

# 2 THE NEIGHBORHOODS

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## Introduction

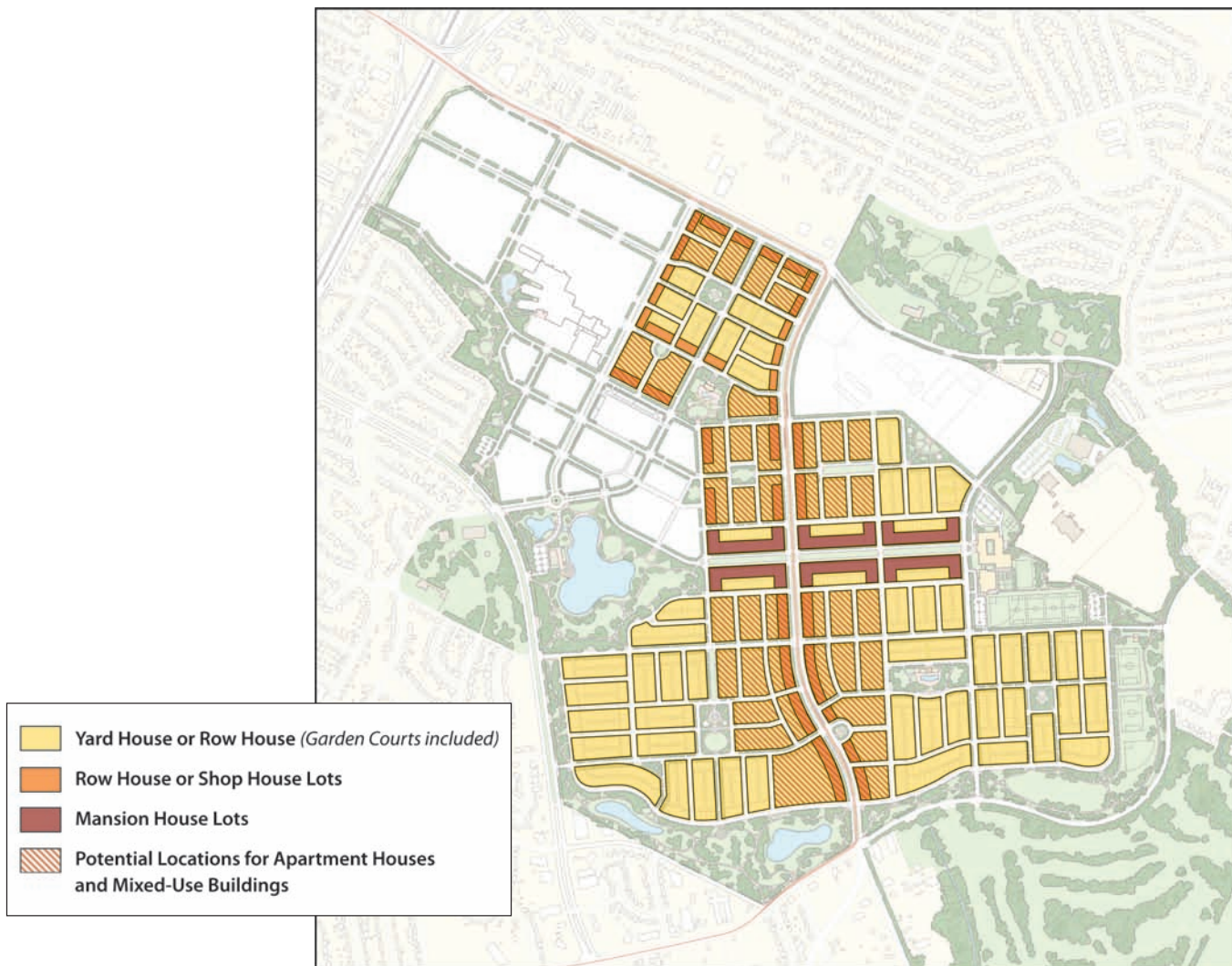
The Mueller community includes four mixed-use residential neighborhoods organized around and within convenient walking distance of the Town Center. Each of the neighborhoods is programmed with a wide range of building types to foster a population with diverse demographic and economic characteristics. Families, seniors, single workers, young couples and students will live within close proximity of one another, promoting neighborhoods that reflect the diversity and richness of the larger Austin community. Each neighborhood contains a park as a focal point with resident-serving amenities and with direct visual and pedestrian linkages to the Town Center. While one particular architectural style is not mandated, all buildings within the neighborhoods will be designed to be:

- **Neighborly**, with a strong street-orientation, and with porches and entries that promote interaction and socialization among residents and that reinforce the pedestrian scale and character of the community.
- **Sustainable**, employing strategies to conserve energy and water resources, use healthy long-lasting and low-maintenance building materials, integrate building siting and landscaping, and mitigate light pollution and heat island effect.
- **Compatible**, in scale and character with adjacent structures in the same vicinity.
- **Indigenous**, utilizing to the extent practicable, local materials and regional Central Texas architectural approaches.

A series of six building types including: Yard Houses, Garden Court Houses, Row Houses, Live-Work Shop Houses, Mueller Houses (i.e., multi-unit four and six-plex buildings) and Apartment Houses are envisioned within the neighborhoods. Building types are located to help structure the community. For instance, Mueller Houses, designed to resemble larger traditional homes, are located along the community's main east-west boulevard to create a stately parkway linking the neighborhood school with the Lake Park and the Town Center. Residential row houses as

well as live-work shop houses are located along the north-south transit boulevard to provide spatial definition to this wide street and to promote a diversity of activity. Apartments and mixed-use buildings are located in clusters around planned transit stops and adjacent to the Town Center to provide a concentration of activity and neighborhood services. Yard houses on a range of lot sizes and garden courts are distributed throughout the neighborhoods and along the perimeter greenways. The distribution of residential and mixed-use building types is illustrated on the diagram below. Additional building types may be introduced, if the NCC finds that such building types reinforce the following neighborhood building design characteristics.

The remainder of this chapter describes: site planning standards to guide the layout and organization of the neighborhoods; design guidelines for each of the six neighborhood building types; and guidelines that pertain to the design character, treatments and materials of all neighborhood buildings.



**Distribution of Neighborhood Building Types**

## NEIGHBORHOOD SITE PLANNING STANDARDS

A Preliminary Plan (Case # C8-04-0043) has been filed by the Master Developer with the City of Austin, describing the layout of the neighborhoods and the Town Center. Any revisions to the layout of the neighborhoods shown in the Preliminary Plan must adhere to the following site planning standards:

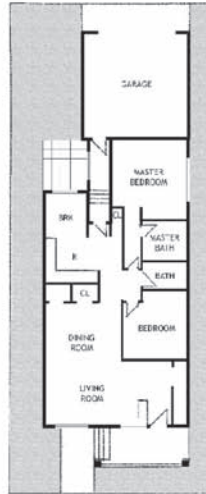
- a. With the exception of multi-family residential or mixed-use sites, all properties will be served by alleys. Some exceptions to this standard may be provided as described in the guidelines for yard houses.
- b. Block lengths will typically be 600 feet or less in length, and will not exceed a maximum length of 750 feet. Cul-de-sacs are not permitted, except as an interim condition.
- c. To the extent practicable, blocks should be oriented in a north-south direction, so that the majority of detached (yard house) and attached (row house) lots present their narrower frontage to the west.
- d. At least 90 percent of all residential units will be within 600 feet of an open space (measured from the front entry of the unit to the open space along public streets), including a neighborhood park, pocket park, greenway, or Lake Park, and no unit will be greater than 850 feet from such an open space.
- e. At least 90 percent of all detached “yard-house” lots will be no greater than 5,000 square feet in area.
- f. A minimum of 1,440 detached “yard-house” units and/or attached “row house” or “shop house” units will be provided within the neighborhoods.
- g. A minimum of approximately 15 acres of land will be designated for multi-family housing or mixed-use residential/commercial development within the neighborhoods. Multi-family parcels will be distributed throughout the neighborhoods, with any one parcel not exceeding an area of approximately seven acres.
- h. Each neighborhood will include a neighborhood park with a minimum area of approximately two acres.
- i. Neighborhood and pocket parks, Lake Park, and the perimeter greenways will be lined with public streets, and residential units along those streets will front such open spaces. Rear yards will not be permitted to abut public open space.
- j. The design and treatment of streets within the neighborhoods will be consistent with the Mueller street cross sections set forth in Appendix B of this Design Book.

*Note: The term “neighborhoods” as used in this Design Book may not correspond to neighborhoods created by the Master Development under the Community Covenants. Neighborhoods created under the Community Covenants are created for the purpose of facilitating a representative system of voting. There may be multiple voting neighborhoods within each of the four mixed-use residential neighborhoods referred to in this Chapter.*



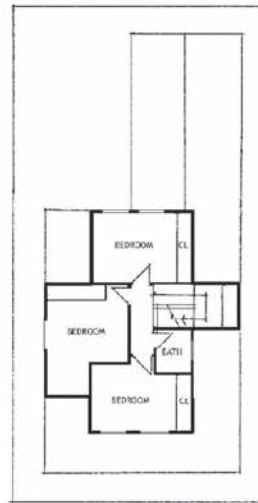
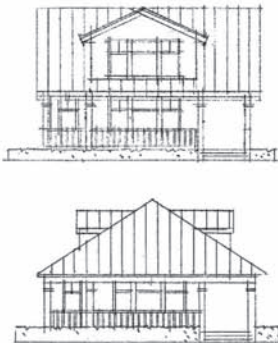
## BUNGALOW

65 % Impervious Cover  
1330 SF Floor Area



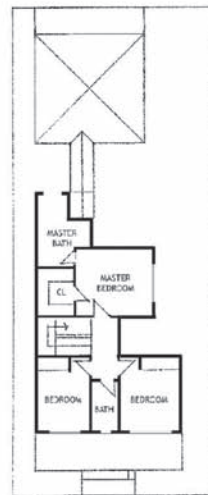
## 1-1/2 STORY COTTAGE

44% Impervious Cover  
2330 sf Floor Area



## 2-STORY

46% Impervious Cover  
1592 SF Floor Area



## Yard House Concepts

## 2.1 YARD HOUSES

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The single-family detached “yard house” is the predominant building type in each of the mixed residential neighborhoods. Single-family detached lots generally range in size from approximately 3,300 square feet (37’ x 90’) to 5,000 square feet (55’ x 90’), promoting a diversity of housing opportunities. The following guidelines must be applied to the design of all yard houses within the community:

**Auto Access:** Yard houses will be served by rear alleys. Fronting garages will be permitted only in exceptional cases, where the garage is at least 50 feet back from the front property line, where a side yard driveway from the street is a maximum of 10 feet in width, and where the site and architectural design is skillfully employed to reduce or eliminate the visual effect of the garage.

**Variation and Diversity:** To promote diversity and interest within the neighborhoods, the following guidelines are applied:

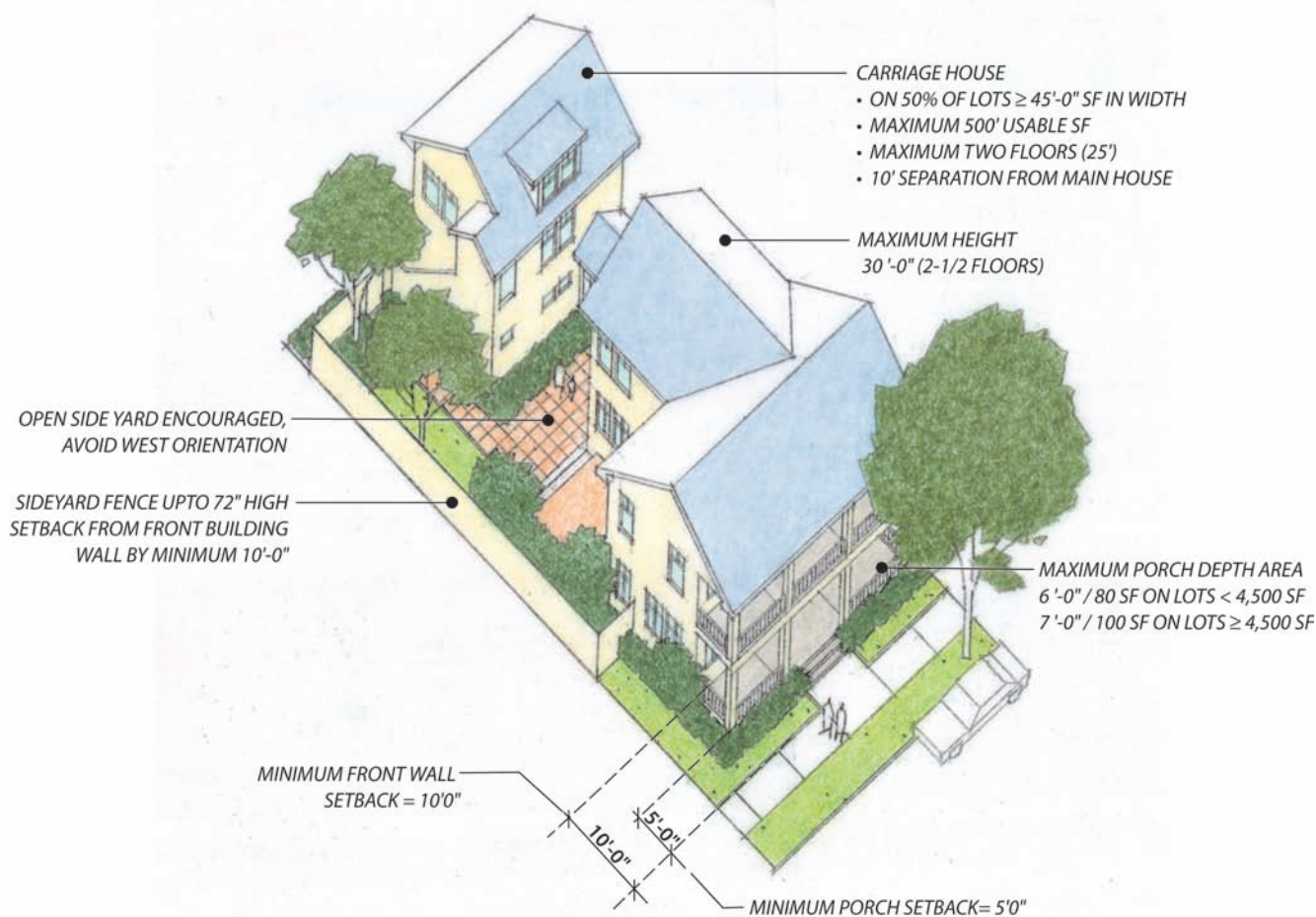
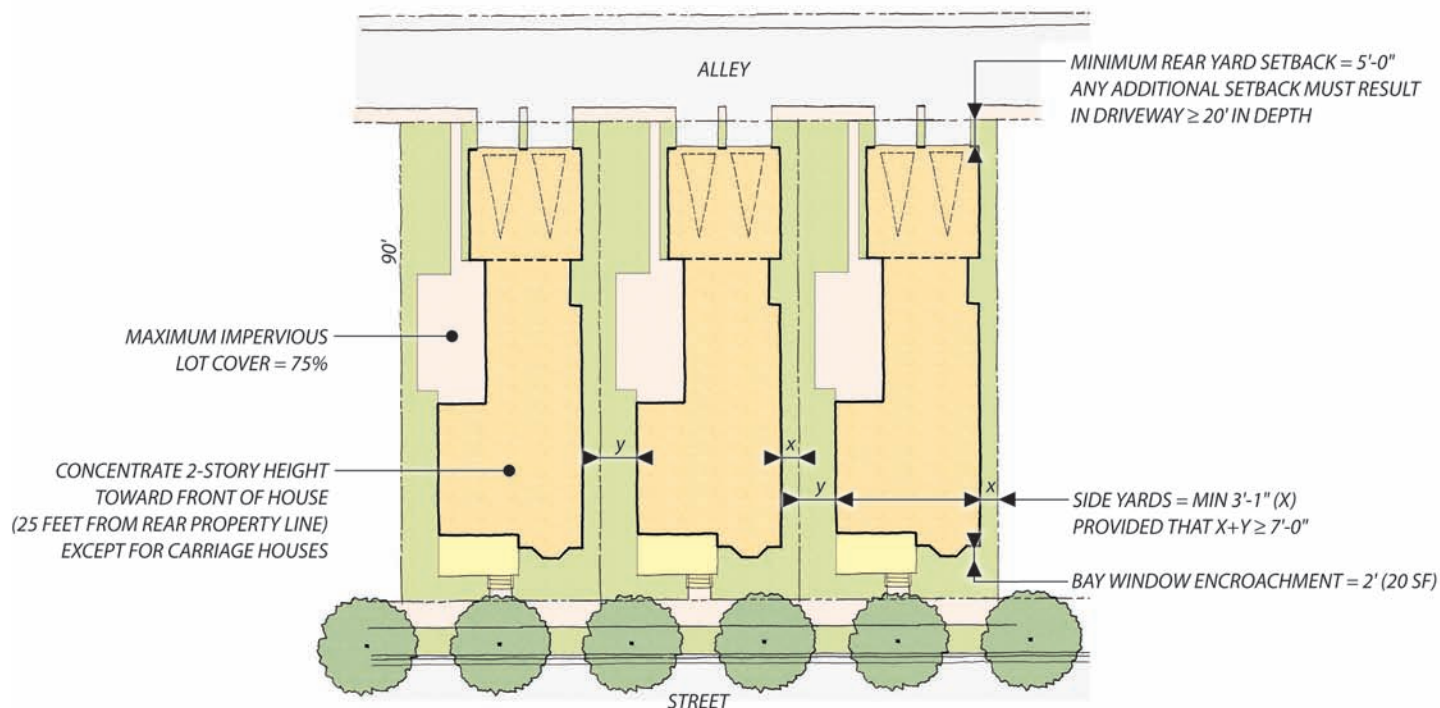
- Each block face should contain at least four different floor plan models with no more than two of the same building elevation. A separation of at least four lots should be maintained for any model with similar elevations, colors or materials.
- To the extent practicable, a mix of single, one-and one-half, and two-story homes should be introduced along a block face.
- A mix of materials, colors and treatments should be employed.

**Porches:** All yard houses will have ground level front or corner porches with a minimum area of 80 square feet and a minimum depth of six feet. Yard houses on lots of 4,500 square feet or greater will have ground level porches with a minimum area of 100 square feet and a minimum depth of seven feet. Reduction of the porch area requirements will be considered by the NCC, if such reductions are deemed to improve the visual diversity of the street frontage. Unless there

*In the spirit of traditional Austin neighborhoods, Yard Houses will include a mixture of bungalows, one-and one-half and two-story buildings, all with a strong orientation to the street.*







## Yard House Development Standards

is no other reasonable way to meet City of Austin visitability requirements (e.g., elevating the garage to the same level as the unit), the porch will be no less than 18 inches or more than 36 inches above the elevation of the fronting sidewalk to provide privacy and clear separation from the street. The porch will be clearly delineated from the front yard with at least a 12-inch grade change; the use of columns and open railings is strongly encouraged. Two story porches and second floor cantilevered porches in the tradition of Central Texas residential buildings are also encouraged to provide additional outdoor space, and to mediate the harsh summer sun.

**Roof Forms:** Yard houses should have sloping roofs, employing gables, hips and dormers. To the extent practicable, south-facing slopes should be introduced to allow for the architectural integration of photovoltaics, solar water heating and induced ventilation, subject to NCC approval. The roof pitch of the principal building should generally utilize slopes of 6:12 or greater and generally no more than 9:12; however, greater slopes up to 12:12 may be appropriate where living space is incorporated into the roof. Slopes of less than 6:12 will be permitted subject to NCC approval, where eaves project from the face of the building, or for porch roof pitches and ancillary buildings and wings. Flat roofs are also permitted on ancillary structures, when they are used for outdoor terraces and decks. Mansard and false roofs are not permitted on yard house structures. Rooftop equipment (e.g., HVAC units, satellite dishes, vent stacks, etc.) will be architecturally integrated within the volume of the building, and not visible from streets, alleys or other public areas. Photovoltaic and solar water heating systems are permitted subject to NCC approval, but should be architecturally integrated into the roof and/or building form and not visible from public streets.

**Building Height and Massing:** Yard houses will not exceed a height of 30 feet or two-and one-half stories. Massing of two-story yard houses should:

- Concentrate height toward the front of the lot, with the two-story portion set back by at least 25 feet from the rear property line. (Exceptions will be made for Carriage Houses as described below.)
- Employ changes in volume and plane, sloping roofs, and porches to reduce the perceived scale of the structure.
- Introduce moldings, belt courses, decorative eaves and other architectural elements that provide interest and scale.



*Buildings on corner lots should be sited and designed so that they present attractive elevations to both streets.*

**Front Yard Setbacks:** The front wall of yard houses will be set back by a minimum of 10 feet from the front property line, but no more than 15 feet. (Lots on corners will be assumed to have two “fronts”.) Porches, awnings, chimneys and roof overhangs may encroach within this front yard setback area up to five feet from the front property line. Up to two bay windows will also be permitted to encroach into the front yard setback area by up to 24 inches, provided that the total floor area of the bay windows does not exceed 20 square feet.

**Side Yards:** Within the side yard setbacks prescribed by the Mueller zoning, buildings should be sited and designed to maximize usability of outdoor open space, to reduce summer heat gain within the home, and to optimize privacy between units. To this end, each unit should be designed with an open and closed side; the orientation of open sides should to the maximum extent possible, avoid western exposures.

**Site Coverage:** Yard house lots must be designed to have an impervious cover that does not exceed 75 percent.

**Rear Yard:** Garages will be set back from the rear property line and alley by a minimum of five feet. Any additional setback beyond five feet should be configured to ensure that no driveway is less than 20 feet in depth.

**Corner Lots:** Buildings on corner lots should be sited and specially designed so that they present attractive elevations to both streets. Building and landscape elements, house massing, wrap-around porches, façade composition, and other design strategies should be employed. Where a garage presents its side elevation to the street, it should be specially designed as an extension of the primary building elevation.

**Terminus Lots:** Houses on lots that terminate thoroughfares and/or views should be sited and designed so they respond to, and take advantage of, the specific site conditions. Care should be taken to ensure that these façades are particularly well composed and detailed.



**Garages:** Semi-detached and detached garages are encouraged on lots greater than 4,000 square feet to promote more usable rear yards and a more interesting and varied alleyscape. Detached and semi-detached garages should be separated from the principal mass of the building by at least 10 feet; semi-detached garages may be connected to the principal building by a one-story “breezeway” or connector with a width not exceeding 12 feet. Three-car garages are allowed only on detached garages or in semi-detached garages with tandem configurations. A maximum of one additional exterior or covered parking space is permitted on lots with a width of 45 feet or greater. The maximum size of an individual covered or uncovered off-street parking space is 12 feet by 24 feet.



*Carriage house units are encouraged to promote housing diversity, live-work opportunities, and to enliven the alleys.*

**Carriage House Units:** Carriage house units, located above detached and semi-detached garages, and on lots equal to or greater than 45 feet in width, are encouraged to promote housing diversity, live-work opportunities, and to enliven the alleys. They will be subject to the following conditions:

- The usable floor area of a carriage unit will not exceed 500 square feet.
- The general massing of the carriage house should be one-and one-half to two-stories in height; the structure will not exceed 25 feet in height, and should use sloping roofs and dormers to reduce the scale.
- The carriage house will be separated from the principal building mass by at least 10 feet.
- The design and materials of the carriage house should be complementary with the main building and surrounding structures.
- No more than 50 percent of the units along a block face will include carriage houses.

## 2.2 GARDEN COURTS

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Garden courts are groupings of four or more yard houses or cottages around a common green. They are located within the neighborhoods to provide variation in pattern, to introduce pockets of open space, and to provide additional housing diversity. Because of their shared open space, the lot sizes may be smaller than the yard house, ranging from approximately 2,500 to 3,000 square feet. The design of the garden courts will be governed by the guidelines for yard houses, with the following additional provisions:

**Relationship to Street:** The front and side wall of any garden court building complex along a street will be set back 10 feet from the front property line. Porches may encroach up to five feet into this setback area. The design of the court should be open and welcoming to the street, with any fencing and landscaping no higher than 36 inches. The side elevation of a garden court home (including its attached garage) along a public street should be specially designed with the same level of architectural detail as a front elevation. (See Corner Lots above).

**Garden Court Green:** The width of a green, independent of the individual lots, will be no less than 30 feet. It should include a walkway of at least four feet in width providing a direct path of travel to each residential lot along the court.

**Front Yard Facing Green:** Garden court buildings will be set back from the green by 10 feet; porches may encroach up to five feet into this setback area.

*Garden Courts are groupings of four or more cottages or yard houses around a common green.*

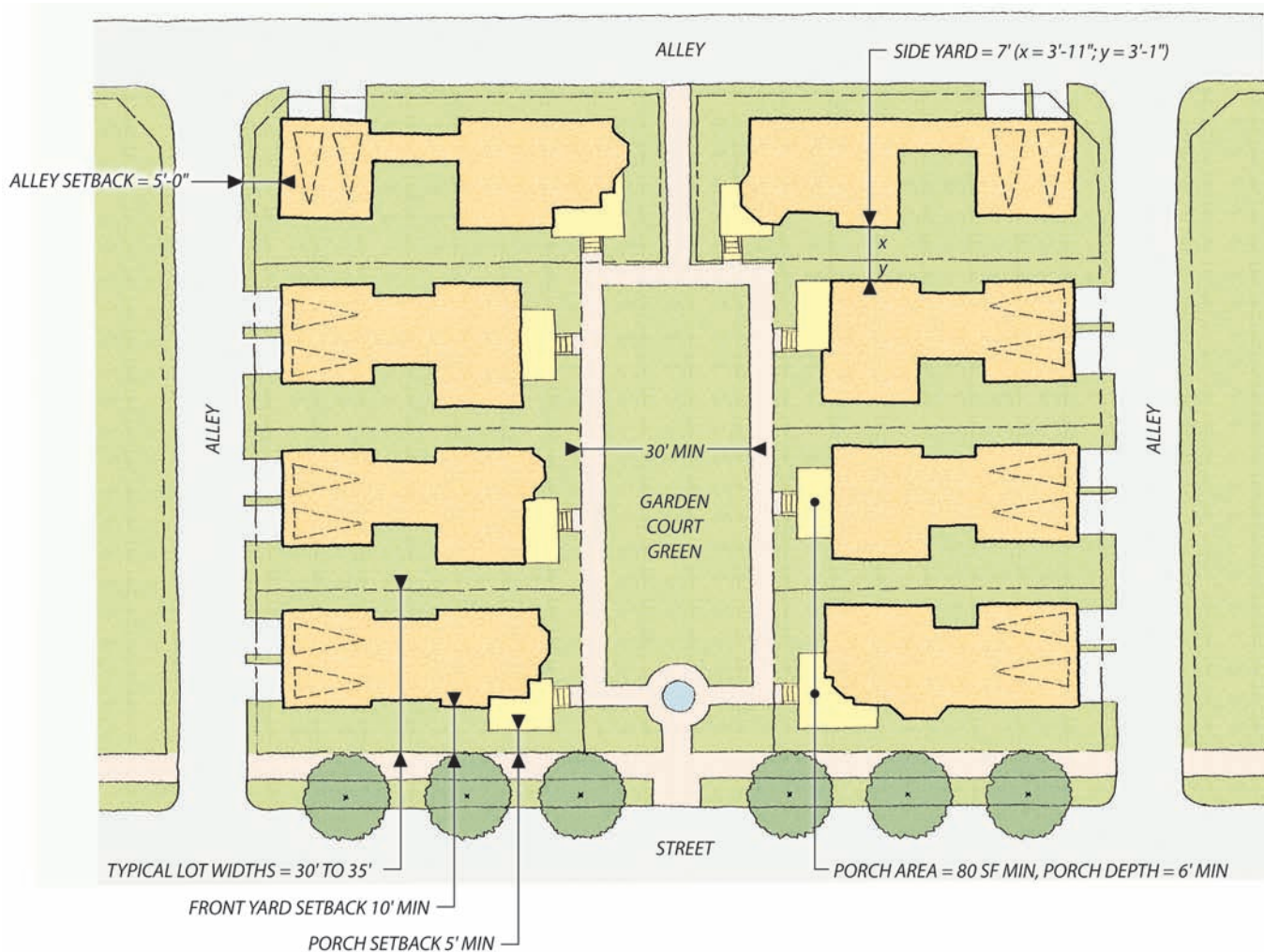


**Auto Access:** All garden court houses must be served by rear or side alleys. The alley should be substantially screened from the garden court green through the placement of buildings and landscaping.

**Parking:** No more than two parking spaces are permitted on each garden court lot; no individual parking space may exceed an area of 12 x 24 feet.

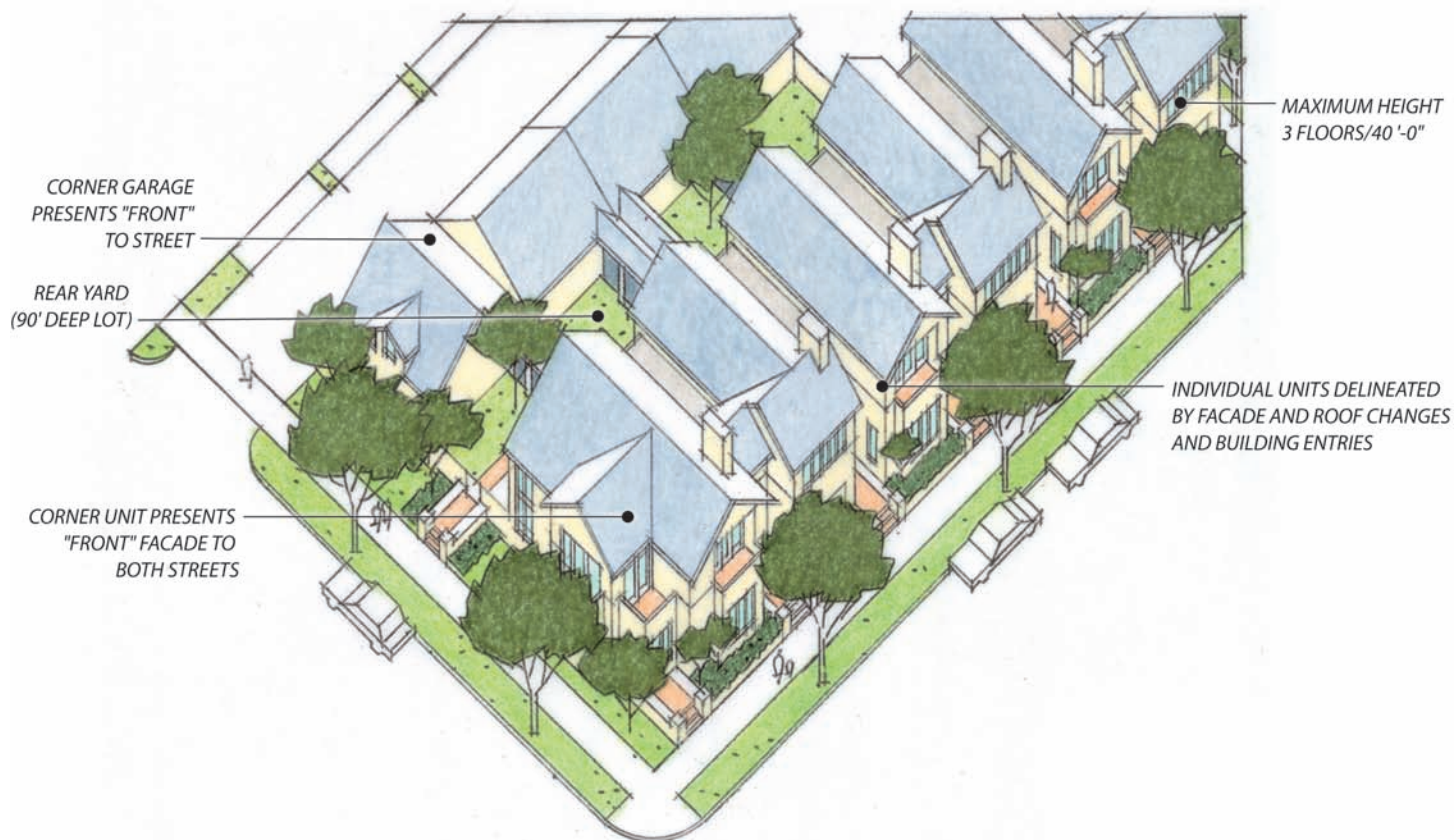
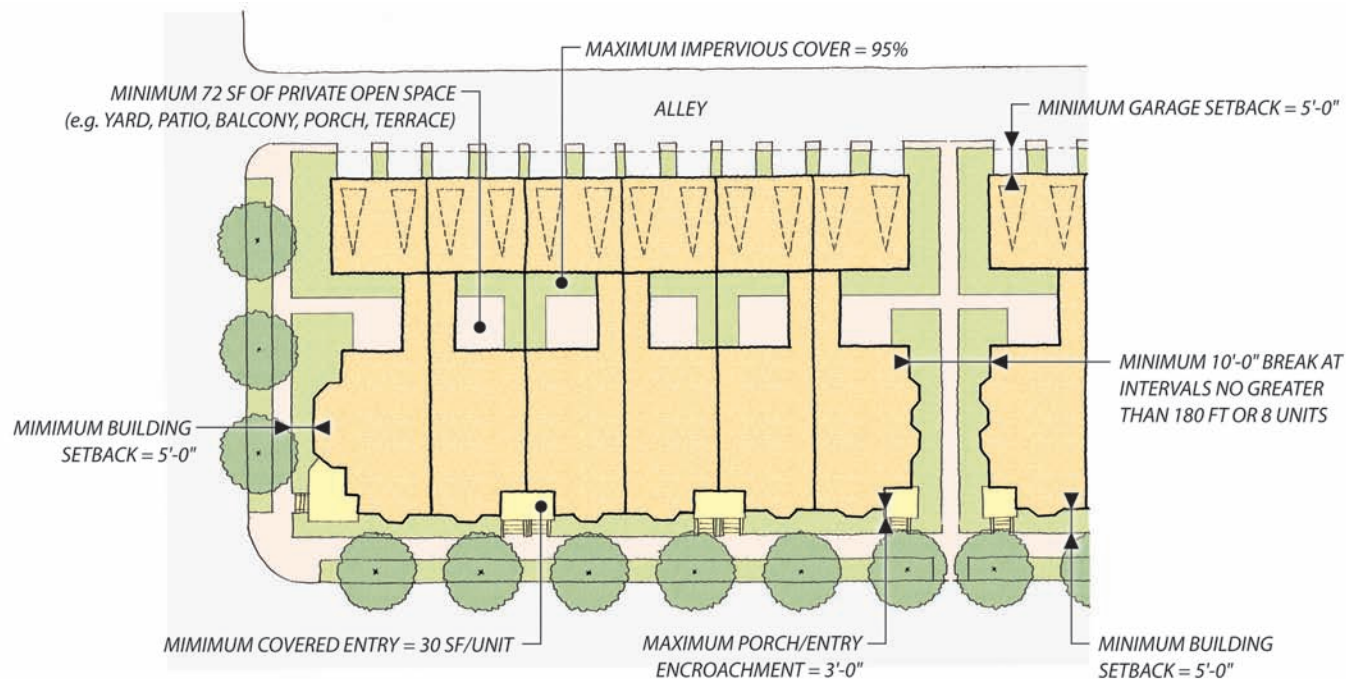
**Variation and Diversity:** Within a garden court complex, there should be no more than two units with the same building elevation. The massing of individual buildings should be varied to create visual interest, and to reinforce the spatial composition of the complex and of the green.

**Height and Massing:** The height of garden court units will not exceed 30 feet or two-and one-half stories. Height should be concentrated toward the green and should step down toward the alley, such that the height does not exceed 20 feet within 15 feet of the rear property line.



## Garden Court House Development Standards





## Row House Development Standards



## 2.3 ROW HOUSES AND SHOP HOUSES

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Within the Mueller neighborhoods, there is a variety of attached housing that will provide lifestyle diversity and additional opportunities for home ownership. A number of different lot sizes are provided in the community, including:

- 90 x 22.5 foot lots with backyards located between the garage and the primary unit.
- 70 x 22.5 foot lots with attached garages and with the main living space located on the second floor with decks providing outdoor space; and
- 55 x 25 foot lots that provide opportunities for live-work “shop houses”.

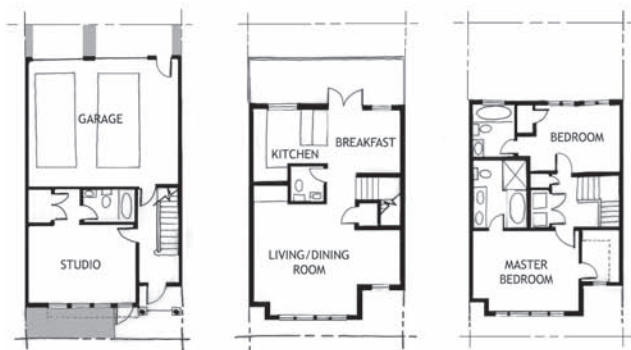
Live-work shop houses can also be located on row house lots that are located along main connecting streets and the central transit boulevard. While shop houses are similarly configured to residential row houses, they are distinguished by a ground level workspace or studio that is typically flush with the street. They are intended to provide opportunities for local economic activity and home occupations that can further reduce the need for automobile trips, and that can promote diversity of activity and character within the neighborhoods. Row houses and shop houses are governed by the following guidelines:

*Residential Row Houses (left) and Live-Work Shop Houses (right) will contribute to the lifestyle diversity of Mueller's neighborhoods.*



**Auto Access:** Row houses and shop houses are served by rear alleys; fronting garages are not permitted.

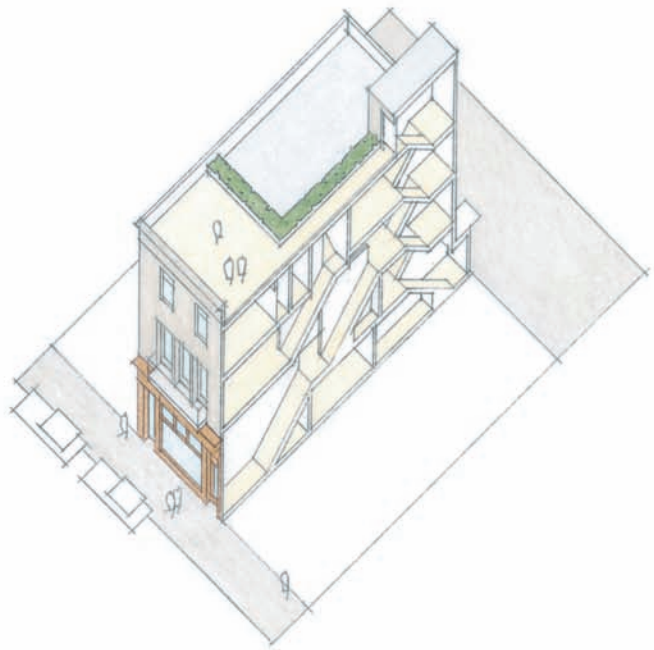
**Covered Entries:** Shop house units will have ground level entries relatively level with the fronting sidewalk. The porch or entry of a residential row house will be no less than 18 inches or more than 60 inches above the elevation of the fronting sidewalk. The entry will be clearly delineated from the front yard with at least 12-inch grade change from the front setback line. If there is no other reasonable way to meet City of Austin visitability requirements (e.g., elevating the garage to the same level as the unit), the NCC may allow for residential row house units to be less than 18 inches above the fronting sidewalk.



50' Deep Shop House, 95% Impervious Cover, 1,964 SF Floor Area

## Shop House Concept

(TRANSIT BOULEVARD AND TOWN CENTER)



**Roof Forms:** Except for those located along the transit boulevard (and within the Town Center), row houses and shop houses within the neighborhoods should have sloping roofs, employing gables, hips and dormers. To the extent practicable, south-facing slopes should be introduced to allow for the architectural integration of photovoltaics, solar water heating and induced ventilation subject to NCC approval. The roof pitch of the principal building should generally utilize slopes of 6:12 or greater and generally no more than 9:12; however, steeper and shallower slopes will be permitted subject to NCC approval. Flat roofs are also permitted on ancillary structures when they are used for outdoor terraces and decks. Mansard roofs are permitted on row house structures, provided that they appear from all public streets as full sloping roofs. Row houses and shop houses along the transit boulevard should employ flat roofs with a projecting cornice that provides a visual terminus to the building. Pediments are also permitted within the 40-foot height restriction. Rooftop equipment should be architecturally integrated within the volume of the building, and not be visible from streets, alleys or other public areas. Photovoltaic and solar water heating systems are permitted, subject to NCC approval, but should be architecturally integrated into the roof and building form and not visible from public streets.



*As this row house example illustrates, changes in building volume and plane can contribute to a varied streetscape with individual unit identity.*

**Building Massing:** Row house and shop house buildings may be built to a height of three floors or 40 feet, but should:

- Employ changes in volume and plane, sloping roofs, and porches to reduce the perceived scale of the structure, and to help delineate individual row house units;
- Introduce moldings, belt courses, decorative eaves and other architectural elements that provide interest and scale; and
- Not have blank side walls greater than one-story or 10 feet in height.

**Front Yard Setbacks:** The front wall of row houses and shop houses will be set back by a minimum of five feet from the front property line, but no more than 15 feet. On streets where row houses or shop houses are located opposite to, or on the same block as yard houses, the 10-foot minimum setback of the yard house will apply. Porches, entries, chimneys and roof overhangs may encroach into the setback area by up to two feet. Corner lots will be required to employ yard set backs on both

street frontages. One bay window will be permitted to encroach into the front yard setback area by up to 24 inches, provided that the area of the bay window projection does not exceed 20 square feet.

**Site Coverage:** Row house and shop house lots must be designed to have an impervious cover that does not exceed 95 percent.

**Rear Yard:** Garages will be set back from the alley by a minimum of five feet. Any additional setback should be at least 20 feet from the rear property line, so that no driveway is less than 20 feet in depth.

**Grouping of Row Houses and Shop Houses:** To break up row houses and shop houses, a minimum separation of 10 feet will be provided at least every 180 feet or every eight units, whichever is less. This separation should be utilized for pedestrian access to the alleys wherever feasible.

**Corner Lots:** Row house and shop house buildings on corner lots should be sited and specially designed so that they present front elevations to both streets. Special corner elements, façade composition and other design strategies should be employed to create attractive façades along both frontages.

**Terminus Lots:** Row houses and shop houses that terminate thoroughfares and/or views should be specially designed to take advantage of the specific site conditions.

**Garages:** Garages exposed to streets will be designed as an integral part of the primary building mass at the same level as a front elevation. Tandem parking is permitted and encouraged where practicable. The maximum size of an individual garage or off-street parking space is 12 x 24 feet.

**Exterior Space:** Each row house and shop house unit will have a minimum of 72 square feet of private exterior open space (e.g., balconies, patios, terraces, etc.) adjacent to the principal living space of the unit. The minimum depth of the space will be six feet.



## 2.4 MUELLER HOUSES

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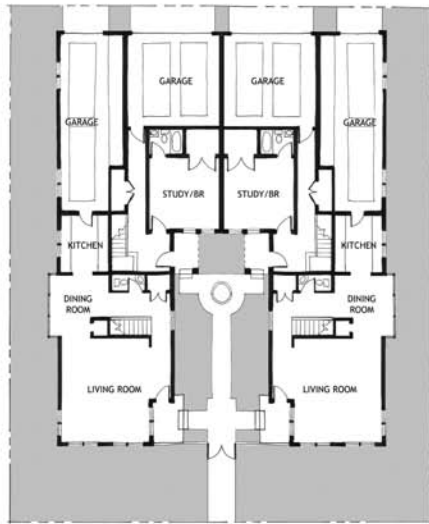
Mueller houses combine four to six living units in both single and multi-floor configurations, and are designed to appear as large single-family homes. In the spirit of traditional towns, Mueller houses are situated along both sides of a wide tree-lined parkway street that traverses the community from Lake Park and the Town Center to the neighborhood school. Mueller houses are intended to provide a distinctive identity, and a counterpoint to the surrounding detached and attached houses. The lot sizes for Mueller homes generally vary from 9,000 square feet (four-units) to 12,000 square feet (six-units). They have the following design characteristics:

- The buildings are set back from the street by 18 feet to create a generous front yard that extends the open space of the parkway.
- The buildings are also well spaced from each other, with at least 10 foot side yards on each lot, to allow for clear separation and to provide for side entries to individual units.
- Each building is designed as a large “custom” home; individual units are indistinguishable within the larger building form.
- The building employs a variety of forms and roof profiles to create an interesting and varied silhouette, and uses porches and courtyards to provide outdoor space and a transition to the street.
- While the building is designed to appear as a large home with a singular principal entrance on the front, each unit has a building entry that is accessible from the street, on the front or side elevation of the building.
- Each unit also has direct covered access to its own one or two-car garage.
- Up to eight units may be permitted within a Mueller House, if it is demonstrated that the addi-

*In the spirit of traditional towns, Mueller Houses combine four to six units and are designed to appear as large custom homes.*



Plan A

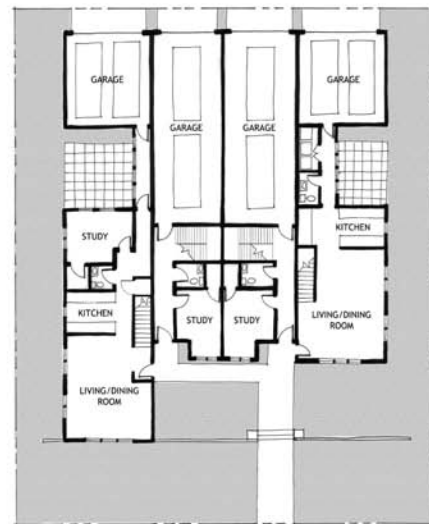


First Floor Plan



Front Elevation

Plan B



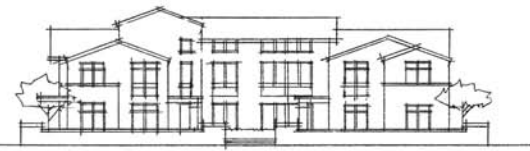
First Floor Plan



Front Elevation



Front Elevation



Front Elevation

Plan C



First Floor Plan

Plan D



First Floor Plan

## Mueller House Illustrative Design Concepts

tional units achieve the above design characteristics without detracting from the overall appearance of the building as a large single-family dwelling.

**Auto Access:** Mueller Houses are served by rear alleys; fronting garages are not permitted.

**Variation and Diversity:** To promote diversity and interest along the parkway boulevard, the following guidelines are applied:

- Each block face should contain models with significant variation in building elevation, materials, floor plan configuration and massing.
- No more than two of the same building elevation should be employed on a block face, and these units should employ different materials and treatments to establish a unique identity. A separation of at least two lots should be maintained for any similar model.
- To the extent practicable, a mix of two-and three-story homes should be introduced along a block face.
- A mix of materials and colors should be employed.

**Relationship to Street/Entries:** All Mueller Houses will be designed to have a primary building entrance that is in scale with the overall mass of the building, and that promotes the impression of a large single-family home. Porches and/or front courtyards defined by low walls that do not exceed 36 inches in height may be designed in conjunction with the front entry. Additional unit entries should be designed to be subservient to the primary entry, located on the side elevations, or, if on the front, downplayed architecturally (e.g., 90 degrees to the street). The porch or courtyard will be no less than 12 inches or no more than 36 inches above the elevation of the fronting sidewalk.

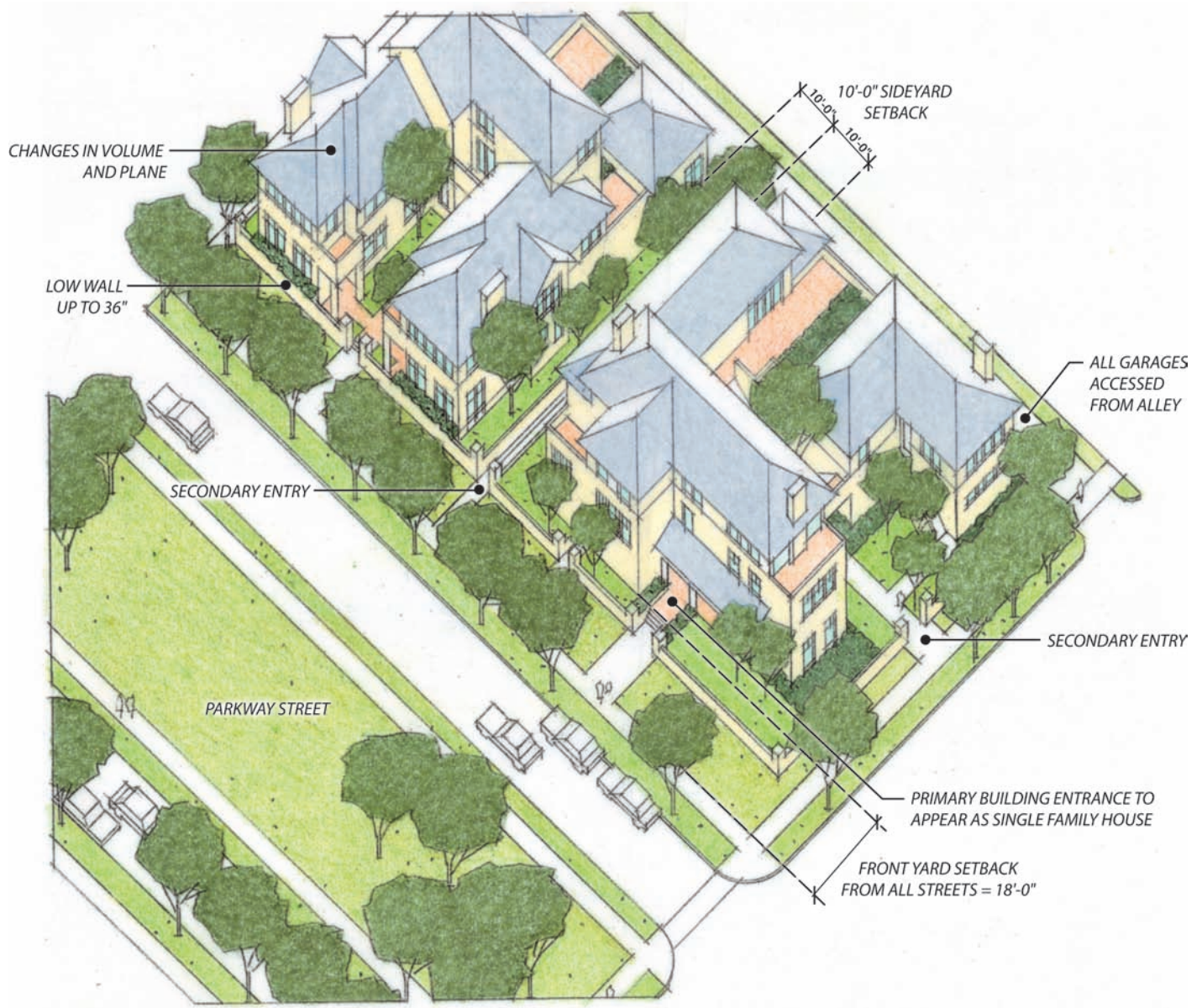
**Roof Forms:** All Mueller Houses will have sloping roofs, employing gables, hips and dormers. To the extent practicable, south-facing slopes should be introduced to allow for the architectural integration of photovoltaics, solar water heating and induced ventilation, subject to NCC approval. The roof pitch of the principal building should generally utilize slopes of 6:12 to 9:12; however, steeper or shallower slopes will be permitted subject to NCC approval. Porch roof pitches and ancillary buildings and wings may vary between 2:12 and 4:12. Flat roofs are also permitted on ancillary structures, when they are used for outdoor terraces and decks. False or mansard roofs will be permitted on Mueller Houses, provided they are designed as an



integral part of the overall building mass and composition and appear as full sloping roofs. All rooftop equipment must be concealed from streets, alleys and other public spaces. Photovoltaic and solar water heating systems are permitted subject to NCC approval, but should be architecturally integrated into the roof and/or building form and not visible from public streets.

**Building Massing:** Within a three-story 40-foot height limit, Mueller Houses should:

- Concentrate height toward the front of the lot; to this end, the principal building mass should be set back by at least 20 feet from the rear property



## Mueller House Development Standards



line. The height of any secondary portion of the building mass or ancillary structure should not exceed one-and one-half stories or 25 feet;

- Employ changes in volume and plane, sloping roofs, and porches to reduce the perceived scale of the structure;
- Introduce moldings, belt courses, decorative eaves and other architectural elements that provide interest and scale; and
- Be designed to optimize solar access to adjacent buildings.



*The significant front yard setback on Mueller Houses will contribute to the creation of a green parkway spine from Lake Park to the neighborhood school.*

**Front Yard Setbacks:** The front wall of all Mueller Houses will be set back a minimum of 18 feet from the front property line, but no more than 25 feet. Porches, chimneys, roof overhangs and special architectural elements (e.g., towers) may encroach within this front yard setback area up to thirteen feet from the front property line. Up to four bay windows will also be permitted to encroach into the front yard setback area by up to 24 inches, provided that the area of any one bay window does not exceed 15 square feet. Corner lots are assumed to have two “fronts”.

**Side Yards:** To create clear building separation between Mueller Houses, and to allow for side entries, a side yard setback of 10 feet is required. Porches, entries, chimneys and roof overhangs will be permitted to encroach into the side yard setback by up to five feet. Up to two bay windows will also be permitted to encroach into the side yard setback area by up to 24 inches, provided that the total area of the bay windows does not exceed 30 square feet.

**Site Coverage:** Mueller House lots must be designed to have an impervious cover that does not exceed 60 percent.

**Rear Yard:** Garages will be set back from the alley by a minimum of five feet. Any additional setback should be at least 20 feet from the rear property line, so that no driveway is less than 20 feet in depth.

**Corner Lots:** Buildings on corner lots will be sited and designed so that they present front elevations to both streets. Building and landscape elements, house massing, wrap-around porches, façade composition and other design strategies should be employed to create attractive elevations on both streets.

**Garages:** Garages exposed to public streets will be designed as an integral part of the building mass, with fenestration and treatments equivalent to other parts of the building. Tandem parking is permitted and encouraged.

**Exterior Space:** Each unit within a Mueller House will have a minimum of 72 square feet of private exterior open space (e.g., balconies, patios, terraces, etc.) adjacent to its principal living space. The minimum depth of the space will be six feet.

## 2.5 APARTMENT HOUSES AND MIXED-USE BUILDINGS

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Medium-density residential and commercial mixed-use buildings are encouraged at designated locations within the Mueller neighborhoods, along the transit boulevard, adjacent to the Town Center, and at the main entry points to the community along East 51<sup>st</sup> Street and Manor Road. Rather than stand-alone projects, these buildings are envisioned as an integral part of the surrounding neighborhoods, extending the fabric of friendly streets, creating activity nodes with ground level, community-oriented uses, and providing an appropriate scale transition to nearby yard, row and Mueller Houses. Clustering of apartment houses or neighborhood-scaled office buildings at these locations offers the opportunity to create activity centers with local-serving retail and restaurant uses, as well as neighborhood-serving amenities and services at the street level. A range of residential building types are envisioned in the Mueller neighborhoods, including:

- Podium buildings, ranging in density from 40 to 75 units per acre, where housing is constructed above and/or against one or two levels of structured parking, and where the roof of the parking garage may provide an interior courtyard and common space for residents;
- Wrap buildings (40 to 75 units per acre) where housing is constructed around and against one or more levels of structured parking; and
- Walk-up and tuck-under buildings (20 to 35 units per acre), where apartments and flats are constructed around parking courts and above individual garages. (Note: This lower density building type will be allowed only subject to approval of the Master Developer and the NCC. It is not permitted in the Town Center.)

*Apartment houses and mixed-use buildings should be designed to extend and enliven the fabric of neighborhood streets.*

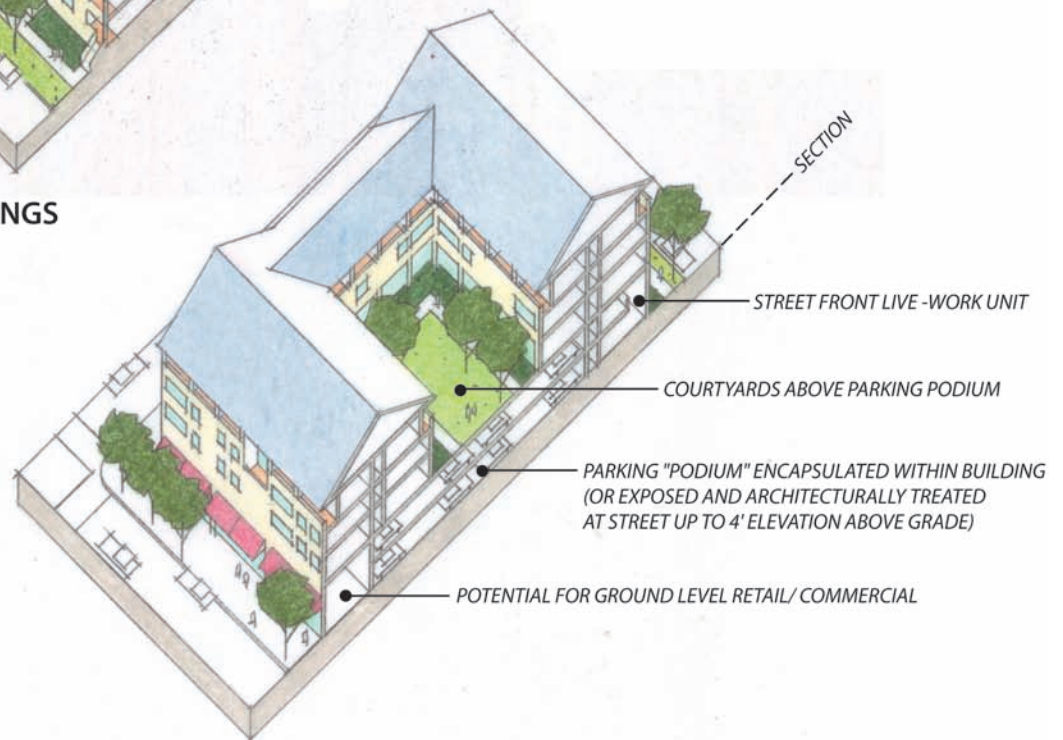
Although apartment houses are envisioned as a predominant building type in portions of the neighborhoods, commercial mixed-use office or civic buildings are also permitted. All these structures are subject to the same guidelines and have common characteristics:







**"WRAP" BUILDINGS**



**"PODIUM" BUILDINGS**

## Multi-Family Building Types

- Parking is largely invisible from public view; garages are architecturally integrated and/or encapsulated within the body of the building.
- All street fronts include ground level residential units or ground level commercial storefronts with their primary entries oriented to the street and to the sidewalk.
- The buildings provide an appropriate transition in scale and character to adjacent single-family and attached housing.



*Mixed-use buildings like this example above, are encouraged at transit stops and other activity centers throughout the neighborhoods.*

In order to ensure neighborhood compatibility, apartment houses and mixed-use buildings will be located on blocks separate from single-family yard houses, such that in no case will apartment houses or mixed-use buildings have abutting side yards, rear yards or shared alleys with yard houses. Similarly, apartment houses and mixed-use buildings will not have abutting side yards with row houses or shop houses, but may have common rear alleys.

The following guidelines govern the design of multi-family apartment house and mixed-use buildings within the neighborhoods:

**Auto Access and Parking:** Parking facilities, including surface parking lots, individual garages and parking structures will not be visible from public streets and open spaces. Garages will be architecturally integrated and/or encapsulated within the overall building mass. Limited exposure of garage façades will be considered by the NCC, if they are designed as an integral part of the overall composition. Partially-submerged garages up to four feet above sidewalk elevation will also be considered, if they are architecturally integrated into the streetfront façade. Driveways leading to parking facilities should not exceed 24 feet in width. Unless otherwise approved by the NCC, driveway curb cuts are not allowed along Berkman Drive (the transit boulevard) or Mueller Boulevard. Drop-off areas and auto courts along streets are discouraged, unless they can be achieved within the Building Relationship to Street provisions below.

**Building Relationship to Street:** All apartment houses and mixed-use buildings will be constructed within 15 feet of the front property line for at least 75 percent of any street front property line. At least 75 percent of such frontage should include ground level residential units or ground level commercial, retail or community-oriented space. Blank walls and service areas should be minimized. Ground



*This is a good example of an apartment house with residential streetfront entries.*

level residential units will have their primary entries oriented to the street, with front entries, porches or stoops; secondary or additional primary access may be provided from interior corridors or courtyards to promote convenience and to achieve accessibility and visitability standards. The floor elevation of ground level residential units will be no less than 18 inches and no more than 36 inches above the elevation of the sidewalk. Private open spaces that are visually screened from the street (e.g., enclosed balconies, terraces or patios) are not permitted on ground level units. Ground level commercial, retail or community-

oriented space should generally be flush with the sidewalk, and include storefront windows that provide a high degree of transparency. Blank walls in excess of 25 feet in length should be avoided, and architecturally-treated to create interest and detail along the street front.

**Building Height and Massing:** Within a four-story or 60-foot height limit, multi-family and mixed-use commercial buildings within the Mueller neighborhoods will:

- Employ changes in volume and plane, sloping roofs, loggias and porches to reduce the perceived scale of the structure, and to help provide a transition to adjacent single-family or attached homes;
- Introduce moldings, belt courses, decorative eaves and other architectural elements that provide interest and scale; and
- Be designed to optimize solar access to adjacent buildings.

On apartment house and mixed-use building lots adjacent to or across a public street from a yard house, row house, Mueller House or shop house, the height of the building will not exceed three floors or 40 feet with stepbacks that render any additional floors largely invisible from public view.

**Front Yard Setbacks:** Apartment houses and mixed-use buildings will be set back a minimum of five feet from the front property line, but no more than 15 feet. On streets where apartment houses or mixed-use buildings are located across a street from yard houses, a 10-foot setback should be applied to the apartment house or mixed-use building. Ground level building entries and porches may encroach into the setback area by up to 36 inches. Bay windows and “Juliet balconies” will be permitted to encroach into the front yard setback area by up to 24 inches provided



that the area of each bay window or balcony does not exceed 20 square feet, and that the placement of bay windows and balconies is composed to create visual interest and to avoid monotony.

**Site Coverage:** Apartment house and mixed-use building lots must be designed to have an impervious cover that does not exceed 95 percent.

**Corner Lots:** Apartment house and mixed-use buildings on corner lots will be sited and designed so that they present front elevations to both streets. Special corner elements, façade composition and other design strategies should be employed to ensure that attractive elevations are created along all public streets.

**Terminus Lots:** The portions of apartment houses or mixed-use buildings that terminate thoroughfares and/or views should be designed to take advantage of the specific site conditions, with special architectural elements and building articulation.

**Exterior Private Open Space:** Each residential unit within an apartment house or mixed-use building will have a minimum of 60 square feet of private exterior open space (e.g., balconies, porches, patios, terraces, etc.) adjacent to the principal living space of the unit. The minimum depth of the space will be six feet. Up to 50 percent of units within a complex may be exempt from this provision, provided that the equivalent area of private open space is added to the common open space requirement.

**Exterior Common Open Space:** Each apartment house or mixed-use building will have exterior common open space, with an area that is no less than 40 square feet for each residential unit within the complex. Common open space is defined as any exterior open space that is available for the use and enjoyment of all residents and their visitors including pools and pool decks, terraces, gardens, courtyards, etc. Provision for shade and relief from the harsh summer climate should be a key factor in the design of common open spaces.

**Trash and Recycling Rooms and Service Areas:** All trash and recycling collection facilities and service areas will be visually and acoustically screened, architecturally integrated within the body of the building or enclosed within a structure located at the rear of the property.

*As illustrated by this mixed-use building, special corner treatments help to define and enliven the streetscape.*



## NEIGHBORHOOD BUILDINGS: CHARACTER, MATERIALS AND TREATMENTS

**Character:** Neighborhood buildings should be designed in the spirit of regional and Central Texas architecture, in a traditional or contemporary idiom. Common elements of Central Texas architecture that are encouraged include: shade on wall surfaces through projecting eaves to minimize direct summer solar gain; simple volumetric building forms with gabled, hipped and pyramidal roof shapes; and the use of porches, loggias, arcades, courtyards and patios to mediate the seasonal climatic extremes and to provide outdoor space.

**Sustainability:** Preference should be given to materials and products that enhance building energy performance and that are manufactured with raw materials that are non-toxic, low-emitting, renewable, recycled, recyclable, and/or regionally sourced and manufactured.

**Visitability:** All dwelling units will be required to meet City of Austin S.M.A.R.T. Housing™ Standards for visitability.

**Roof Materials:** Builders are encouraged to use interlocking standing seam metal roofs in a natural galvanized finish for the principal roof and/or for ancillary roof areas (e.g., porches). Other acceptable roofing materials include: composition shingles, concrete tile, slate or ceramic tile, consistent with the project goals of energy efficiency and heat island mitigation. Preference should be given to products that comply with the US EPA energy star requirements.

**Building Materials:** A simple and harmonious application of materials is encouraged, in keeping with the form and style of the building. An excessive number of materials is discouraged; material changes should occur when there is a change in volume and/or plane. Materials should wrap around to the sides of the building to promote three-dimensional design. Acceptable cladding materials include: Texas limestone or sandstone in light and warm tones; smooth horizontal bevel or lap fiber-cement siding four to eight inches wide, with miter cut corners, or with 5/4 by 6-inch corner boards; smooth finish clay brick in Common, English or Flemish bond patterns; painted brick; smooth finished stucco; or other similar or innovative materials deemed by the NCC to be appropriate and complementary with the neighborhood and community.

**Windows:** Windows are key determinants of building character, and require careful design and detailing. In keeping with the spirit of traditional regional architecture, the following characteristics should be followed:

- a. Windows should be vertically proportioned with a minimum vertical to horizontal ratio of 1.6:1.0. (Small accent windows and transoms are excepted from this guideline). Vertically proportioned windows may be grouped together horizontally up to a maximum width of nine feet.
- b. Double-hung, single-hung, casement and awning windows are permitted. Horizontal sliding windows are not permitted, unless otherwise permitted by the NCC.

- c. Wood, vinyl (solid or clad) or painted aluminum windows with traditional profiles and double-glazed are permitted. Mill finished aluminum windows are not permitted.
- d. Divided lights are encouraged, but muntins should be properly proportioned in relation to the window with a minimum 1/2-inch width, and constructed to be an integral part of the window. "Snap-in" decorative muntins are prohibited, except on exit doors at the rear of the house.
- e. Shutters should be proportioned and sized so that they could enclose the window, if operable.
- f. All windows should include surrounding trim appropriate to the materials, style and proportion of the home. Windows should be set back from the main face of the wall by at least one-and one-half inches to create a shadow line and an appearance of solidity.

**Doors:** Doors should be carefully designed to be in scale and character with the building. More specifically:

- a. With the exception of garage doors, doors should generally be hinged.
- b. Sliding glass doors should be located only on rear or interior side yard elevations.
- c. Permitted door materials include painted or stained wood, hardboard, fiberglass or metal. Door color selection should be coordinated with the house composition and design.

**Exposed Foundations:** Exposed building foundations should not exceed 24 inches above grade. When more than 12 inches of foundation is visible, cover walls should be provided with masonry, painted or finished with stucco or cement wash.

**Fencing and Walls:** Hedges or low fences of wood or metal up to 36 inches in height are permitted along a fronting property line, subject to NCC approval. Privacy fences up to a height of 72 inches are permitted on side yards and rear yards, provided that the side yard privacy fence is set back at least 10 feet from the front building façade. Fences should be coordinated with the design of the building in terms of color, scale and detailing. Along alleys, fences are encouraged to permit some views into the rear yard and to have gates that provide pedestrian access as applicable. Low retaining walls constructed of stone, brick, architectural concrete or similar material approved by the NCC, up to 18 inches in height are also permitted along the front property line.

**Technology:** Builders will be required to adhere to wiring, networking and technology guidelines established for Mueller.





## Town Center Illustrative Plan

1. ALDRICH STREET SHOPS
2. GROCERY STORE ANCHOR
3. ROW HOUSES/SHOP HOUSES
4. MIXED-USE RESIDENTIAL/COMMERCIAL
5. ORCHARD PARKING
6. PUBLIC PARKING GARAGE
7. DELL CHILDREN'S MEDICAL CENTER OF CENTRAL TEXAS
8. NEIGHBORHOOD PARK