing Laboratory
 Department of Soil and Crop Sciences
 2478 TAMU
 College Station, TX 77843-2478
 979-845-4816 (phone)
 979-845-5958 (FAX)
 Visit our website: <http://soiltesting.tamu.edu>

Sample received on: 4/13/2012
 Printed on: 4/19/2012
 Area Represented: 10890 sqft

Analysis	Results	CL*	Units	ExLow	VLow	Low	Mod	High	VHigh	Excess.	
pH	8.3	(6)	-	Mod. Alkaline							
Conductivity	190	(-)	umho/cm	None							Fertilizer Recommended
Nitrate-N	1	(-)	ppm								1.4 lbs N/1000sqft
Phosphorus	14	(50)	ppm								2.1 lbs P2O5/1000sqft
Potassium	204	(175)	ppm								0 lbs K2O/1000sqft
Calcium	8,426	(180)	ppm								0 lbs Ca/1000sqft
Magnesium	392	(50)	ppm								0 lbs Mg/1000sqft
Sulfur	14	(13)	ppm								0 lbs S/1000sqft
Sodium	43	(-)	ppm								
Iron											
Zinc											
Manganese											
Copper											
Boron											
Limestone Requirement											0.00 lbs/1000sqft
Organic Matter	2.49		%								

*CL=Critical level is the point which no additional nutrient (excluding nitrate-N, sodium and conductivity) is recommended.

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Methods: pH and conductivity/ 2:1; nitrate-N/Cd-red.; P, K, Ca, Mg, Na, and S/Mehlich 3 by ICP; Fe, Zn, Mn, and Cu/DTPA by ICP; and B/hot water by ICP.

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